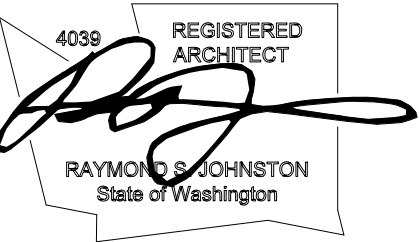




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LYNN ST APARTMENTS

78 E Lynn St, Seattle WA, 98102

DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE



LYNN ST APARTMENTS

DEMO EXISTING QUADPLEX; BUILD 15-UNIT APARTMENT BUILDING WITH BELOW GRADE 10-STALL GARAGE & 5 SURFACE PARKING STALLS OFF ALLEY

**PROJECT #3038019-LU
 MUP SET**

SHEET TITLE

COVER SHEET

SHEET NO.

G001

Drawn
Checked
Author
Checker

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LYNN ST APARTMENTS

PROJECT INFORMATION

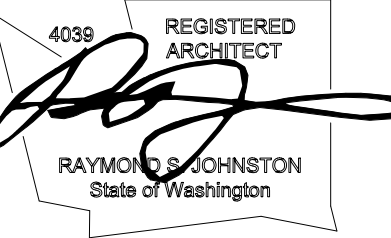
PROJECT ADDRESS	78 EAST LYNN STREET SEATTLE, WA 98102
RELATED PERMITS	ADMINISTRATIVE DESIGN REVIEW - 3038064-EG MASTER USE PERMIT - 3038019-LU BUILDING PERMIT - 6836542-CN DEMO PERMIT - 6836543-DM
SEPA	NO SEPA REQUIRED
OWNER	G & Y CHIN
PARCEL #	2902201170
PROJECT DESCRIPTION	DEMO EXISTING QUADPLEX; BUILD 15-UNIT APARTMENT BUILDING WITH BELOW GRADE 10-STALL GARAGE & 6 SURFACE PARKING STALLS OFF ALLEY
LEGAL DESCRIPTION	LOT 26, BLOCK 14 OF GREEN'S ADDITION TO THE CITY OF SEATTLE PER PLAT RECORDED IN VOL 2 OF PLATS, PG 73, RECORDS OF KING COUNTY

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A304	COLORED ELEVATIONS
A305	COLORED ELEVATIONS
A400	SECTIONS
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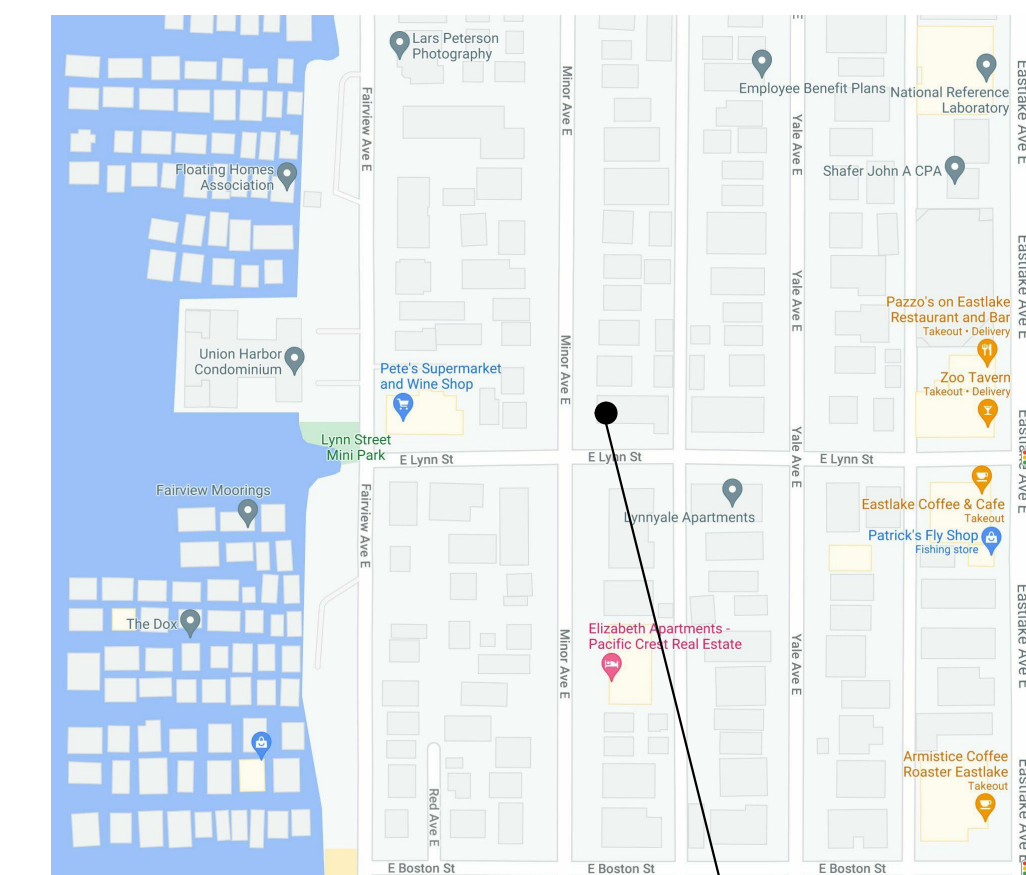
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2021.11.23	MUP INTAKE

SHEET TITLE
PROJECT INFORMATION

SHEET NO.
G002

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VICINITY MAP



SITE

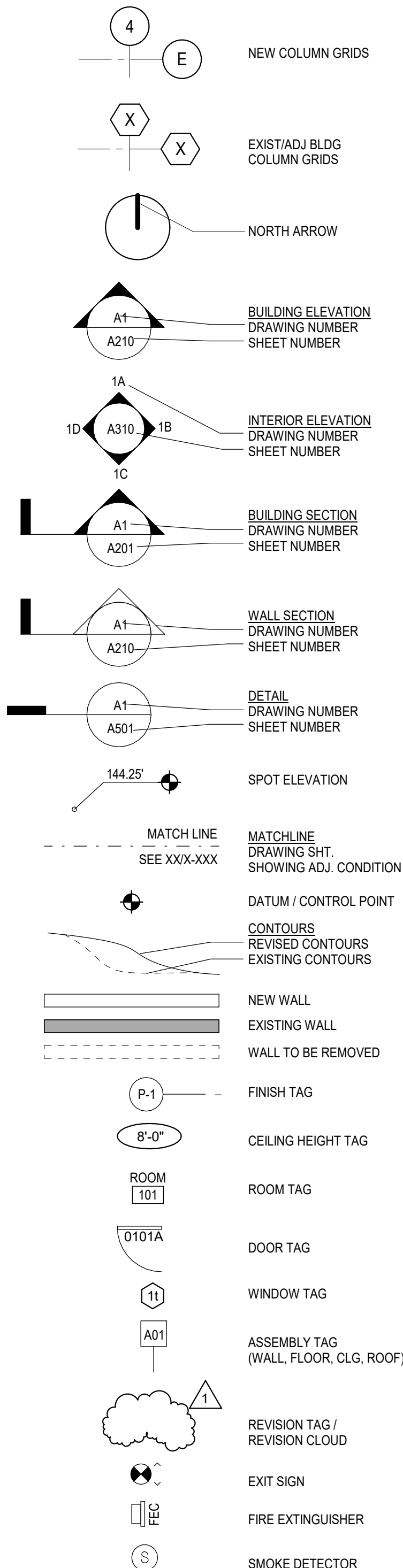
ABBREVIATIONS

#	NUMBER	IE	INVERT ELEVATION	TBD	TO BE DETERMINED
<	ANGLE	IIC	IMPACT ISOLATION CLASS	TEL	TELEPHONE
AB	ANCHOR BOLT	IN	INCH (S)	TEMP	TEMPORARY
ABS	ACRYLONITRILE BUTADIENE STYRENE	INCL	INCLUDING (ED)	TFF	TOP OF FINISH FLOOR
ACST	ACOUSTICAL	INFO	INFORMATION	THK	THICK (NESS)
ADA	AMERICANS WITH DISABILITIES ACT	INSUL	INSULATION	THRU	THROUGH
ADDL	ADDITIONAL	INT	INTERIOR	TOB	TOP OF BEAM
ADJ	ADJUSTABLE	JAN	JANITOR	TOC	TOP OF CURB
AFF	ABOVE FINISH FLOOR	JST	JOIST (S)	TOW	TOP OF WALL
AP	ACCESS PANEL	KIT	KITCHEN	TV	TELEVISION
APPROX	APPROXIMATE	KW	KILOWATT	TYP	TYPICAL
APT	APARTMENT	L	LENGTH	UBC	UNIFORM BUILDING CODE
ARCH	ARCHITECT (URAL)	LAM	LAMINATED(D), LIQUID APPLIED	UL	UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	LAV	LAVATORY	UNO	UNLESS NOTED OTHERWISE
AWI	ARCHITECTURAL WOODWORKING INSTITUTE	LB (S)	POUND (S)	UTL	UTILITY
BD	BOARD	LF	LINEAL FOOT/FEET	VCT	VINYL COMPOSITION TILE
BITUM	BITUMINOUS	LH	LEFT HAND	VERT	VERTICAL
BLDG	BUILDING	LHR	LEFT HAND REVERSE	VIF	VERIFY IN FIELD
BLKG	BLOCKING	LNDSCP	LANDSCAPE	V	VOLT
BM	BEAM	LOC	LOCATION	W	"WEST, WIDTH, WASHER"
BO	BOTTOM OF	LR	LIVING ROOM	W/	WITH
BOF	BOTTOM OF FOOTING	LTG	LIGHTING	W/D	WASHER / DRYER
BR	BEDROOM	LVL	LAMINATED VENEER LUMBER	W/O	WITHOUT
BSMT	BASEMENT	MACH RM	MACHINE ROOM	WC	WATER CLOSET
Btu	BRITISH THERMAL UNIT	MAG	MAGNET(IC)	WD	"WOOD, WOOD DOOR"
CAB	CABINET	MATL	MATERIAL	WDW	WINDOW
CB	CATCH BASIN	MAX	MAXIMUM	WRB	WEATHER RESISTIVE BARRIER
C.C.	CENTER TO CENTER	MB	MAILBOX		
CFM	CUBIC FEET PER MINUTE	MBR	MASTER BEDROOM		
CFOI	CONTRACTOR FURNISHED; OWNER INSTALLED	MC	MEDICINE CABINET		
CH	CHANNEL	MECH	MECHANICAL		
CI	CAST IRON	MEMB	MEMBRANE		
CIP	CAST-IN-PLACE (CONCRETE)	MEP	MECHANICAL, ELECTRICAL, PLUMBING		
CL	CENTERLINE	MEZZ	MEZZANINE		
CLG	CEILING	MFD	MANUFACTURED		
CLR	CLEAR	MFR	MANUFACTURER		
CMU	CONCRETE MASONRY UNIT	MIN	"MINIMUM, MINUTE"		
CO	CLEAN OUT	MIRR	MIRROR		
COL	COLUMN	MISC	MISCELLANEOUS		
CONC	CONCRETE	MO	MASONRY OPENING		
CONT	CONTINUOUS	MTL	METAL		
COORD	COORDINATE	MULL	MULLION		
CPT	CARPET (ED)	MULT	MULTIPLE		
CSMT	CASEMENT	(N)	NEW		
CT	CERAMIC TILE	NA	NOT APPLICABLE		
D	"DRYER, DEEP"	NIC	NOT IN CONTRACT		
ø or DEG		NO	NUMBER		
DEMO	"DEMOLISH, DEMOLITION"	NOM	NOMINAL		
DEPT	DEPARTMENT	N	NORTH		
DET	DETAIL	NTS	NOT TO SCALE		
DF	DRINKING FOUNTAIN	OA	OVERALL		
ø or DIA	DIAMETER	OC	ON CENTER		
dB	DECIBEL	OD	"OUTSIDE DIAMETER, DIMENSION"		
DIM	DIMENSION	OFF	OFFICE		
DN	DOWN	OH	OVERHANG		
DR	"DINING ROOM, DOOR"	OPH	OPPOSITE HAND		
DS	DOWNSPOUT	OPNG	OPENING		
DW	DISHWASHER	ORD	OVERFLOW ROOF DRAIN		
DWG	DRAWING	OVHD	OVERHEAD		
DWR	DRAWER	PBD	PARTICLE BOARD		
(E)	EXISTING	PCP	PORTLAND CEMENT PLASTER		
EA	EAST	PED	PEDESTAL		
EAFS	EXTERIOR INSULATION AND FINISH SYSTEM	PERF	PERFORATED		
EL	ELEVATION	PERIM	PERIMETER		
ELEC	ELECTRIC (AL)	PERM	PERMANENT		
ELEV	ELEVATOR	PERP	PERPENDICULAR		
ENCL	ENCLOSE (URE)	PH	PHASE		
EO	EQUAL	PL	PROPERTY LINE		
EQUIP	EQUIPMENT	PLAM	PLASTIC LAMINATE		
ESMT	EASEMENT	PLWD	PLYWOOD		
EST	ESTIMATE (D)	PR	PRECAST		
EW	EACH WAY	PRCST	PREFABRICATED		
EXH	EXHAUST	PRFAB	PREFABRICATED		
EXP	EXPANSION	PRELIM	PRELIMINARY		
EXT	EXTERIOR	PRKG	PARKING		
FAM	FLOOR APPLIED MEMBRANE	PROJ	PROJECT		
FD	FLOOR DRAIN	PROP	PROPERTY		
FDN	FOUNDATION	PSF	POUNDS PER SQUARE FOOT		
FE	FIRE EXTINGUISHER	PSI	POUNDS PER SQUARE INCH		
FIN	FINISH (ED)	PSL	PARALLEL STRAND LUMBER		
FL	FLASHING	PTD	PAINTED		
FLR	FLOOR	PT	"POST-TENSIONED, PRESSURE TREATED"		
FM	FACTORY MANUAL	PTN	PARTITION		
FOC	FACE OF CONCRETE	PVA	POLYVINYL ACRYLIC		
FOF	FACE OF FINISH	PVC	POLYVINYL CHLORIDE		
FOIC	FURNISHED BY OWNER	PVG	PAVING		
FOIO	INSTALLED BY CONTRACTOR	QTY	QUANTITY		
FOM	FACE OF MASONRY	R	"RADIUS, RISER"		
FOS	FACE OF STUDS	RCP	REFLECTED CEILING PLAN		
FPFB	FROSTPROOF HOSE BIBB	RD	"ROOF DRAIN, ROAD"		
FPL	FIREPLACE	REC	RECESSED		
FRMG	FRAMING	REF	"REFR (ER)ENCE, REFRIGERATOR"		
FRT	FIRE RETARDANT TREATED	REIN	"REINFORCE (D), (ING)"		
FT	"FOOT, FEET"	REQD	REQUIRED		
FTG	FOOTING	RESIL	RESILIENT		
FURN	FURNITURE	REV	"REVISION (S), REVISED"		
G	GAGE	RH	"ROOF HATCH, RIGHT HAND"		
GAL	GALLON	RHR	RIGHT HAND REVERSE		
GALV	"GALVANIZED, GALVANIC"	RM	ROOM		
GAR	GARAGE	RO	ROUGH OPENING		
GB	GRAB BAR	ROW	RIGHT OF WAY		
GC	GENERAL CONTRACTOR	RPM	REVOLUTIONS PER MINUTE		
GEN	GENERAL	RT	RIGHT		
GL	GLASS	RWL	RAINWATER LEADER		
GLU LAM	GLUED LAMINATED WOOD	S	SOUTH		
GOVT	GOVERNMENT	SAM	SELF-ADHERED MEMBRANE		
GSM	GALVANIZED SHEET METAL	SCHED	SCHEDULE		
GWB	GYPSUM WALL BOARD	SD	STORM DRAIN		
H	HEIGHT	SF	SQUARE FOOT (FEET)		
HBB	HOSE BIBB	SHT	SHEET		
HDR	HEADER	SIM	SIMILAR		
HDW	HARDWARE	SP	STANDPIPE		
HDWD	HARDWOOD	SPEC	SPECIFICATION		
HLDN	HOLLOWDOWN	SPKLR	SPRINKLER		
HM	HOLLOW METAL	SQ	SQUARE		
HO	HOLD OPEN	SQ IN	SQUARE INCH		
HORIZ	HORIZONTAL	SS	"SANITARY SEWER, STANDING SEAM"		
HR	HOUR	SST	STAINLESS STEEL		
HSS	HOLLOW STRUCTURAL SECTION	ST	"STAIRS, STREET"		
HVAC	"HEATING, VENTILATION, AND AIR CONDITIONING"	STC	SOUND TRANSMISSION CLASS		
HWH	HOT WATER HEATER	STD	STANDARD		
ID	INSIDE DIAMETER	STL	STEEL		
		STOR	STORAGE		
		STRUCT	STRUCTURE (AL)		
		SUSP	SUSPEND(ED)		
		SV	SHEET VINYL		
		T	TREAD		
		T&G	TONGUE AND GROOVE		

MATERIAL LEGEND

EARTH, UNDISTURBED	
EARTH, COMPACTED FILL	
SAND, GROUT	
POROUS FILL	
CONCRETE	
CEMENTITIOUS UNDERLAYMENT	
BRICK COMMON/FACE	
CONCRETE MASONRY UNITS	
ASHLER STONE	
ALUMINIUM	
STEEL, OTHER METALS	
PLYWOOD	
WOOD BLOCKING OR SHIM	
WOOD FRAMING, CONTINUOUS	
GLUED-LAMINATED WOOD	
ORIENTED STRAND BOARD	
PARTICLEBOARD	
FINISHED WOOD	
BATT INSULATION	
RIGID INSULATION	
SPRAY FOAM INSULATION	

SYMBOL LEGEND



GENERAL NOTES

1. GENERAL:

- 1.A THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
- 1.B THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
- 1.C THE CONTRACTOR SHALL INDEMNIFY AND HOLD JOHNSTON ARCHITECTS HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF CONTRACTOR, HIS AGENT, EMPLOYEES OR SUBCONTRACTORS.
- 1.D EACH CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT THEIR OWN EXPENSE.
- 1.E THE CONTRACTOR SHALL REPORT ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY IN WRITING. DO NOT VARY OR MODIFY THE WORK SHOWN EXCEPT UPON WRITTEN INSTRUCTIONS OF THE ARCHITECT.
- 1.F THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WALL BLOCKING AS REQUIRED FOR ALL WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH THE ARCHITECT AND/OR OWNER LOCATION OF ALL MOUNTED ITEMS WHICH ARE N.I.C.
- 1.G ALL CONSTRUCTION SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH REQUIREMENTS OF THE LATEST ADOPTED EDITION OF THE U.B.C. IN THE LOCAL JURISDICTION AND IN STRICT ACCORDANCE WITH THE STRUCTURAL DETAILS OF THIS SET OF DRAWINGS.
- 1.H ALL WORK SHALL BE INSTALLED TRUE, PLUM, SQUARE, LEVEL AND IN PROPER ALIGNMENT.
- 1.I OFFSET STUDS WHERE REQUIRED SO THAT FINISH WALL SURFACES WILL BE FLUSH.
- 1.J MECHANICAL, ELECTRICAL, VERTICAL TRANSPORTATION, & SPRINKLER WORK CONDUCTED UNDER SEPARATE PERMIT & NOT PART OF THIS CONTRACT.
- 1.K INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S SPECIFICATION.
- 1.M EACH CONTRACTOR/SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL AREAS CLEAN AND READY FOR THEIR INTENDED USE.

CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE. FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT CONTRACTOR'S EXPENSE.

2. CODES:

- 2.A ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE 2018 SBC, THE GOVERNING ENERGY CODE AND MECHANICAL CODE WITHIN THE JURISDICTION OF THE PROJECT. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OR MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ANY CONFLICT.
- 2.B IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH AND EVERY SUBTRADE TO INSURE EVERY ASPECT OF THIS WORK IS IN COMPLIANCE WITH THE PREVAILING CODES.

3. DRAWINGS:

- 3.A THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT. AUTHORIZED REPRODUCTION MUST BEAR THE NAME OF THE FIRM.
- 3.B IN CASE OF DISCREPANCY OR AMBIGUITY, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH ANY WORK.
- 3.C DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED ONLY SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
- 3.D CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR THE ARCHITECT'S APPROVAL PRIOR TO MANUFACTURE OF ANY CABINET WORK, MILLWORK AND ANY OTHER SPECIAL ITEMS REQUIRING CUSTOM SHOP FABRICATED WORK.
- 3.E DRAWINGS INCLUDE ABBREVIATIONS WHICH ARE IN COMMON USE. THE LIST OF ABBREVIATIONS PROVIDED IS NOT INTENDED TO BE COMPLETE OR REPRESENTATIVE OF CONDITIONS OR MATERIALS SPECIFICALLY USED ON THE PROJECT. THE ARCHITECT WILL DEFINE THE INTENT OF ANY DEFINITION OR TERM IN QUESTION.

4. SUPPLEMENTARY DRAWINGS AND SPECIFICATIONS:

- 4.A STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THESE DRAWINGS. THE CONTRACTOR SHALL COORDINATE THE WORK OF EACH CONSULTING ENGINEER WITH THESE DRAWINGS OR SPECIFICATIONS AND SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES WITH A WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THESE CONTRACTO DOCUMENTS SHALL BE CORRECTED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

5. DIMENSIONS:

- 5.A DO NOT SCALE THESE DRAWINGS. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY EFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK EFFECTED.
- 5.B DIMENSIONS ON THE PLANS ARE TO FACE OF STRUCTURE, UNLESS OTHERWISE NOTED.

6. COORDINATION:

- 6.A THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

7. FIRE PROTECTION:

- 7.A FIRE PROTECTION CONTRACTORS SHALL PROVIDE FIRE PROTECTION DRAWINGS REQUIRED BY GOVERNING AUTHORITY. DRAWINGS SHOULD BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
- 7.B PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS REQUIRED BY THE FIRE OFFICIAL.
- 7.C EXISTING FIRE ALARM SYSTEMS SHALL REMAIN INTACT AND OPERABLE AT ALL TIMES.

8. ELECTRICAL NOTES:

- 8.A THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL CODES AND OBTAINING ALL NECESSARY PERMITS.
- 8.B ALL DEVIATIONS FROM DIMENSIONED LOCATIONS MUST BE APPROVED BY THE ARCHITECT.
- 8.C THE ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION OF EACH CORE DRILL WITH THE EXISTING STRUCTURE, PIPING, CONDUIT, ETC. AND SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- 8.D ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS SHOULD BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- 8.E ALL NEW ELECTRICAL/TELEPHONE OUTLETS ARE TO BE MOUNTED VERTICALLY AT 15" AFF UNLESS NOTED. ALL WALL MOUNTED RECEPTACLES LOCATED IN CASEWORK ARE TO BE MOUNTED HORIZONTALLY UNLESS OTHERWISE NOTED.
- 8.F SPECIAL HEIGHTS ARE NOTED ADJACENT TO THE OUTLET.
- 8.G THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL ADA REQUIREMENTS FOR HEIGHTS OF FIXTURES AND DEVICES (I.E. SWITCHES, OUTLETS ETC.)

9. MECHANICAL NOTES:

- 9.A ALL HVAC SYSTEMS ARE TO COMPLY WITH ALL APPLICABLE CODES, AND ARE NOT PART OF THIS CONTRACT.
- 9.B THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AS WELL AS SHOP DRAWINGS BEFORE PROCEEDING WITH WORK.

10. FINISH NOTES:

- 10.A ALL FINISH MATERIAL COLORS SHALL MATCH ARCHITECT'S CONTROL SAMPLES AND REQUIRE THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.



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SHEET NO.

G003

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- 8. LANDSCAPING
SMC 23.45.524.A.2.a
- 9. STRUCTURE WIDTH AND FACADE LENGTH LIMITS IN LR ZONES
SMC 23.45.527, TABLE A
SMC 23.45.527.B.1
- 10. LIGHT AND GLARE STANDARDS
SMC 23.45.534.A
SMC 23.45.534.B
SMC 23.45.534.C
- 11. PARKING LOCATION, ACCESS, AND SCREENING
SMC 23.45.536.B.2.b
SMC 23.45.536.B.3
- 12. REQUIRED PARKING
SMC 54.015.A, TABLE B
SMC 54.015.A, TABLE D
- 13. PARKING SPACE STANDARDS
SMC 23.54.030.A
SMC 23.54.030.B
SMC 23.54.030.D.1.c
SMC 23.54.030.D.3
SMC 23.54.030.E.1, EXHIBIT C
SMC 23.47A.032
- 14. SOLID WASTE/RECYCLING STORAGE
SMC 23.54.040, TABLE A
SMC 23.45.040.D.1
SMC 23.45.040.E
SMC 23.45.040.F.2

SEATTLE MUNICIPAL CODE REQUIREMENT

LANDSCAPING THAT ACHIEVES A GREEN FACTOR SCORE OF 0.6 OR GREATER IS REQUIRED FOR ANY LOT WITHIN AN LR ZONE IF CONSTRUCTION OF MORE THAN ONE NEW DWELLING UNIT OR A CONGREGATE RESIDENCE IS PROPOSED ON THE SITE. VEGETATED WALLS MAY NOT COUNT TOWARDS MORE THAN 25% OF THE LOT'S GREEN FACTOR SCORE.
PROPOSED: REFER TO LANDSCAPE SHEETS

THE WIDTH IN FEET FOR APARTMENTS IN LR3 INSIDE URBAN VILLAGES, URBAN CENTERS OR STATION AREA OVERLAY DISTRICTS IS 150 FEET.
PROPOSED: 88'-2"

THE MAXIMUM COMBINED LENGTH OF ALL PORTIONS OF FACADES WITHIN 15 FEET OF A LOT LINE THAT IS NEITHER A REAR LOT LINE NOR A STREET OR ALLEY LOT LINE SHALL NOT EXCEED 65% OF THE LENGTH OF THAT LOT LINE.
PROPOSED: 65% x 110' = 71'-6"

EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES

INTERIOR LIGHTING IN PARKING GARAGES SHALL BE SHIELDED TO MINIMIZE NIGHTTIME GLARE ON ADJACENT PROPERTIES

TO PREVENT VEHICLE LIGHTS FROM AFFECTING ADJACENT PROPERTIES, DRIVEWAYS AND PARKING AREAS FOR MORE THAN TWO VEHICLES SHALL BE SCREENED FROM ADJUTTING PROPERTIES BY A FENCE OR WALL BETWEEN 5 FEET AND 6 FEET IN HEIGHT, OR A SOLID EVERGREEN HEDGE OR LANDSCAPED BERM AT LEAST 5 FEET IN HEIGHT.

IF ACCESS IS TAKEN DIRECTLY FROM AN ALLEY, SURFACE PARKING MAY BE LOCATED ANYWHERE WITHIN 25 FEET FROM AN ALLEY LOT LINE PROVIDED IT IS NO CLOSER THAN 7' TO ANY STREET LOT LINE.
PROPOSED: 7'-0"

PARKING MAY BE LOCATED IN A STRUCTURE OR UNDER A STRUCTURE, PROVIDED THAT NO PORTION OF A GARAGE THAT IS 4' ABOVE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, SHALL BE CLOSER TO A STREET LOT LINE THAN ANY PART OF THE STREET LEVEL, STREET FACING FACADE OF THE STRUCTURE IN WHICH IT IS LOCATED.
PROPOSED: PARKING IN A SUBGRADE PARKING STRUCTURE

THERE IS NO MINIMUM PARKING REQUIREMENT FOR ALL RESIDENTIAL USES WITHIN URBAN CENTERS OR WITHIN THE STATION AREA OVERLAY DISTRICT

LONG-TERM BICYCLE PARKING REQUIREMENTS FOR MULTIFAMILY STRUCTURES IS 1 STALL PER DWELLING UNIT; SHORT-TERM PARKING REQUIREMENTS FOR MULTIFAMILY STRUCTURES IS 1 STALL PER 20 DWELLING UNITS
PROPOSED: 15 LONG TERM PARKING STALLS; 2 SHORT TERM PARKING STALLS

PARKING SPACE REQUIREMENTS
LARGE STALL = 19' LONG X 8.5' WIDE
MEDIUM STALL = 16' LONG X 8' WIDE
SMALL STALL = 15' LONG X 7.5' WIDE
ADA VAN = 19' LONG X 8' WIDE W/ ADJ 8' AISLE
**PROPOSED: 15 PARKING STALLS
9 MEDIUM STALLS (60%), 5 SMALL STALLS (33%), & 1 VAN STALL (7%)**

PARKING STALL SIZE MIX
60% OF STALLS PROVIDED MUST BE MEDIUM SIZE

DRIVEWAYS FOR RESIDENTIAL USE: DRIVEWAYS LESS THAN 100 FEET IN LENGTH THAT SERVE 30 OR FEWER PARKING SPACES SHALL BE AT LEAST 10 FEET WIDE FOR ONE-WAY OR TWO-WAY TRAFFIC
PROPOSED: 10'-0"

DRIVEWAY SLOPE FOR ALL USES. NO PORTION OF A DRIVEWAY, WHETHER LOCATED ON A LOT OR ON A RIGHT-OF-WAY, SHALL EXCEED A SLOPE OF 15%
PROPOSED: 1.56%

PARKING AISLES SHALL BE 20 FEET WIDE FOR 7.5X15.0 STALLS AT 90°
PARKING AISLES SHALL BE 22 FEET WIDE FOR 8.0X16.0 STALLS AT 90°
PARKING AISLES SHALL BE 24 FEET WIDE FOR 8.5X19.0 STALLS AT 90°

NUMBER OF CURB CUTS PERMITTED FOR STREET FRONTAGE GREATER THAN 80 FEET UP TO 240 FEET IS 1
PROPOSED: 1 (USE EXISTING)

SHARED STORAGE SPACE FOR SOLID WASTE CONTAINERS FOR 9-15 UNITS IS 150 SQUARE FEET

FOR DEVELOPMENTS WITH NINE DWELLINGS FOR MORE, THE MINIMUM HORIZONTAL DIMENSION OF REQUIRED STORAGE SPACE IS 12 FEET
PROPOSED: 156 SF AND 12'-0" MIN DIM

THE LOCATION OF ALL STORAGE SPACES SHALL MEET THE FOLLOWING REQUIREMENTS:

1. THE STORAGE SPACE SHALL BE LOCATED ON THE LOT OF THE STRUCTURE IT SERVES, AND IF LOCATED OUTDOORS, SHALL NOT BE LOCATED BETWEEN A STREET-FACING FACADE OF THE STRUCTURE AND THE STREET;
2. THE STORAGE SPACE SHALL NOT BE LOCATED IN ANY REQUIRED DRIVEWAYS, PARKING AISLES, OR PARKING SPACES;
3. THE STORAGE SPACE SHALL NOT BLOCK OR IMPEDE ANY FIRE EXISTS, ANY PUBLIC RIGHTS-OF-WAY, OR ANY PEDESTIAN OR VEHICULAR ACCESS;
4. THE STORAGE SPACE SHALL BE LOCATED TO MINIMIZE NOISE AND ODOR IMPACTS ON BUILDING OCCUPANTS AND BEYOND LOT LINES OF THE LOT;
5. THE STORAGE SPACE SHALL MEET THE CONTRACTOR SAFETY STANDARDS PROMULGATED BY THE DIRECTOR OF SEATTLE PUBLIC UTILITIES, AND
6. THE STORAGE SPACE SHALL NOT BE USED FOR PURPOSES OTHER THAN SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS.

FOR CONTAINERS LARGER THAN 2 CUBIC YARDS AND ALL COMPACTED REFUSE CONTAINERS:

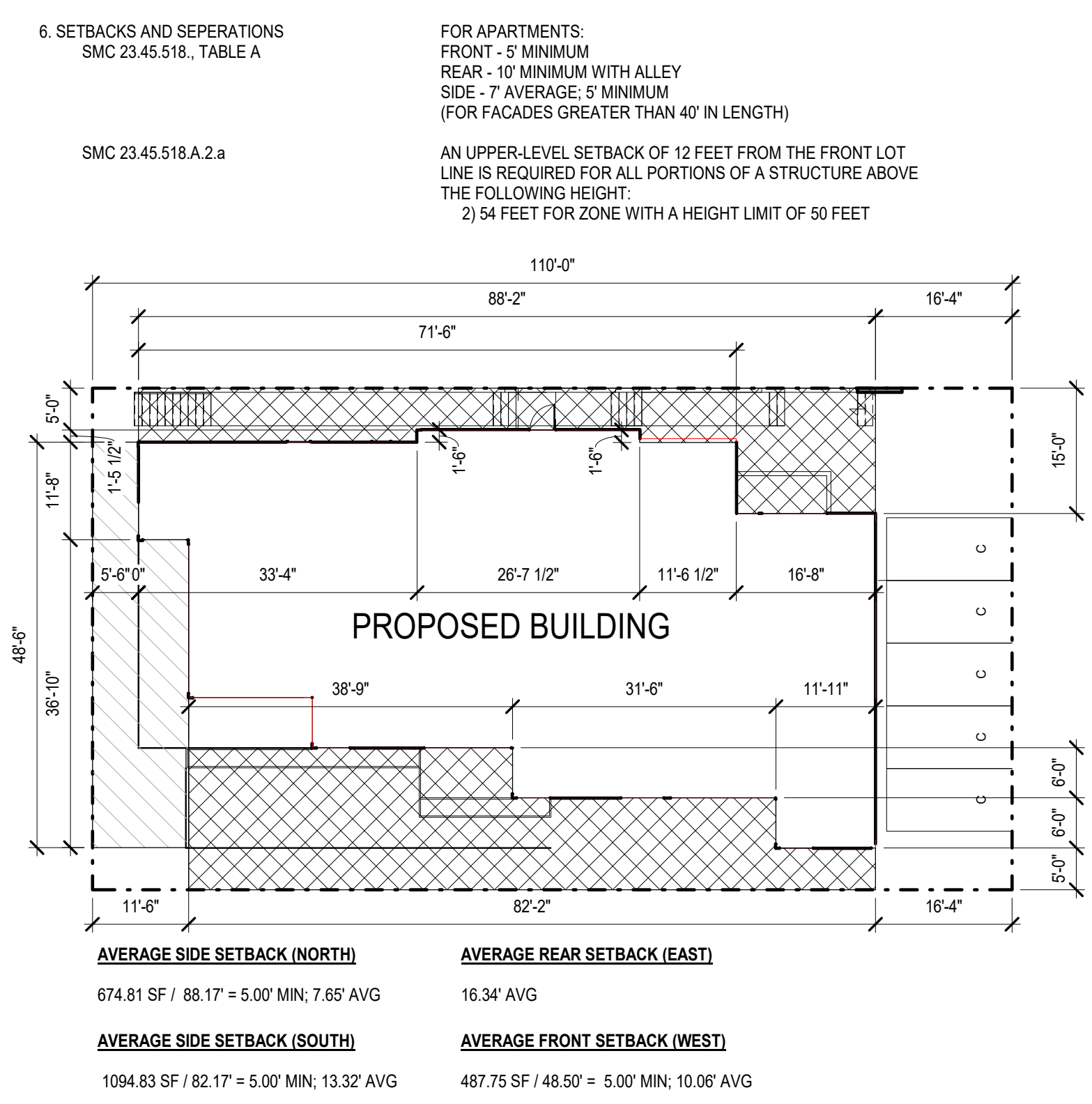
- a. DIRECT ACCESS SHALL BE PROVIDED FROM THE ALLEY OR STREET TO THE CONTAINERS;
- b. ANY GATES OR ACCESS ROUTES FOR TRUCKS SHALL BE A MINIMUM OF 10 FEET WIDE;
- c. COLLECTION LOCATION SHALL NOT BE WITHIN A BUS STOP OR WITHIN THE STREET RIGHT-OF-WAY AREA ABUTTING A VEHICULAR LANE DESIGNATED AS A SOLE TRAVEL LANE FOR A BUS;
- d. IF ACCESSED DIRECTLY BY A COLLECTION VEHICLE, WHETHER INTO A STRUCTURE OR OTHERWISE, A 24 FOOT OVERHEAD CLEARANCE SHALL BE PROVIDED

SEATTLE MUNICIPAL CODE REQUIREMENT

FOR LR3 ZONES WITH AN MHA SUFFIX INSIDE URBAN CENTERS AND URBAN VILLAGES, FAR IS 2.3
PROPOSED: SEE DIAGRAMS SHEET G005

FOR APARTMENTS:
FRONT - 5' MINIMUM
REAR - 10' MINIMUM WITH ALLEY
SIDE - 7' AVERAGE; 5' MINIMUM
(FOR FACADES GREATER THAN 40' IN LENGTH)

AN UPPER-LEVEL SETBACK OF 12 FEET FROM THE FRONT LOT LINE IS REQUIRED FOR ALL PORTIONS OF A STRUCTURE ABOVE THE FOLLOWING HEIGHT:
2) 54 FEET FOR ZONE WITH A HEIGHT LIMIT OF 50 FEET

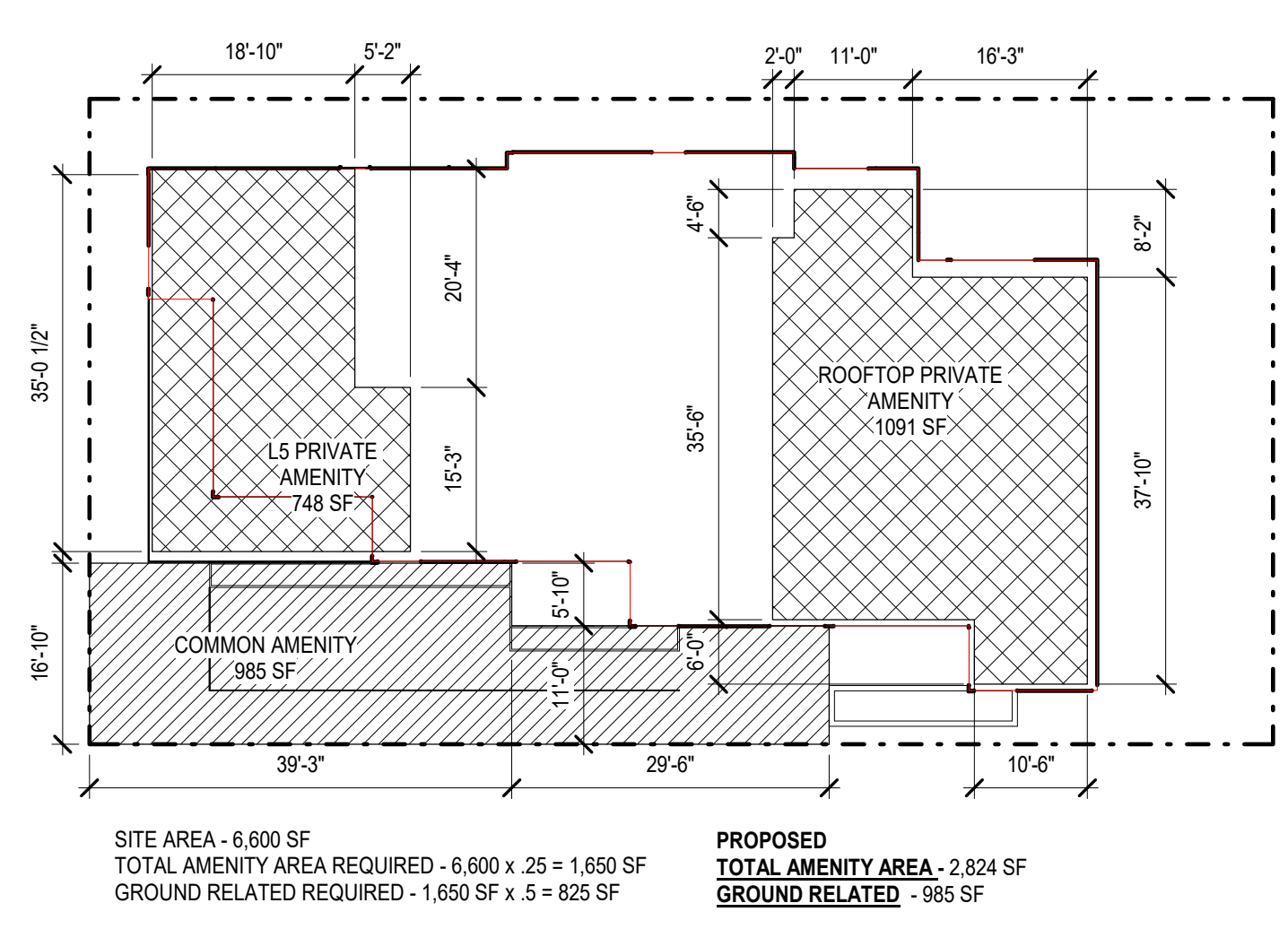


3 SETBACK DIAGRAM - SMC
SCALE: 1/16" = 1'-0"

7. AMENITY AREA
SMC 23.45.522.A

AMOUNT OF AMENITY AREA REQUIRED FOR ROWHOUSE AND TOWNHOUSE DEVELOPMENTS AND APARTMENTS IN LR ZONES:

1. THE REQUIRED AMOUNT OF AMENITY AREA FOR ROWHOUSE AND TOWNHOUSE AND APARTMENTS IN LR ZONES IS EQUAL TO 25% OF THE LOT AREA
2. A MINIMUM OF 50% OF THE REQUIRED AMENITY AREA SHALL BE PROVIDED AT GROUND LEVEL EXCEPT THAT AMENITY AREA PROVIDED ON THE ROOF OF A STRUCTURE THAT MEETS THE PROVISIONS OF 23.45.510.D.5 MAY BE COUNTED AS AMENITY AREA PROVIDED AT GROUND LEVEL
4. FOR APARTMENTS, AMENITY AREA REQUIRED AT GROUND LEVEL SHALL BE PROVIDED AS COMMON SPACE.



4 AMENITY AREA - SMC
SCALE: 1/16" = 1'-0"

ZONING CODE SUMMARY

SEATTLE MUNICIPAL CODE REQUIREMENT

LR3(M1)
6,600 SF
ALL RESIDENTIAL USES PERMITTED

APARTMENTS IN LR3 IN URBAN CENTERS, URBAN VILLAGES, AND STATION AREA OVERLAY DISTRICTS. HEIGHT LIMIT IS 50' (WITH MANDATORY HOUSING AFFORDABILITY SUFFIX)
PROPOSED: 43.38' (SECTION 1) & 49.52' (SECTION 2)
SEE ELEVATIONS FOR MORE INFORMATION

ROOF SURFACES THAT ARE COMPLETELY SURROUNDED BY A PARAPET MAY EXCEED THE APPLICABLE HEIGHT LIMIT TO ALLOW FOR A SLOPE, PROVIDED THAT THE HEIGHT OF THE HIGHEST ELEVATION OF THE ROOF STRUCTURE DOES NOT EXCEED 75% OF THE PARAPET HEIGHT, AND PROVIDED THAT THE LOWEST ELEVATION OF THE ROOF STRUCTURE IS NO HIGHER THAN THE APPLICABLE HEIGHT LIMIT.

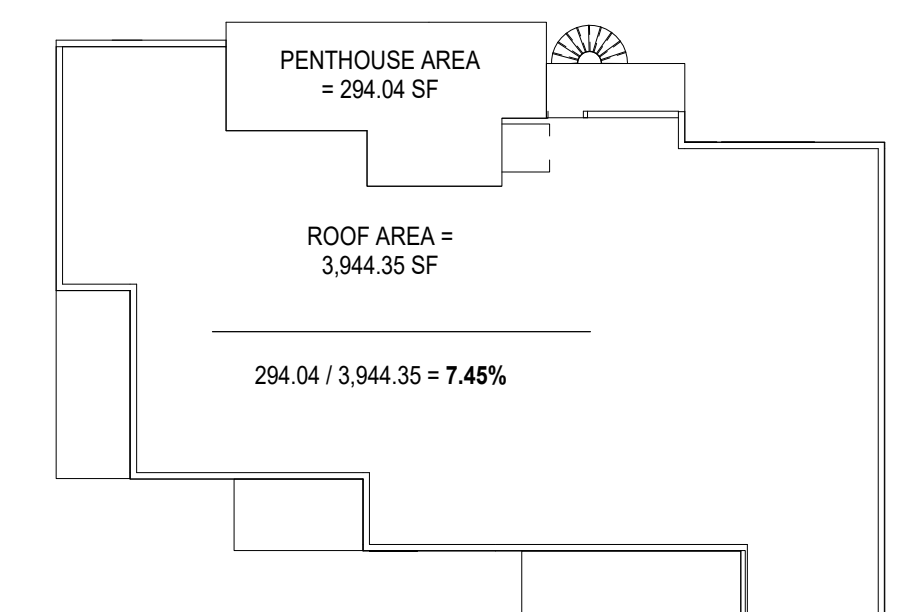
OPEN RAILINGS, PLANTERS, GREENHOUSES NOT DEDICATED TO FOOD PRODUCTION, PARAPETS, AND FIREWALLS ON THE ROOFS OF PRICPLE STRUCTURES MAY EXTEND 4' ABOVE THE MAXIMUM HEIGHT LIMIT SET IN SUBSECTIONS 23.45.514.A, 23.45.514.B, AND 23.45.514.F.

IN LR ZONES, THE FOLLOWING ROOFTOP FEATURES MAY EXTEND 10 FEET ABOVE THE HEIGHT LIMIT SET IN SUBSECTIONS 23.45.514.A AND 23.45.514.F, IF THE COMBINED TOTAL COVERAGE OF ALL FEATURES OF SUBSECTION 23.45.514.J.a THROUGH 23.45.514.J.I DOES NOT EXCEED 15% OF THE ROOF AREA (OR 20% OF THE ROOF AREA IF THE TOTAL INCLUDED SCREENED MECHANICAL EQUIPMENT):

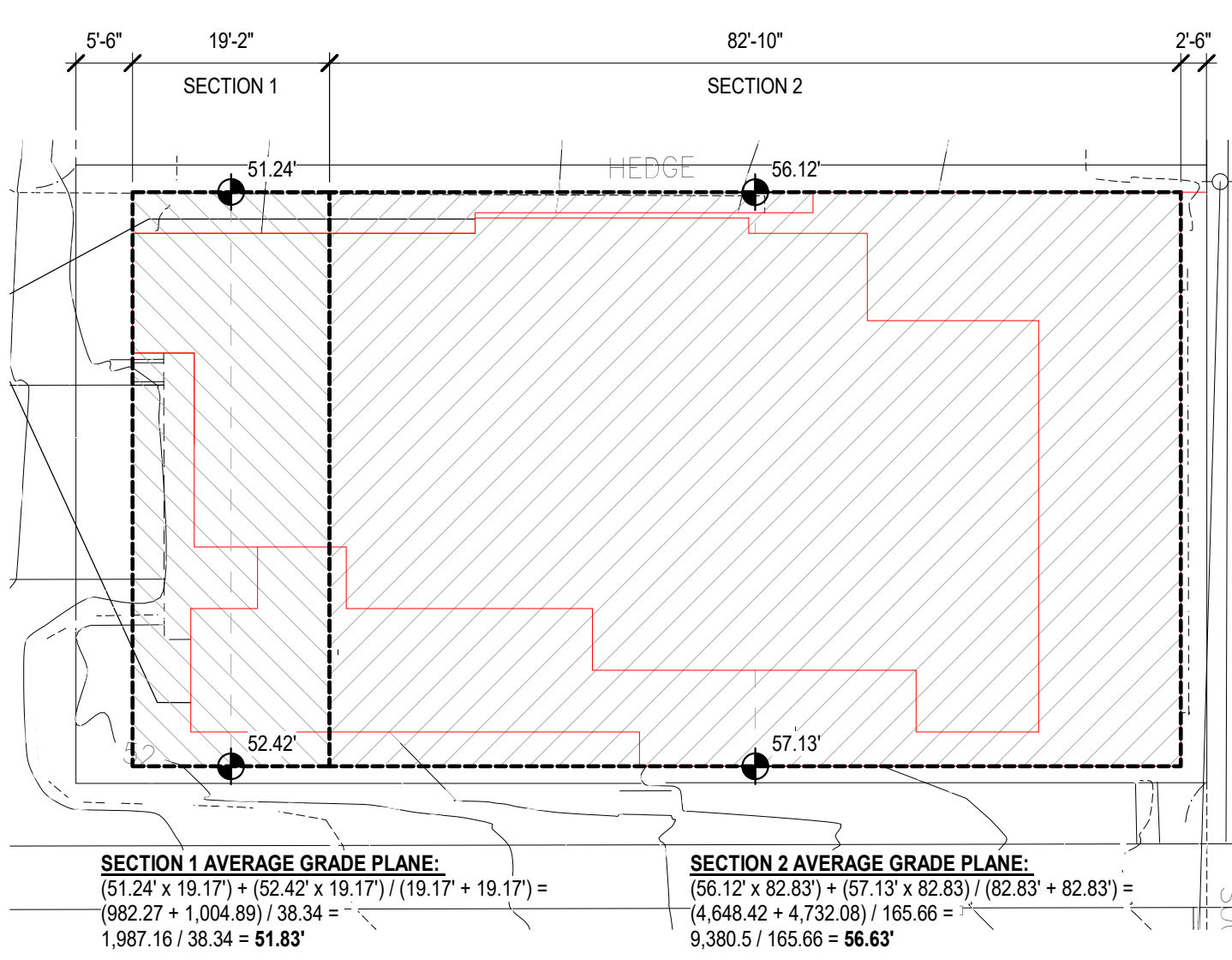
- a. STAIR PENTHOUSES, EXCEPT AS PROVIDED IN SUBSECTION 23.45.514.I.6;
- b. MECHANICAL EQUIPMENT;
- c. PLAY EQUIPMENT AND OPEN-MESH FENCING THAT ENCLOSES IT, IF THE FENCING IS AT LEAST 5 FEET FROM THE ROOF EDGE;
- d. CHIMNEYS
- e. WIND-DRIVEN POWER GENERATORS; AND
- f. MINOR COMMUNICATION UTILITIES AND ACCESSORY COMMUNICATION DEVICES, EXCEPT THAT HEIGHT IS REGULATED ACCORDING TO THE PROVISIONS OF SECTION 23.57.011

PROPOSED: 7.45%

SUBJECT TO THE ROOF COVERAGE LIMITS IN SUBSECTIONS 23.45.514.I.4 AND 23.45.514.I.5, ELEVATOR PENTHOUSES MAY EXTEND ABOVE THE APPLICABLE HEIGHT LIMIT UP TO 16 FEET. STAIR PENTHOUSES MAY BE THE SAME HEIGHT AS AN ELEVATOR PENTHOUSE IF THE ELEVATOR AND STAIRS ARE CO-LOCATED WITHIN A COMMON PENTHOUSE STRUCTURE.
SEE ELEVATIONS FOR MORE INFORMATION.



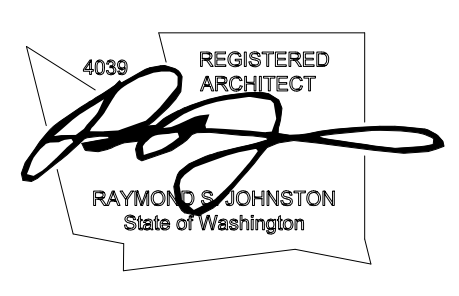
1 PENTHOUSE COVERAGE - SMC
SCALE: 1/16" = 1'-0"



2 AVERAGE GRADE PLANE - SMC
SCALE: 1/16" = 1'-0"



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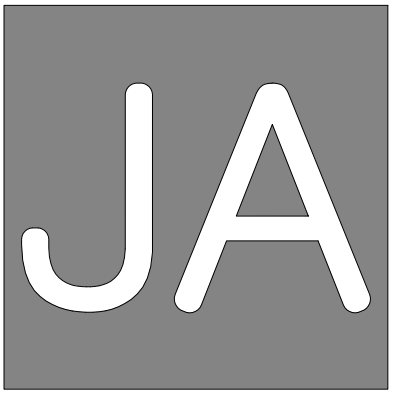
LYNN ST APARTMENTS
78 E Lynn St, Seattle WA, 98102

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DATE	DESCRIPTION
2021.11.23	MUP INTAKE

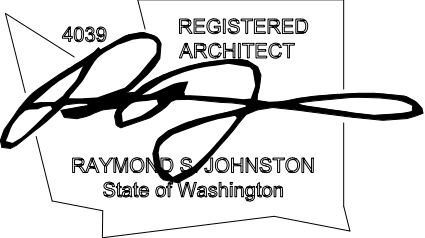
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SMC CODE COMPLIANCE

SHEET NO.
G004

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LYNN ST APARTMENTS

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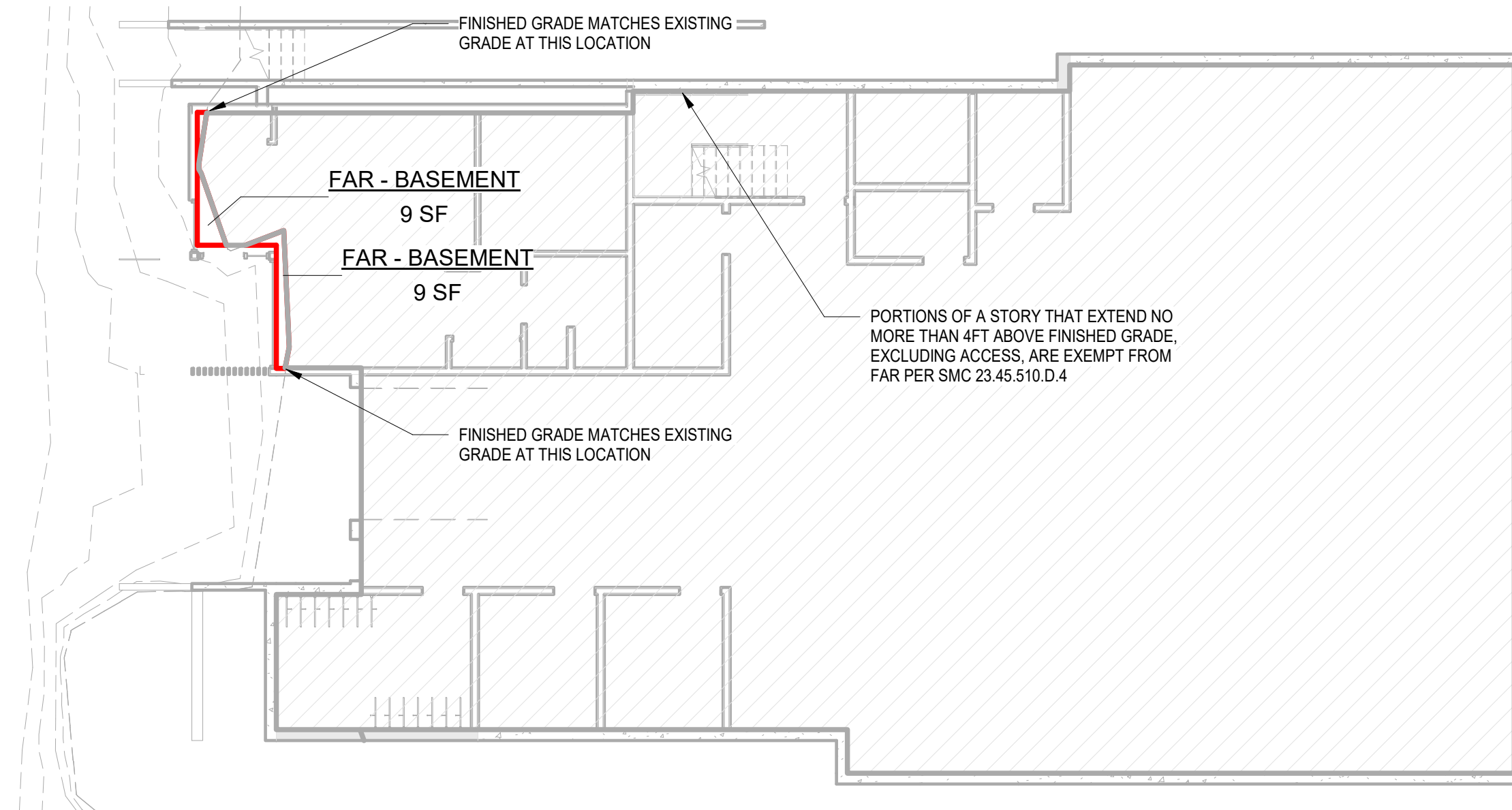
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**ZONING - FAR
 CALCULATIONS**

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NOTES:

- DIMENSIONS ARE TO INSIDE FACE OF FRAMING OF EXTERIOR WALLS PER SMC 23.86.007.E
- ALL UNDERGROUND STORIES OR PORTIONS OF STORIES THAT ARE UNDERGROUND ARE EXEMPT FROM FAR PER SMC 23.45.510.D.4
- PORTIONS OF A STORY THAT EXTEND NO MORE THAN 4FT ABOVE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, EXCLUDING ACCESS ARE EXEMPT FROM FAR PER SMC 23.45.510.D.4
- FAR EXCLUDES BALCONIES, PATIOS, & DECKS W/ A SINGLE DWELLING UNIT; GROUND-LEVEL WALKING PATHS PER SMC 23.45.510.A

AREA SCHEDULE (FAR)	
AREA NAME	AREA
FAR - BASEMENT	18 SF
FAR - LEVEL 1	3082 SF
FAR - LEVEL 2	3084 SF
FAR - LEVEL 3	3086 SF
FAR - LEVEL 4	3086 SF
FAR - LEVEL 5	2477 SF
FAR - PENTHOUSE	183 SF
	15020 SF

FLOOR AREA RATIO CALCS (SMC 23.45.510):

ZONE: LR3(M1)

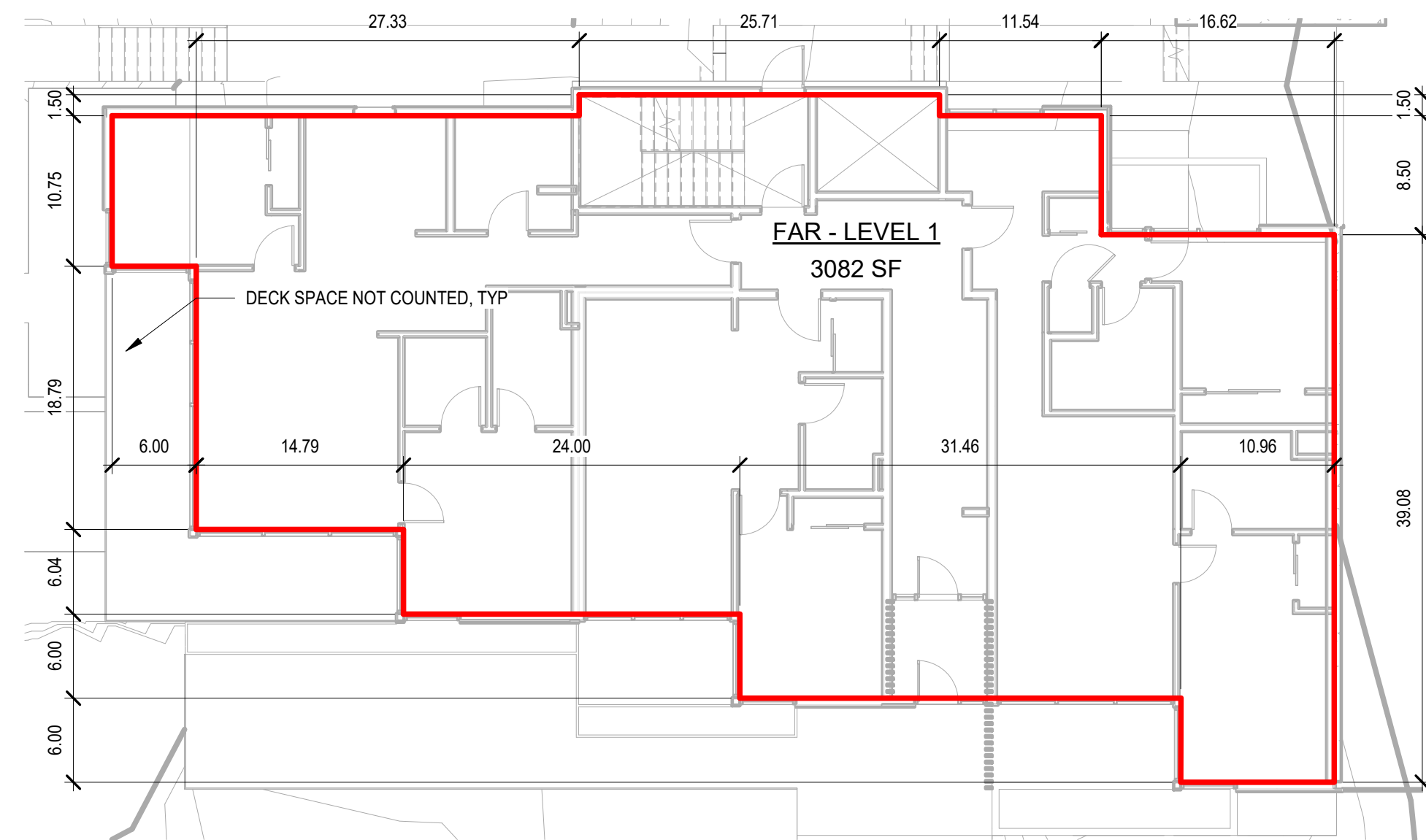
SITE AREA: 6,600 SF

MAX FAR ALLOWED: 2.3 (PER SMC 23.45.510, TABLE A) =
 2.3 x SITE AREA = 2.3 x 6,600 SF = 15,180 MAX FAR

PROPOSED FAR: 15,020SF / 6,600 SF = 2.276 FAR

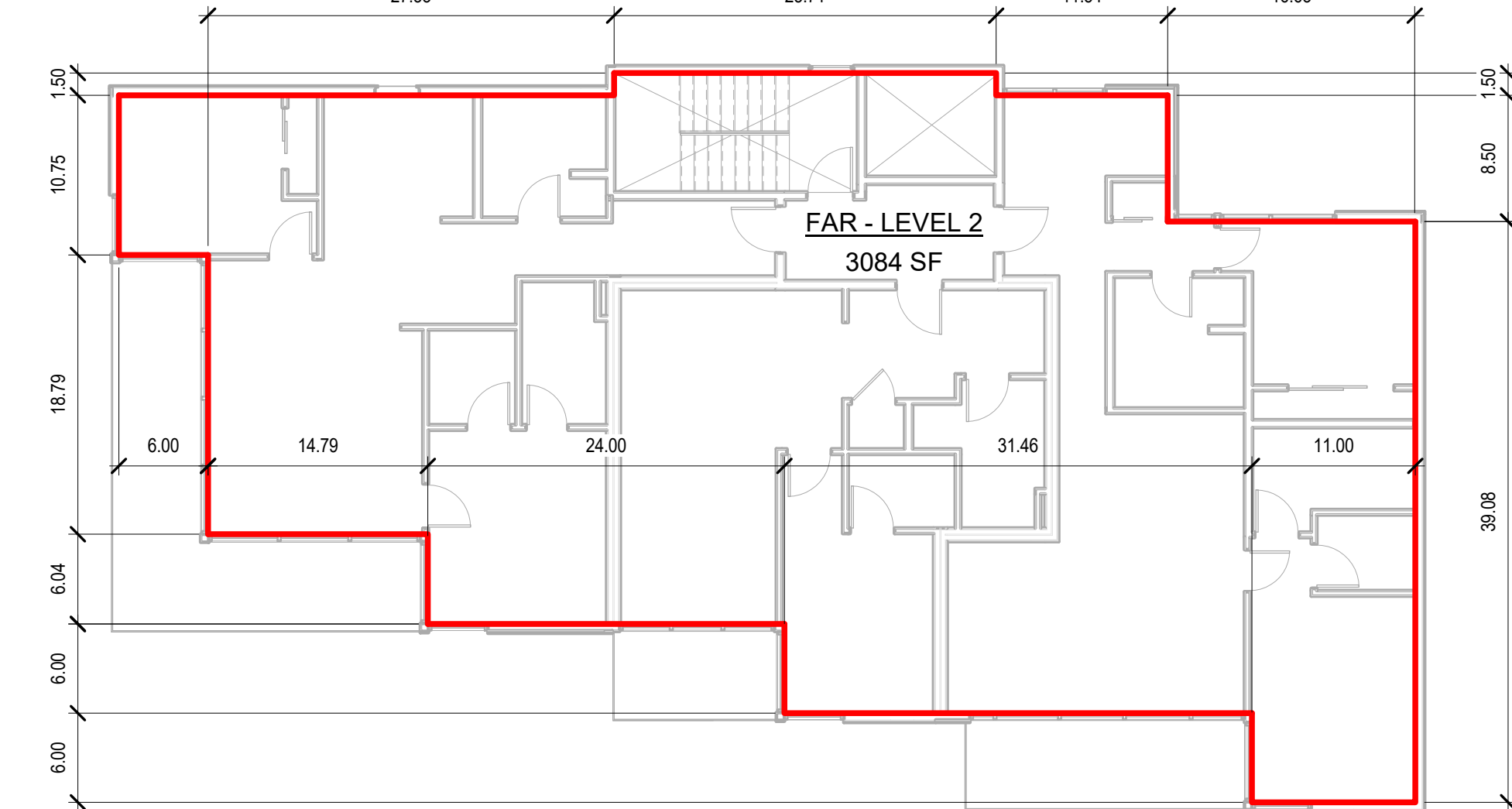
1 BASEMENT - FAR

SCALE: 1" = 10'-0"



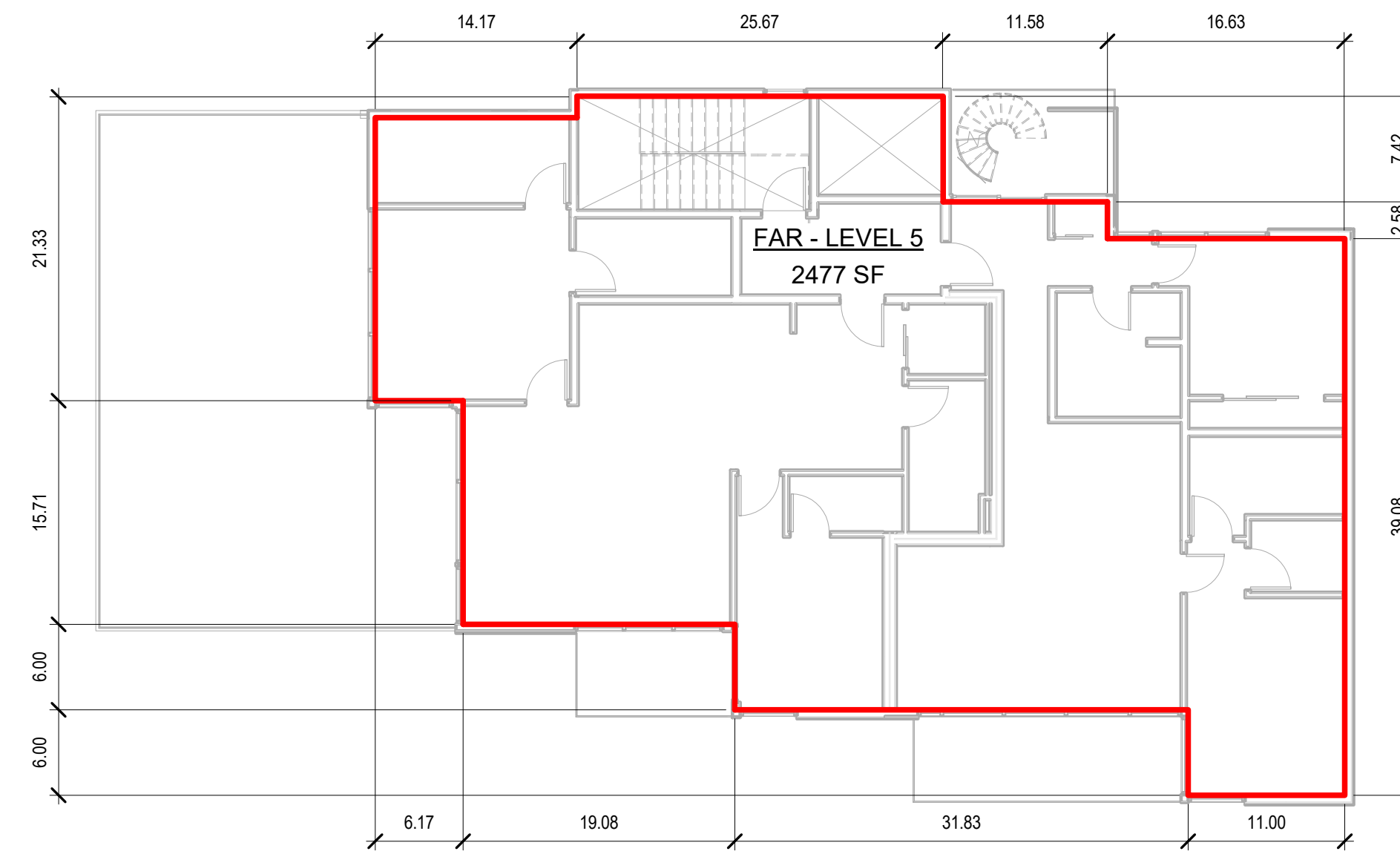
2 LEVEL 1 - FAR

SCALE: 1" = 10'-0"



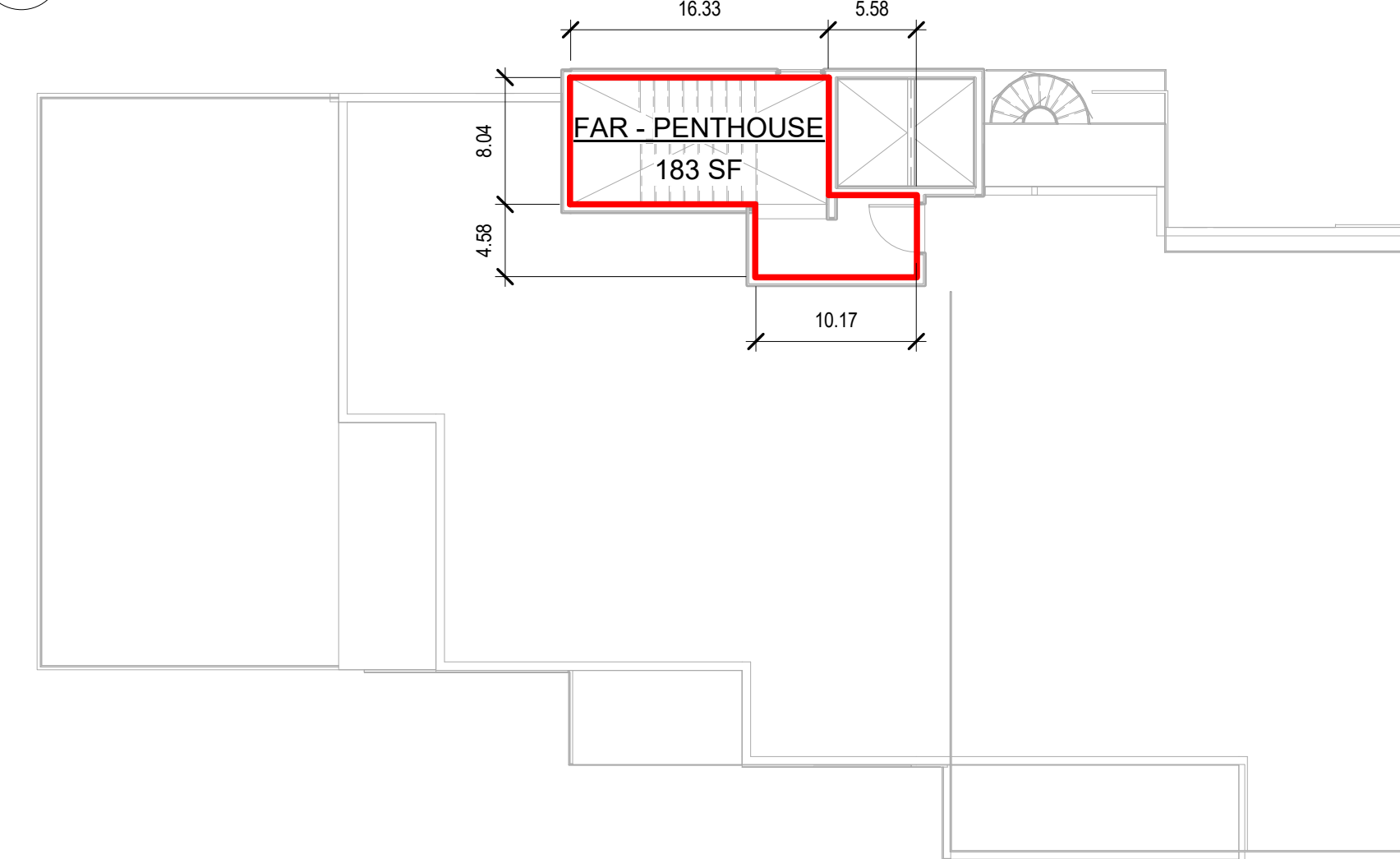
3 LEVEL 2, 3, 4 - FAR

SCALE: 1" = 10'-0"



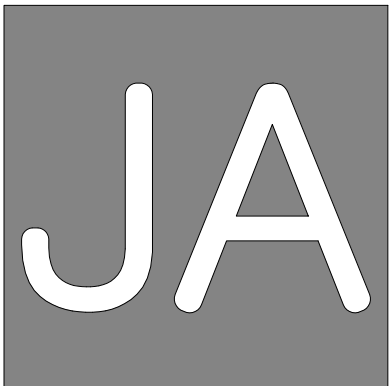
4 LEVEL 5 - FAR

SCALE: 1" = 10'-0"

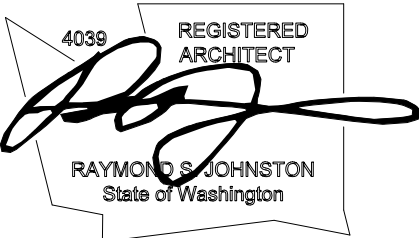


5 PENTHOUSE - FAR

SCALE: 1" = 10'-0"



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LYNN ST APARTMENTS

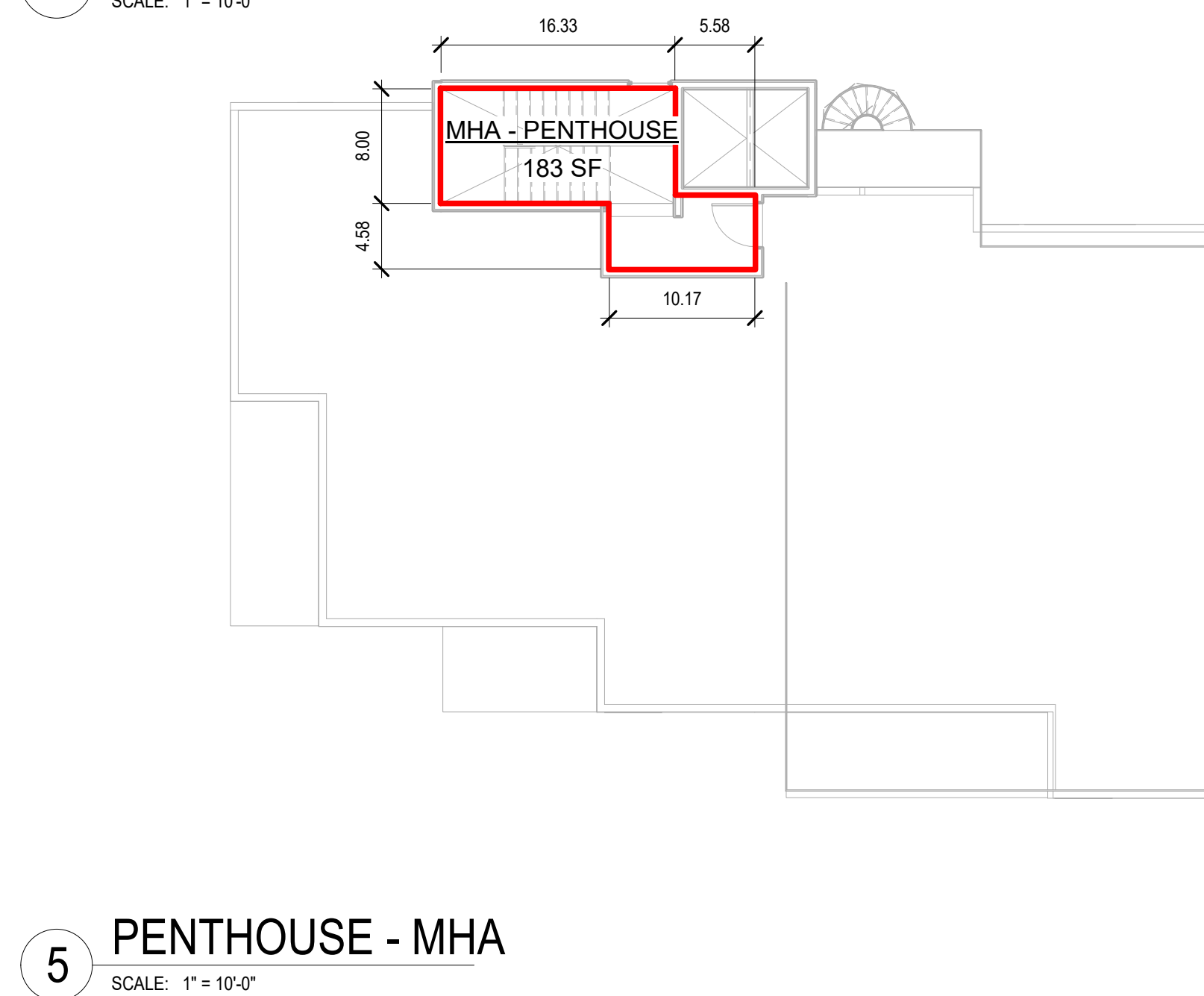
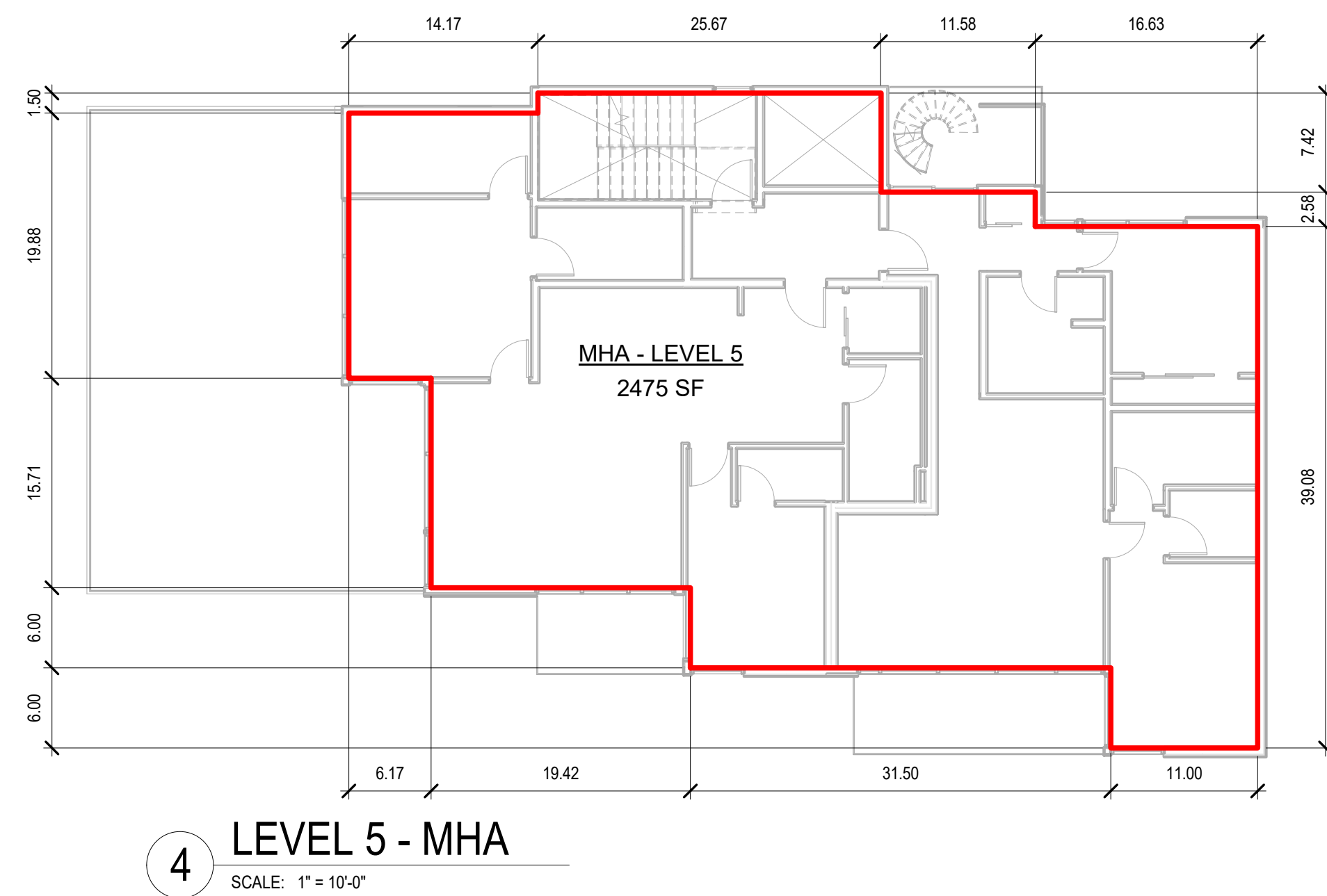
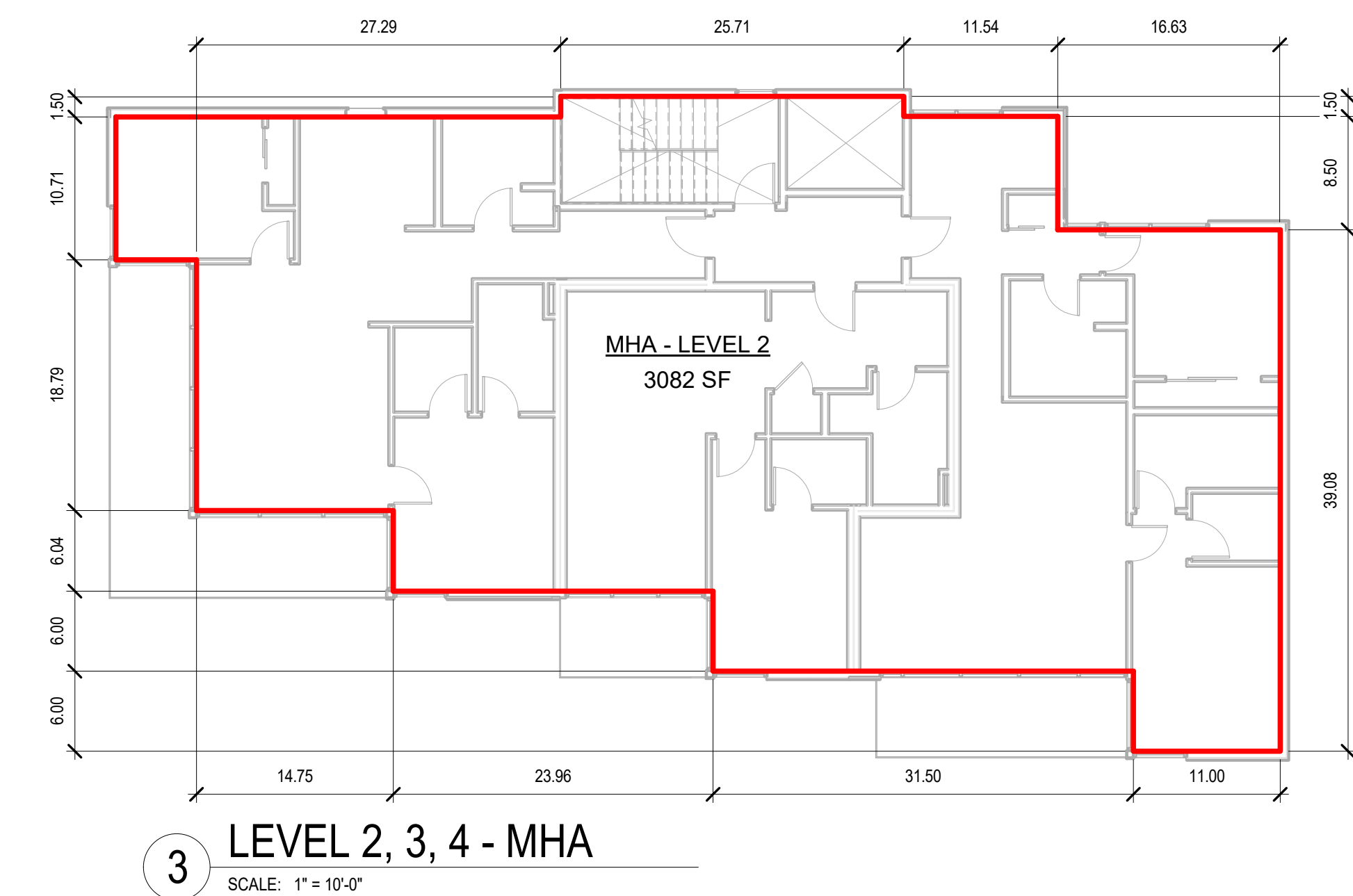
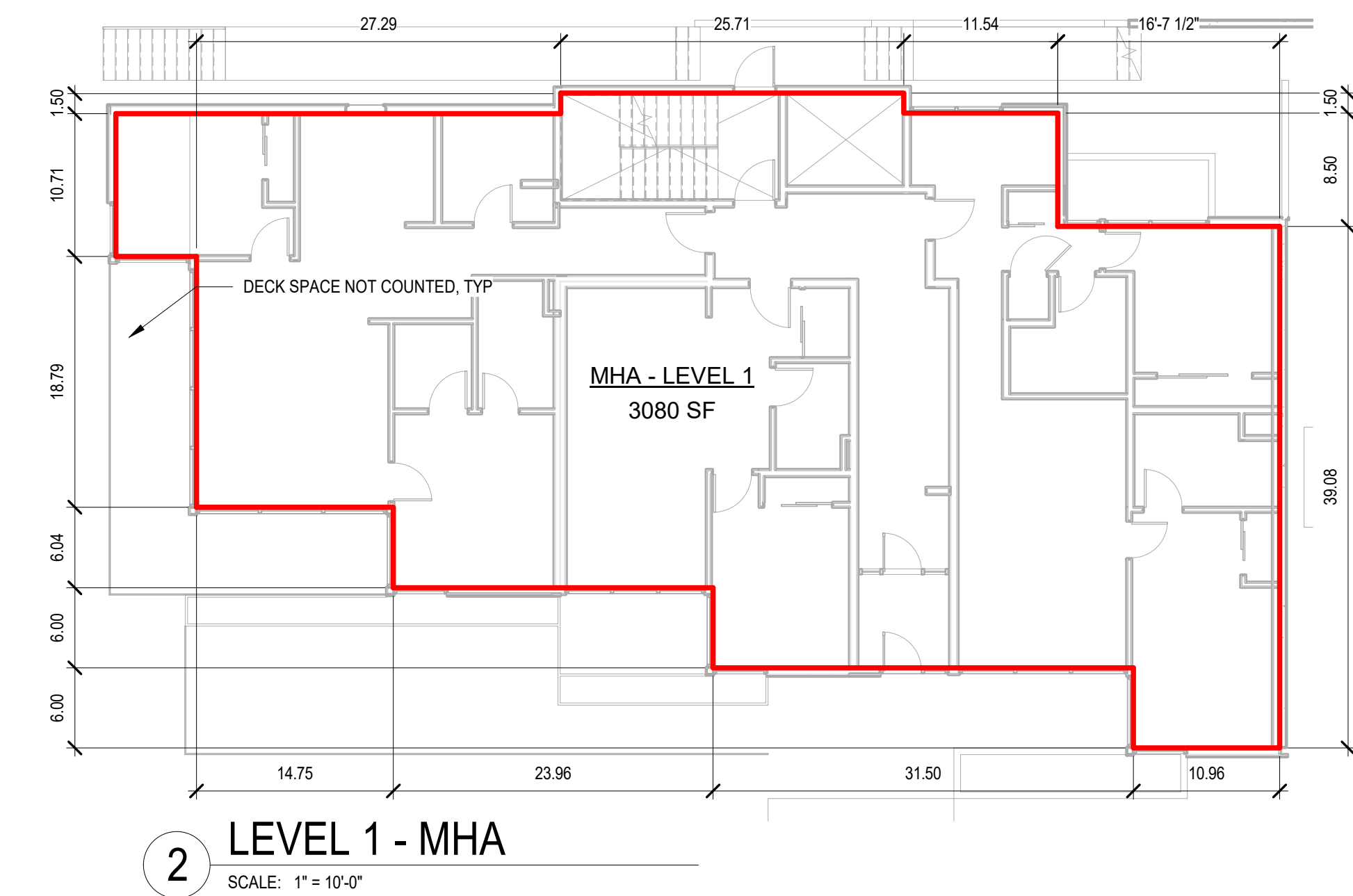
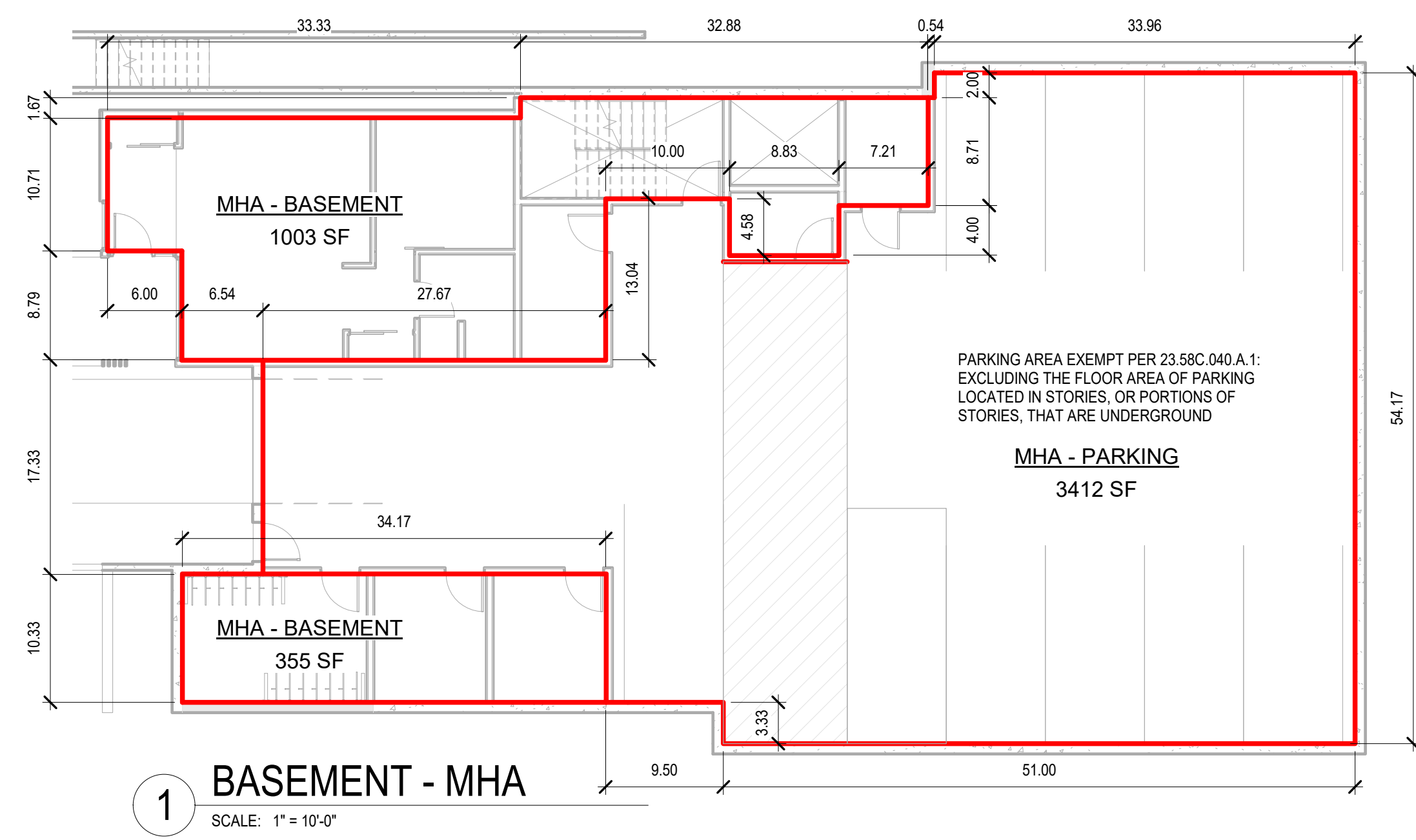
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**ZONING - MHA
 CALCULATIONS**

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AREA SCHEDULE (MHA)	
LEVEL	AREA
MHA - BASEMENT	1358 SF
MHA - LEVEL 1	3080 SF
MHA - LEVEL 2	3082 SF
MHA - LEVEL 3	3122 SF
MHA - LEVEL 4	3122 SF
MHA - LEVEL 5	2475 SF
MHA - PENTHOUSE	183 SF
	16421 SF

AREA SCHEDULE (MHA) - EXEMPT	
LEVEL	AREA
MHA - PARKING	3412 SF
	3412 SF

MHA-R PAYMENT OPTION SUMMARY TABLE	
1 ZONE	LR3(M1)
2 MHA AREA DESIGNATION (PER MAP A, 23.58C.050)	MEDIUM
3 ASSOCIATED PUDA?	NO
4 TOTAL # OF RESIDENTIAL & LIVE/WORK UNITS	15
5 GROSS FLOOR AREA* IN RESIDENTIAL USE	19,833 SF
6 GROSS FLOOR AREA LIVE/WORK UNITS	0 SF
7 GROSS FLOOR AREA EXCLUDED FROM MHA-R PAYMENT (SMC 23.58C.040)	3,412 SF
8 FLOOR AREA FOR MHA-R CALCULATION [(LINE 5 + LINE 6) - LINE 7]	16,421 SF
9 ADJUSTED PAYMENT CALCULATION AMOUNT PER CODE (PER TABLE 4, TIP 257)	\$23.18
10 MHA-R PAYMENT DUE (LINE 8 x LINE 9)	\$380,638.78

* PER 23.84A.014 "G.": "GROSS FLOOR AREA" MEANS THE NUMBER OF SQUARE FEET OF TOTAL FLOOR AREA BOUNDED BY THE INSIDE SURFACE OF THE EXTERIOR WALL OF THE STRUCTURE AS MEASURED AT THE FLOOR LINE, AND ANY ADDITIONAL AREAS IDENTIFIED AS GROSS FLOOR AREA WITHIN A ZONE.

CHAPTER 10: MEANS OF EGRESS (CON'T)

- 1015: GUARDS
- OPERABLE WINDOWS WITH SILLS MORE THAN 72" ABOVE GRADE SHALL COMPLY WITH 1013.8 (THE LOWEST PART OF THE CLEAR OPENING SHALL NOT BE LESS THAN 36" ABOVE FINISHED FLOOR OR IF WITHIN 36" OF THE FLOOR, CANNOT ALLOW PASSAGE OF A 4" SPHERE VIA AN OPENING LIMITING DEVICE)
- GUARDS ARE REQ'D AT ALL OPEN SIDED WALKING SURFACES MORE THAN 30" ABOVE AN ADJACENT SURFACE AT ANY POINT WITHIN 36" HORIZONTALLY
- GUARDS SHALL BE 42" HIGH MIN
- GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW THE PASSAGE OF A 4" DIA SPHERE; THE TRIANGULAR OPENING AT STAIR RISERS/TREADS SHALL NOT ALLOW THE PASSAGE OF A 6" DIA SPHERE

- 1020: CORRIDORS:
- IN GROUP R, CORRIDORS REQUIRE A 1 HR RATING
- DEAD END CORRIDOR LENGTH CANNOT EXCEED 90 FT IN GROUP R-2 WITH AUTOMATIC SPRINKLERS

- 1028: EXIT DISCHARGE:
- EXITS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR OF THE BUILDING
- EXIT DISCHARGE SHALL PROVIDE DIRECT AND UNOBSTRUCTED ACCESS TO A PUBLIC WAY
- EGRESS COURTS SERVING AS A PORTION OF EXIT DISCHARGE SHALL BE OF A MIN WIDTH AS SPEC'D IN SECTION 1005, BUT NOT LESS THAN 44" (44" WIDTH GOVERNS). WIDTH SHALL BE UNOBSTRUCTED TO A HEIGHT OF 7'

> WHERE AN EGRESS COURT IS LESS THAN 10' WIDE, EGRESS COURT WALLS REQUIRE A 1 HR MIN FIRE RATING FOR 10 VERT FT ABOVE THE COURT FLOOR. OPENINGS SHALL BE PROTECTED BY A 3/4 HR MIN RATING, UNLESS IT IS POSSIBLE TO EXIT IN TWO DIRECTIONS FROM THE COURT (PER 1028.4.2 EXC 3)

NOTE: EXIT IN 2 DIRECTIONS IS PROVIDED

- 1030: EMERGENCY ESCAPE AND RESCUE
- BASEMENTS AND SLEEPING ROOMS BELOW THE 4TH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING
- MIN SIZE = MIN NET CLEAR OPENING OF 5.7 SF
- MIN DIMS = 24" HIGH, 20" WIDE
- MAX HEIGHT ABOVE THE FLOOR = 44" TO BOTTOM OF CLEAR OPENING
- WINDOW WELLS MUST HAVE A MIN DIM (IN PLAN) OF 36". WELLS > 44" DEEP REQUIRE A PERMANENT LADDER

CHAPTER 11: ACCESSIBILITY

1101: GENERAL: MEET REQUIREMENTS OF ICC A117.1 (SEE SHEET A700)

1103.2.9: EQUIPMENT SPACES: SPACES FREQUENTED ONLY BY PERSONNEL FOR MAINTENANCE, REPAIR, OR MONITORING OF EQUIP ARE NOT REQ'D TO BE ACCESSIBLE. SUCH SPACES INCLUDE, BUT ARE NOT LIMITED TO, ELEVATOR PITS, ELEVATOR PENTHOUSES, MECH, ELEC, OR COMM EQUIP ROOMS, WATER PUMP ROOMS, AND TRANSFORMER VAULTS

1105: ACCESSIBLE ENTRANCES:
- AT LEAST 60% OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE

1107: DWELLING UNITS
- IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 10 UNITS, AT LEAST 5% (BUT NOT LESS THAN 1) SHALL BE TYPE A UNITS OF A REPRESENTATIVE MIX

UNIT MIX OF PROJECT:

Table with 6 columns: UNIT TYPE, COUNT, PERCENT, UNIT TYPE, COUNT, PERCENT. Rows include 1-BR B, 1-BR C, 2-BR A, 2-BR B, 2-BR C, 2-BR D, 2-BR E, OPEN 1-BR A, and TOTAL.

PROPOSED TYPE A UNITS: 15 x 0.05 = 0.75 (1 TYPE A UNITS REQUIRED)
1 UNIT PROVIDED: 2 BED - UNIT 103
- WHERE THERE ARE 4+ UNITS IN A SINGLE STRUCTURE, EVERY OTHER UNIT SHALL BE A TYPE B UNIT

CHAPTER 12: INTERIOR ENVIRONMENT

- 1207: SOUND TRANSMISSION:
- UNIT PARTY WALLS AND CORRIDOR WALLS SHALL HAVE A STC RATING OF AT LEAST 50 AND AN IIC RATING OF AT LEAST 50
- UNIT ENTRY DOORS AT THE CORRIDOR SHALL HAVE PERIMETER SEALS AND A STC RATING OF AT LEAST 28
- ELECTRICAL OUTLET BOXES SHALL BE OFFSET BY AT LEAST 12" FROM OUTLETS ON THE OPPOSING WALL SURFACE. THE BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/2 INCH THICK RESILIENT SEALANT AND BACKED BY MIN 2 INCH FIBER INSULATION

- 1208: INTERIOR SPACE DIMENSIONS:
- HABITABLE SPACES (OTHER THAN A KITCHEN) REQUIRE A MIN PLAN DIMENSION OF 7 FT
- HABITABLE SPACES REQUIRE A CEILING HEIGHT OF 7'-6" OR MORE. BATHROOMS, KITCHENS, STORAGE AND LAUNDRY AREAS ARE PERMITTED TO BE 7'-0" TALL
- EVERY DWELLING UNIT NEEDS ONE ROOM OF AT LEAST 120 SF SIZE; OTHER HABITABLE ROOMS (OTHER THAN KITCHEN) REQUIRE A 70 SF MIN FLOOR AREA

CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURE

1507: SINGLE-PLY ROOFING SLOPE: MIN 1/4" IN 12" (2%) SLOPE REQ'D

- 1509: ROOFTOP STRUCTURES
- PENTHOUSES IN COMPLIANCE WITH THIS SECTION SHALL BE CONSIDERED A PORTION OF THE STORY DIRECTLY BELOW THE ROOF DECK ON WHICH SUCH PENTHOUSES ARE LOCATED
- HEIGHT ABOVE ROOF DECK: 18 FT MAX
- AGGREGATE AREA SHALL NOT EXCEED ONE-THIRD OF ROOF BELOW
- PENTHOUSES SHALL NOT BE USED FOR PURPOSES OTHER THAN SHELTER OF MEP EQUIP, EXIT STAIRWAYS, OR VERTICAL SHAFT OPENINGS

CHAPTER 24: GLASS AND GLAZING

- 2406: SAFETY GLAZING (IE: TEMPERED GLASS) IS REQUIRED AT THE FOLLOWING HAZARDOUS LOCATIONS:
- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGS, SLIDING, AND BIFOLD DOORS
- GLAZING WITHIN 24" OF A DOOR AND WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE
- GLAZING WITHIN 18" OF THE FLOORS
- GLAZING IN RAILS OR GUARDS
- GLAZING IN WALLS OR ENCLOSURES CONTAINING OR FACING, OR WITHIN 60" OF TUBS OR SHOWERS WHERE THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR
- GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 60" ABOVE STAIRS, RAMPS, OR LANDINGS

CHAPTER 30: ELEVATORS AND CONVEYING SYSTEMS

3016.9: INSTALL APPROVED KEY RETAINER BOX, KEYED TO THE SECURE CITY KEY

3016.10: KEYS REQUIRED FOR THE OPERATION OF THE ELEVATOR, FIRE EMERGENCY SERVICE, THE MACHINE ROOM, AND THE MECHANICAL HOISTWAY ACCESS KEY SHALL BE TAGGED AND KEPT IN THE KEY BOX

3016.12: IN BUILDINGS 4 OR MORE STORIES IN HEIGHT, AT LEAST ONE ELEVATOR SHALL BE PROVIDED FOR FIRE DEPARTMENT EMERGENCY ACCESS TO ALL FLOORS AND ACCOMMODATE A 24" x 84" STRETCHER W/ 5' RADIUS CORNERS

3020.3: MOTOR CONTROLLERS, MOTION CONTROLLERS, AND DRIVES SHALL NOT BE LOCATED IN HOISTWAYS

3020.4: ELEVATOR CONTROLS AND MACHINERY OTHER THAN DRIVING MACHINES AND GOVERNORS SHALL BE LOCATED IN A ROOM DEDICATED EXCLUSIVELY TO ELEVATOR EQUIPMENT. ELEVATOR MACHINE ROOMS THAT ARE ADJACENT TO THE HOISTWAY SHALL BE ENCLOSED BY FIRE PARTITIONS AND HORIZONTAL ASSEMBLIES WITH A FIRE RESISTANCE RATING EQUAL TO THE HOISTWAY (2 HR), BUT THE SEPARATION BETWEEN THE ROOM AND THE HOISTWAY IS PERMITTED TO BE NONRATED. EXTERIOR WALLS AND ROOFS ARE NOT REQUIRED TO BE FIRE-RATED UNLESS REQUIRED BY OTHER SECTIONS OF THE CODE

3022.1: IN ACCORDANCE WITH ASME A 17.1 SECTION 2.8, NON-ELEVATOR ELECTRIC WIRING, PIPES AND DUCTS ARE PROHIBITED IN ELEVATOR MACHINE ROOMS AND HOISTWAYS

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES (CON'T)

705.8.5: VERTICAL SEPARATION OF OPENINGS: SEPARATION NOT REQ'D IF BLDG IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.3.1

705.11: PARAPETS: A 30" TALL PARAPET IS NOT REQUIRED AT MAIN ROOF IF BLDG IS SPRINKLERED AND EXTERIOR WALLS HAVE A SEPARATION DISTANCE OF 5' OR GREATER (PER EXCEPTION 6)

- 713: SHAFT ENCLOSURES
- SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING MORE THAN 4 STORIES
- WHERE AN EXTERIOR WALL SERVES AS PART OF THE REQ'D SHAFT ENCLOSURE, EXTERIOR WALLS SHALL COMPLY WITH SECTION 705 FOR EXTERIOR WALLS, EXCEPT INTERIOR EXIT STAIRWAYS, WHICH SHALL COMPLY WITH SEC 1022.7
- REFUSE AND RECYCLING CHUTE ACCESS OPENINGS SHALL NOT BE LOCATED DIRECTLY IN CORRIDORS. ACCESS OPENINGS SHALL BE LOCATED IN ROOMS/COMPARTMENTS ENCLOSED BY 1 HR FIRE BARRIERS W/ 3/4 HR SELF-CLOSING DOORS
- ENCLOSED ELEVATOR LOBBIES NOT REQ'D WHERE BLDG IS PROTECTED BY AUTOMATIC SPRINKLER SYSTEM PER 713.14. EXC 4

CHAPTER 9: FIRE PROTECTION SYSTEMS

903: AUTOMATIC SPRINKLER SYSTEMS: FULL NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS REQUIRED

- 906: PORTABLE FIRE EXTINGUISHERS: SHALL BE PROVIDED THROUGHOUT IN GROUP R-2 OCCUPANCY FIRE EXTINGUISHERS FOR CLASS A, ORDINARY HAZARD OCCUPANCIES:
- MIN RATED SINGLE EXTINGUISHER: 2-A
- MAX FLOOR AREA PER UNIT OF A: 1,500 SF
- MAX FLOOR AREA PER EXTINGUISHER: 11,250 SF
- MAX TRAVEL DISTANCE: 75 FT

- 913: FIRE PUMPS:
- SHALL BE PROTECTED FROM SERVICE INTERRUPTION PER NFPA 20
- SHALL BE LOCATED IN A SEPARATE ROOM W/ 1-HOUR FIRE BARRIERS IN BLDGS EQUIPPED W/ AN AUTOMATIC SPRINKLER SYSTEM
- ROOM TEMP OF FIRE PUMP ROOM MUST REMAIN ABOVE 40 DEGREES FARENHEIT

CHAPTER 10: MEANS OF EGRESS (SEE ALSO SHEET G008)

1003: CLEAR HEIGHT: MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7'-6" HIGH, EXCEPT AT STAIRS WHICH CAN HAVE A 6'-6" CLEAR HT PER 1009.5 AND DOORS

- 1004.1.2: OCCUPANT LOAD
STORAGE/MECH/EQUIP AREAS = 300 GROSS
ASSEMBLY (UNCONCENTRATED TABLES & CHAIRS) = 15 NET
RESIDENTIAL = 200 GROSS
- OUTDOOR AREAS ASSOCIATED WITH R-2 INDIVIDUAL DWELLING UNITS ARE EXEMPT FROM OCCUPANT LOAD FACTORS PER 1004.5 EXC 2
PARKING AREAS = 200 GROSS

- 1005: MEANS OF EGRESS SIZING
- STAIR WIDTH MIN (SPRINKLER EXCEPTION) = 0.2" PER OCCUPANT
0.2" X 20 OCC (LEVEL 5) = 4.00"
SECTION 1009.1 GOVERNS = 44" MIN WIDTH
- WHEN FULLY OPENED, DOORS SHALL NOT REDUCE THE REQ'D WIDTH BY MORE THAN 7" PER 1005.7

1015.1: SPACES WITH ONE EXIT: GROUP R MAX OCCUPANT LOAD: 10

- 1006.3.3.7 SINGLE EXITS:
A SINGLE EXIT OR ACCESS TO A SINGLE EXIT SHALL BE PERMITTED FROM ANY STORY OR OCCUPIED ROOM WHERE THE FOLLOWING EXISTS:
- NOT MORE THAN 5 STORIES OF GROUP R-2 OCCUPANCY ARE PERMITTED TO BE SERVED BY A SINGLE EXIT
- NOT MORE THAN FOUR DWELLING UNITS ON ANY FLOOR
- NOT MORE THAN 20 FT OF TRAVEL TO THE EXIT STAIR FROM THE ENTRY/EXIT DOOR OF ANY DWELLING UNIT
- NO OPENINGS WITHIN 10 FT OF UNPROTECTED OPENINGS INTO THE STAIRWAY OTHER THAN REQUIRED EXIT DOORS HAVING A ONE-HOUR FIRE RESISTANCE RATING

1006.2: COMMON PATH OF EGRESS TRAVEL (WITH SPRINKLER SYSTEM): GROUP R-2 MAX TRAVEL DISTANCE: 125 FT
GROUP S-2 MAX TRAVEL DISTANCE: 100 FT

1006.3: EXIT ACCESS TRAVEL DISTANCE (WITH SPRINKLER SYSTEM): GROUP R-2 MAX TRAVEL DISTANCE: 125 FT
GROUP S-2 MAX TRAVEL DISTANCE: 100 FT

- 1008: MEANS OF EGRESS ILLUMINATION
- MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THAT THE BLDG IS OCCUPIED. AT LEAST ONE LIGHT FIXTURE IS REQ'D PER STAIR LANDING AND OUTSIDE THE BLDG EXIT. AT LEAST 1 FIXTURE IS REQ'D EVERY 40 LINEAL FEET OF CORRIDOR, AND AT LEAST 1 FIXTURE PER 250 SF OF LOBBIES, VESTIBULES, AND ELEVATOR CARS. ILLUM SHALL BE AT LEAST 0.1 WATT OF FLUORESCENT ILLUM PER SF (3 IF INCANDESCENT)
- EMERGENCY POWER/AUTO ILLUMINATION IS REQ'D FOR 90 MINS IN THE EVENT OF POWER FAILURE IN CORRIDORS AND EXIT STAIRS PER 1008.3

- 1009: ACCESSIBLE MEANS OF EGRESS
- AN ELEVATOR COMPLYING WITH 1007.4 IS THE REQ'D ACCESSIBLE MEANS OF EGRESS BECAUSE OCCUPIED ROOF IS 4 STORIES ABOVE THE LEVEL OF EXIT DISCHARGE. A LEGALLY-REQUIRED STANDBY POWER SYSTEM SHALL BE PROVIDED FOR OPERATION OF THE ELEVATOR, THE SHUNT TRIP AND LIGHTING FOR ELEVATOR CARS, CONTROL ROOMS, MACHINE ROOMS, AND MACHINERY SPACES
- AN AREA OF REFUGE OR HORIZONTAL EXIT IS NOT REQ'D IN BUILDINGS WITH AN AUTOMATIC SPRINKLER SYSTEM PER 1009.4 EXC 2
- TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT EACH ELEVATOR LANDING ON EACH ACCESSIBLE FLOOR THAT IS ONE OR MORE STORIES ABOVE THE LEVEL OF EXIT DISCHARGE

1010.1.6: LANDINGS AT DOORS: WHEN DOORS OPEN OVER LANDINGS, DOORS IN ANY POSITION SHALL NOT REDUCE THE STANDING LENGTH TO LESS THAN 12 INCHES. LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES

- 1011: STAIRWAYS
- STAIR RISER HEIGHTS SHALL BE 7" MAX AND 4" MIN; STAIR TREAD DEPTH SHALL BE 11" MIN
- THE TOLERANCE BETWEEN THE LARGEST/SMALLEST RISER AND LARGEST/SMALLEST TREAD DEPTH IS 3/8"/FLIGHT
- EXIT STAIRS ACTING AS AN ACCESSIBLE MEANS OF EGRESS MUST HAVE SOLID RISERS
- A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12 FT BETWEEN FLOOR LEVELS/LANDINGS
- HANDRAILS ARE REQUIRED AT EACH SIDE
- WITHIN GROUP R-2 OCCUPANCIES, THE MAX RISER HEIGHT SHALL BE 7-3/4", THE MIN DEPTH SHALL BE 10"
- SPIRAL STAIRWAYS ARE PERMITTED TO BE USED AS A COMPONENT IN THE MEANS OF EGRESS ONLY WITHIN DWELLING UNITS NOT SERVING MORE THAN FIVE OCCUPANTS
- SPIRAL STAIRWAY SHALL HAVE A 6-3/4" MIN CLEAR TREAD DEPTH AT A POINT 12" FROM THE NARROW EDGE; RISERS SHALL PROVIDE HEADROOM OF 78" MIN BUT RISER HEIGHT SHALL NOT BE MORE THAN 9-1/2"; MIN STAIRWAY WIDTH AT AND BELOW HANDRAIL SHALL BE 26"

1013: EXIT SIGNS: ARE REQ'D PER SECTION 1013

- 1012: HANDRAILS:
- HANDRAIL HEIGHT AT STAIRS AND RAMPS SHALL BE UNIFORM BETWEEN 34" AND 38" ABOVE STAIR TREAD NOSINGS
- HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE A DIAMETER BETWEEN 1.25" AND 2" AND HAVE A 1.5" CLEARANCE FROM THE WALL
- HANDRAILS SHALL BE CONTINUOUS AND RETURN TO A WALL, GUARD, OR WALKING SURFACE OR BE CONTINUOUS BETWEEN RUNS. WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THEY SHALL EXTEND 12" HORIZ BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BELOW THE BOTTOM RISER
- HANDRAIL PROJECTIONS SHALL NOT EXCEED 4.5" AT OR BELOW HANDRAIL HEIGHT

CHAPTER 5: BUILDING HEIGHT AND AREA (CON'T)

PROPOSED BLDG: SPRINKLERED, 5-STORY (51.936' HT ABOVE GRADE PLANE TO ROOF) TYPE VA, R-2 OCCUPANCY

HEIGHT ALLOWED: 50 FT + 20 FT SPRINKLER INCREASE = 70 FT
HEIGHT PROPOSED: 51.936 FT

STORIES ALLOWED: 4 STORIES + 1 STORY SPRINKLER INCREASE = 5 STORIES
STORIES PROVIDED: 5

AREA ALLOWED: 12,000 + 12,000*2 (SPRINKLER)= 36,000 SF PER STORY
36,000 PER STORY x 3 = 108,000 MAX BUILDING AREA
AREA PROPOSED: 3,229 SF MAX PER STORY
20,768 SF TOTAL BUILDING AREA

Table: AREA SCHEDULE (GROSS BUILDING). Columns: LEVEL, AREA. Rows: TYPE VA, BASEMENT, LEVEL 1-5, PENTHOUSE, TOTAL.

509: INCIDENTAL USES: INCIDENTAL USES (IE: STORAGE) SHALL NOT OCCUPY MORE THAN 10 PERCENT OF THE AREA OF THE STORY IN WHICH THEY ARE LOCATED, OR THEY MUST COMPLY WITH TABLE 509 OR 508.4:

FURNACE ROOM (GREATER THAN 400,000 BTU PER HR): 1 HR OR SPRINKLER PROTECTION (T 509)
BOILER ROOMS (15 PSI OR 10 HP OR GREATER): 1 HR OR SPRINKLER PROTECTION (T 509)
WASTE COLLECTION ROOMS (GREATER THAN 100 SF): 1 HR OR SPRINKLER PROTECTION (T 509)
ELEVATOR CONTROL AND MACHINE ROOMS: PER 3020.4
STORAGE (S-2): 1 HR (508.4)

CHAPTER 6: TYPES OF CONSTRUCTION

602: FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

Table: FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS. Columns: TYPE VA, STRUCT FRAME, BEARING WALLS EXT, BEARING WALLS INT, NON-BEAR WALLS EXT, NON-BEAR WALLS INT, FLOORS, ROOF, SHAFTS, CORRIDORS.

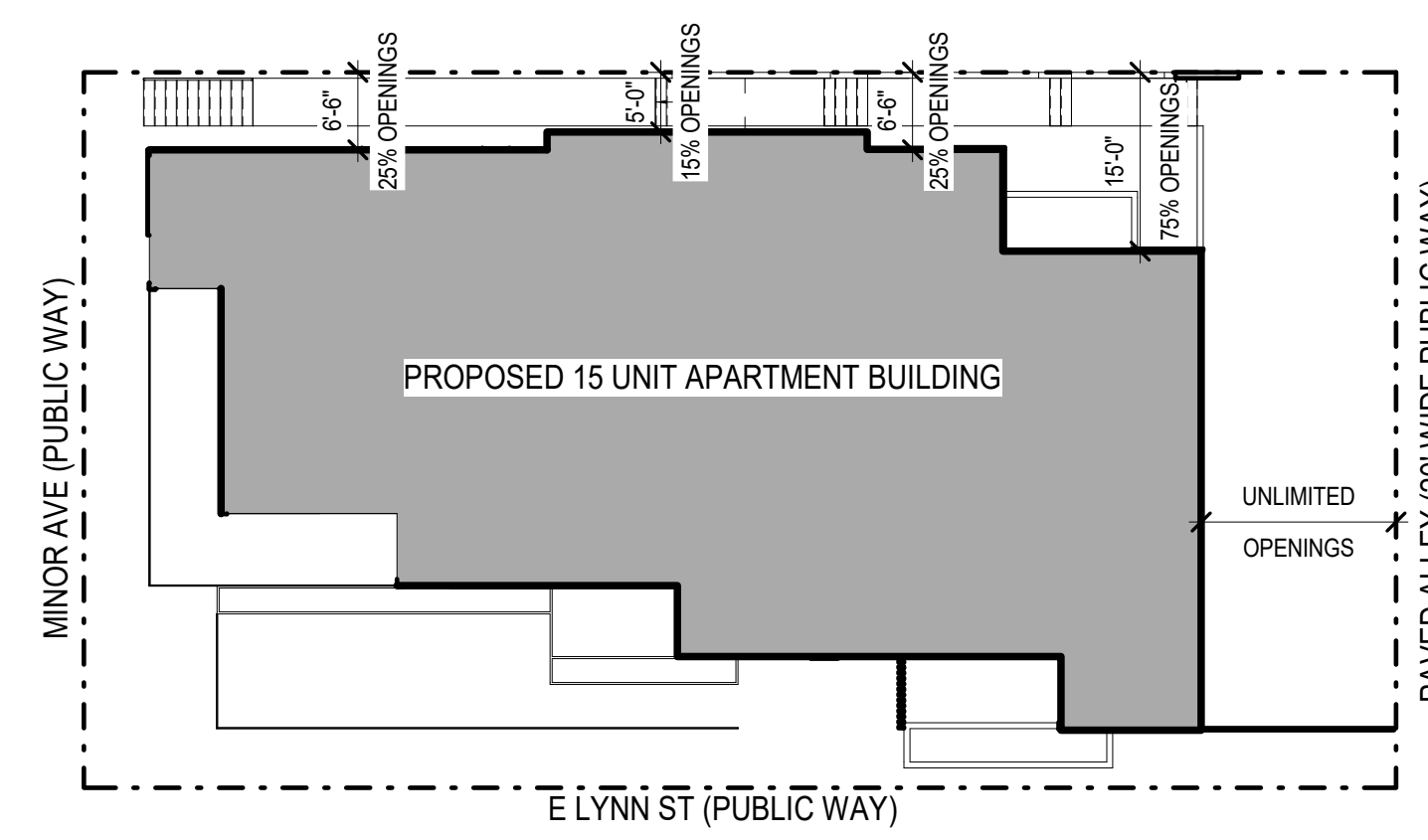
602: FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

Table: FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE. Columns: FIRE SEP DISTANCE, TYPE OF CONST, GROUP R.

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

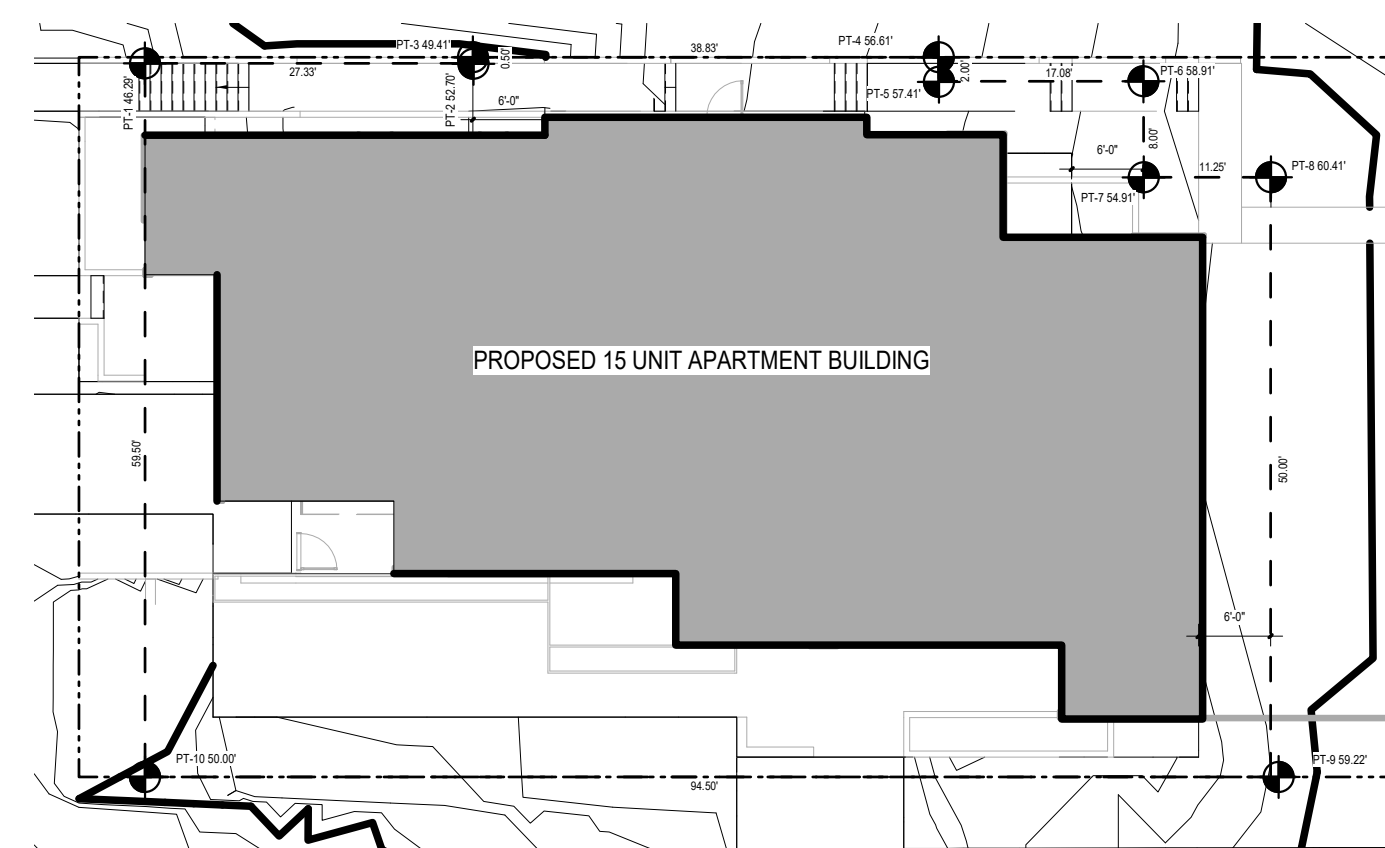
705: EXTERIOR WALL PROJECTIONS:
- EAVE OVERHANGS FROM RATED WALLS SHALL BE FINISHED ON THE UNDERSIDE WITH AT LEAST 1/2" GYPSUM SHEATHING OR HEAVY TIMBER CONSTRUCTION PER 602.4. VENTS ARE PERMITTED IF COVERED WITH CORROSION-RESISTANT METAL MESH

705.8: ALLOWABLE OPENINGS (SPRINKLERED BUILDINGS, UNPROTECTED OPENINGS)
SEPARATION DISTANCE: ALLOWABLE AREA OF UNPROTECTED OPENING:
0' - 3' NOT PERMITTED
3' - 5' 15%
5' - 10' 25%
10' - 15' 45%
15' - 20' 75%
>20' NO LIMIT



BUILDING CODE SUMMARY

CODE: 2018 SEATTLE BUILDING CODE



1 AVERAGE GRADE PLANE - SBC
SCALE: 1/16" = 1'-0"

Table: CORNER ELEVATION 1, CORNER ELEVATION 2, AVG. RUN ELEVATION, RUN LENGTH, AVG. ELEVATION X RUN LENGTH. Rows include PT-1 through PT-10 and a TOTAL row.

Table: AVERAGE GRADE. Columns: AVERAGE GRADE, TOTAL, 16751.5671, 16785.16715 SF, 54.2139457587624, OR 54.214'

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

302: OCCUPANCY CLASSIFICATION: RESIDENTIAL APTS: R-2 (SBC 310.4)

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASE ON USE AND OCCUPANCY

406: MOTOR-VEHICLE-RELATED OCCUPANCIES
LEVEL P1 IS AN ENCLOSED PARKING GARAGE

CLEAR HEIGHT: REQUIRED: 6'-6" MIN; PROVIDED: 8'-2" MIN
FLOOR SURFACE: PARKING SURFACE IS CONCRETE

CHAPTER 5: BUILDING HEIGHT AND AREA

502.1: DEFINITIONS: GRADE PLANE:
A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS, WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS. THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINTS WITHIN THE AREA BETWEEN THE BUILDING AND THE LOTLINE OR, WHERE THE LOT LINE IS MORE THAN 6 FEET (1829 MM) FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING.
GRADE PLANE = 54.214'

502.1: DEFINITIONS: STORY ABOVE GRADE PLANE:
ANY STORY HAVING ITS FINISHED FLOOR SURFACE ENTIRELY ABOVE GRADE PLANE, OR IN WHICH THE FINISHED SURFACE OF THE NEXT FLOOR ABOVE IS MORE THAN 12 FT ABOVE THE FINISHED GROUND LEVEL FOR MORE THAN 25 FT OF THE PERIMETER

LOWEST FINISHED GRADE AT P1 TO FINISHED SURFACE OF L1 IS 10'-6". P1 IS THEREFORE NOT CONSIDERED A STORY ABOVE GRADE PLANE. SEE DEFINITIONS: BASEMENT.

502.1: DEFINITIONS: BASEMENT:
A STORY THAT IS NOT A STORY ABOVE GRADE PLANE.

504/506: ALLOWABLE HEIGHT AND AREA:
-BASE TABULAR VALUES FROM TABLE 504.3, 504.4, & 506.2
OCCUPANCY: R-2

Table: TYPE, HEIGHT, STORIES, AREA. Values: TYPE VA (S), HEIGHT 50FT, STORIES 5 STORIES, AREA 36,000 SF/STORY



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LYNN ST APARTMENTS

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Table: DRAWING ISSUE. Columns: DATE, DESCRIPTION. Row: 2021.11.23, MUP INTAKE

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASE ON USE AND OCCUPANCY

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SHEET TITLE
BUILDING CODE SUMMARY

SHEET NO.
G007

Drawn Checked Author Checker

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CONSTRUCTION STORMWATER CONTROL (CSC) GENERAL NOTES

- A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY. SCHEDULE A FIRST GROUND DISTURBANCE INSPECTION FOR AN ISSUED BUILDING PERMIT AT 206-684-8900 OR ONLINE AS DESCRIBED AT <http://www.seattle.gov/sdci/inspections/site-development-inspections>
- THE APPLICANT SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) SUPERVISOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). FOR LARGE CONSTRUCTION PROJECTS, THE ESC SUPERVISOR SHOULD BE A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL). PROVIDE THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR TO THE SITE INSPECTOR AT THE FIRST GROUND DISTURBANCE INSPECTION.
- BMPs SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
- THE BMPs INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMPs ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
- ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMPs METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.)
- GRADING AND/OR SOIL DISTURBING ACTIVITIES MAY BE LIMITED OR PROHIBITED FOR CERTAIN SITES SUBJECT TO ECA STANDARDS (I.E. ECA STEEP SLOPES, LANDSLIDE PRONE AREAS, ETC.) BETWEEN OCTOBER 31ST AND APRIL 1ST. IF NOTED IN THE GEOTECHNICAL SPECIAL INSPECTIONS REQUIREMENTS, A GRADING SEASON EXTENSION LETTER (GSEL) ISSUED BY SDCI IS REQUIRED FOR ALL GRADING AND/OR SOIL DISTURBING ACTIVITIES DURING THIS PERIOD. THE GEOTECHNICAL SPECIAL INSPECTOR MUST SUBMIT ELECTRONIC APPLICATIONS FOR A GSEL USING THE SDCI PROJECT PORTAL. ALLOW FOUR TO SIX WEEKS FOR PROCESSING. FAILURE TO OBTAIN THE GSEL PRIOR TO OCTOBER 31 MAY RESULT IN A WORK STOPPAGE.
- CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES. NO MATERIAL SHALL BE STORED ON CITY STREETS OR SIDEWALKS WITHOUT A STREET USE PERMIT FROM THE SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
- POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
- ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
- ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

CONSTRUCTION STORMWATER CONTROL (CSC) PLAN REQUIREMENTS / NARRATIVE

SHOW TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES (BMPs) IN THE PLAN VIEW OF THIS SHEET THAT WILL ACCOMPLISH THE MINIMUM REQUIREMENTS DESCRIBED IN THE NARRATIVE BELOW. THE BMPs SHOWN IN THE PLAN VIEW OF THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL BMPs ARE REQUIRED WHEN MINIMUM CONTROLS ARE NOT SUFFICIENT TO PREVENT EROSION OR TRANSPORT OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE.

- MARK CLEARING LIMITS
- DELINEATE ENVIRONMENTALLY CRITICAL AREAS
- RETAIN TOP LAYER AND NATIVE VEGETATION
- ESTABLISH CONSTRUCTION ACCESS
- PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS
- PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE
- STABILIZE SOILS
- PROTECT SLOPES
- PROTECT STORM DRAINS
- STABILIZE CHANNEL AND OUTLETS
- CONTROL POLLUTANTS
- CONTROL DEWATERING
- MAINTAIN AND INSPECT BMPs
- EXECUTE CONSTRUCTION STORMWATER CONTROL PLAN
- MINIMIZE OPEN TRENCHES
- PHASE THE PROJECT
- INSTALL PERMANENT FLOW CONTROL AND WATER QUALITY FACILITIES
- PROTECT STORMWATER BMPs PRIOR TO, DURING, AND AFTER CONSTRUCTION

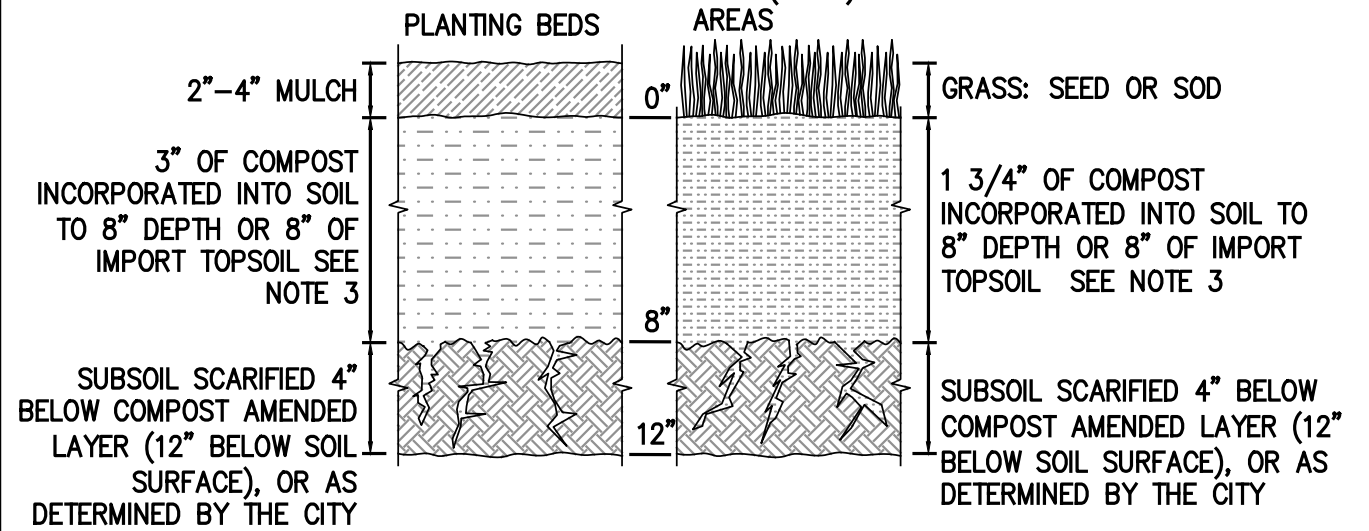
POST CONSTRUCTION SOIL MANAGEMENT PLAN

AT THE END OF PROJECT, ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL BELOW AND PROBE TO 12-INCHES AT THE SITE FINAL INSPECTION.

LABEL ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE AS ONE OF THE FOLLOWING: SA (SOIL AMENDMENT AREA) or ND (NON-DISTURBED AREA).

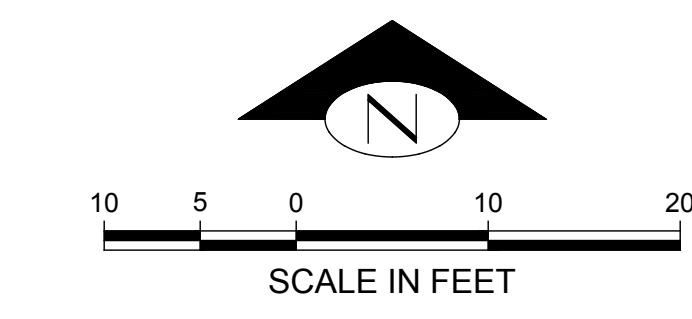
- NON-DISTURBED AREA (ND): VEGETATED AREAS THAT WILL NOT BE SUBJECT TO LAND DISTURBING ACTIVITY DO NOT REQUIRE SOIL AMENDMENT IF THEY ARE FENCED AND CONTINUOUSLY PROTECTED THROUGHOUT CONSTRUCTION. THE FENCING MUST BE IN PLACE AT THE FIRST GROUND DISTURBANCE INSPECTION. NO DISTURBANCE, INCLUDING VEHICLE TRAFFIC OR MATERIAL STORAGE, IS ALLOWED IN THESE AREAS UNTIL FINAL INSPECTION.
- SOIL AMENDMENT AREA (SA): VEGETATED OR COMPOST AREAS (TURF AND LANDSCAPE) MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL. THIS INCLUDES AREAS IMPACTED BY CLEARING AND GRADING, STOCKPILING, SITE ACCESS, PATHWAYS AND MATERIALS OR EQUIPMENT STORAGE.

SOIL AMENDMENT



- NOTES:
- POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY HARD SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
 - SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.
 - IMPORT TOPSOIL, IF USED, MUST MEET THE REQUIREMENTS OF THE SEATTLE STORMWATER MANUAL, VOL. 1, SECTIONS 5.1.5.1 AND 5.1.5.3.

SYMBOL: SA AREA REQUIRING SOIL AMENDMENT ND NON-DISTURBED AREA (SOIL AMENDMENT NOT REQUIRED)



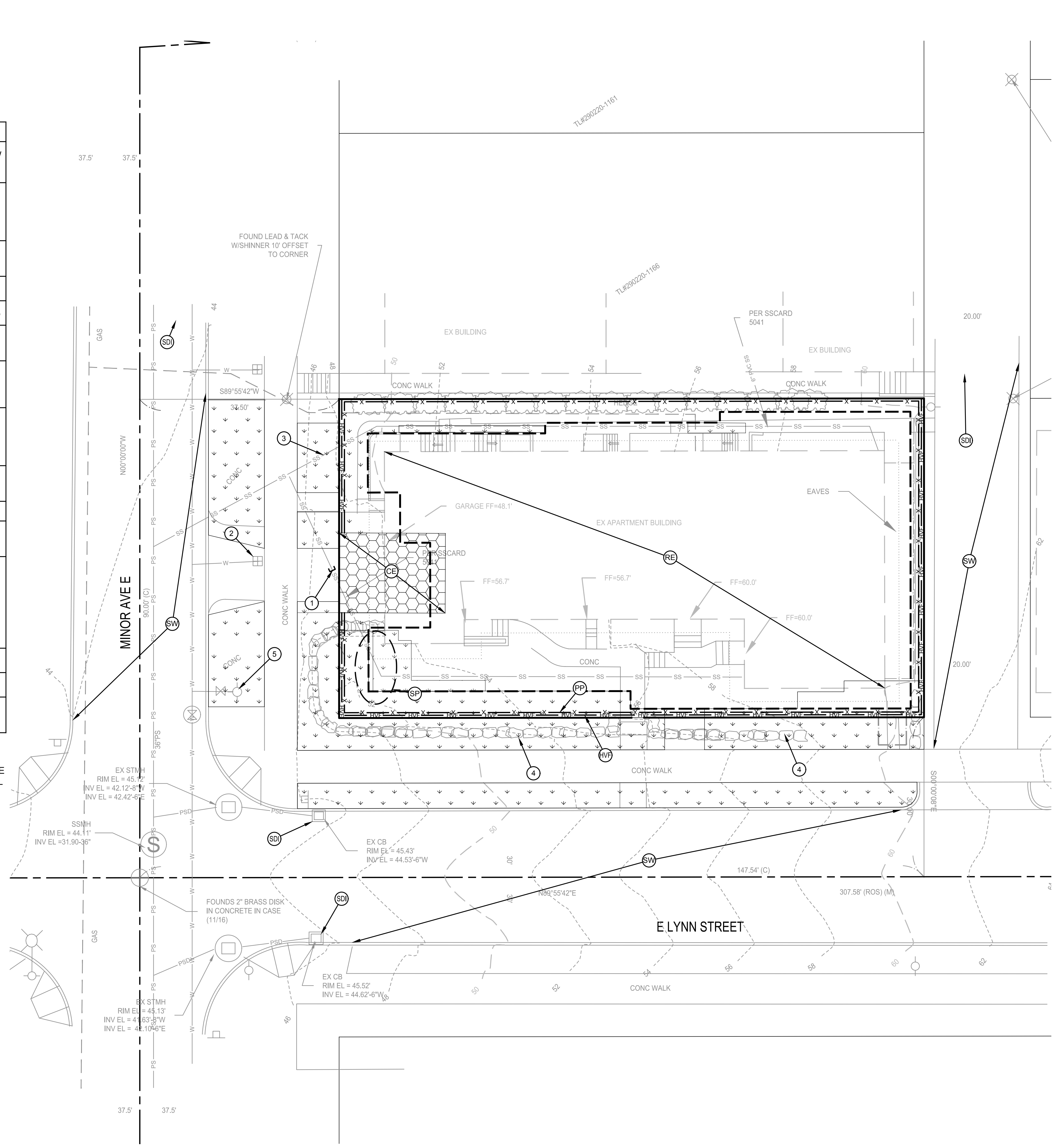
KEY NOTES:

KEY	NOTE:	DETAIL/SHEET
SDI	INSTALL TEMPORARY INLET PROTECTION ON EX SD INLET OR CLOSEST SD INLET DOWNSTREAM OF SITE	SDI/C05
CE	INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE	CE/C05
PP	INSTALL APPROX XX LF PERIMETER PROTECTION*	FF/C05
VEG	TREE PROTECTION FENCING	VEG/C05
HVF	INSTALL HIGH VISIBILITY FENCING ALONG RIGHT-OF-WAY	-
SP	PROPOSED STOCKPILE LOCATION. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	SP/C05
SW	CONTRACTOR TO SWEEP STREET DAILY OR MORE OFTEN IF NECESSARY TO REMOVE TRACKED SEDIMENT	-
RE	ALL EX ONSITE HARD SURFACES TO BE REMOVED UNLESS OTHERWISE NOTED	-
SA	SOIL AMENDMENT (TYP)	SA/C01
1	CUT, CAP, AND ABANDON OR REMOVE SOUTHERN BRANCH OF EX SS	-
2	RETIRE EXISTING WATER SERVICE. REMOVE EX METER BOX FROM DRIVEWAY, SALVAGE & RETURN EXISTING METER TO SPU IF NOT REUSED ONSITE FOR IRRIGATION PURPOSES.	-
3	PROTECT EX SS. EX SS TO BE REUSED	-
4	REMOVE EX ROCKERY	-
5	PROTECT EX FIRE HYDRANT. REPLACE IF DAMAGED	-

* INSTALL PERIMETER PROTECTION, SUCH AS SILT FENCING, COMPOST SOCKS, OR STRAW WATTLES IN ACCORDANCE WITH VOL II OF THE 2021 CITY OF SEATTLE STORMWATER MANUAL

LEGEND:

- STABILIZED CONSTRUCTION ENTRANCE
- SOIL AMENDMENT
- PERIMETER PROTECTION
- HIGH VISIBILITY FENCING
- STOCKPILE LOCATION



MUP - NOT FOR CONSTRUCTION

CONSTRUCTION STORMWATER CONTROL & SOIL AMENDMENT PLAN

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.

SDCI #: 6836542-CN

SDCI APPROVAL STAMP

REVISION	BY	DATE	No.

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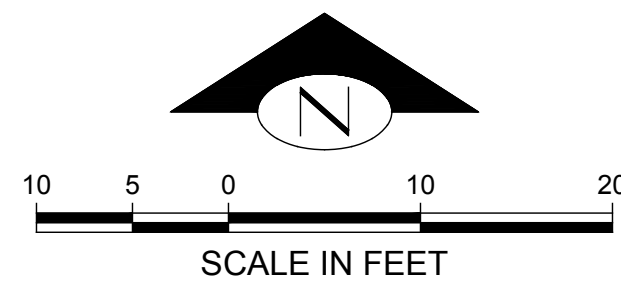
PROJECT: 78 E LYNN ST
SEATTLE, WA 98102
CONSTRUCTION STORMWATER CONTROL & SOIL AMENDMENT PLAN

PROJ. MANAGER: CB
DESIGNED BY: SD
DRAWN BY: MH
CHECKED BY: TG

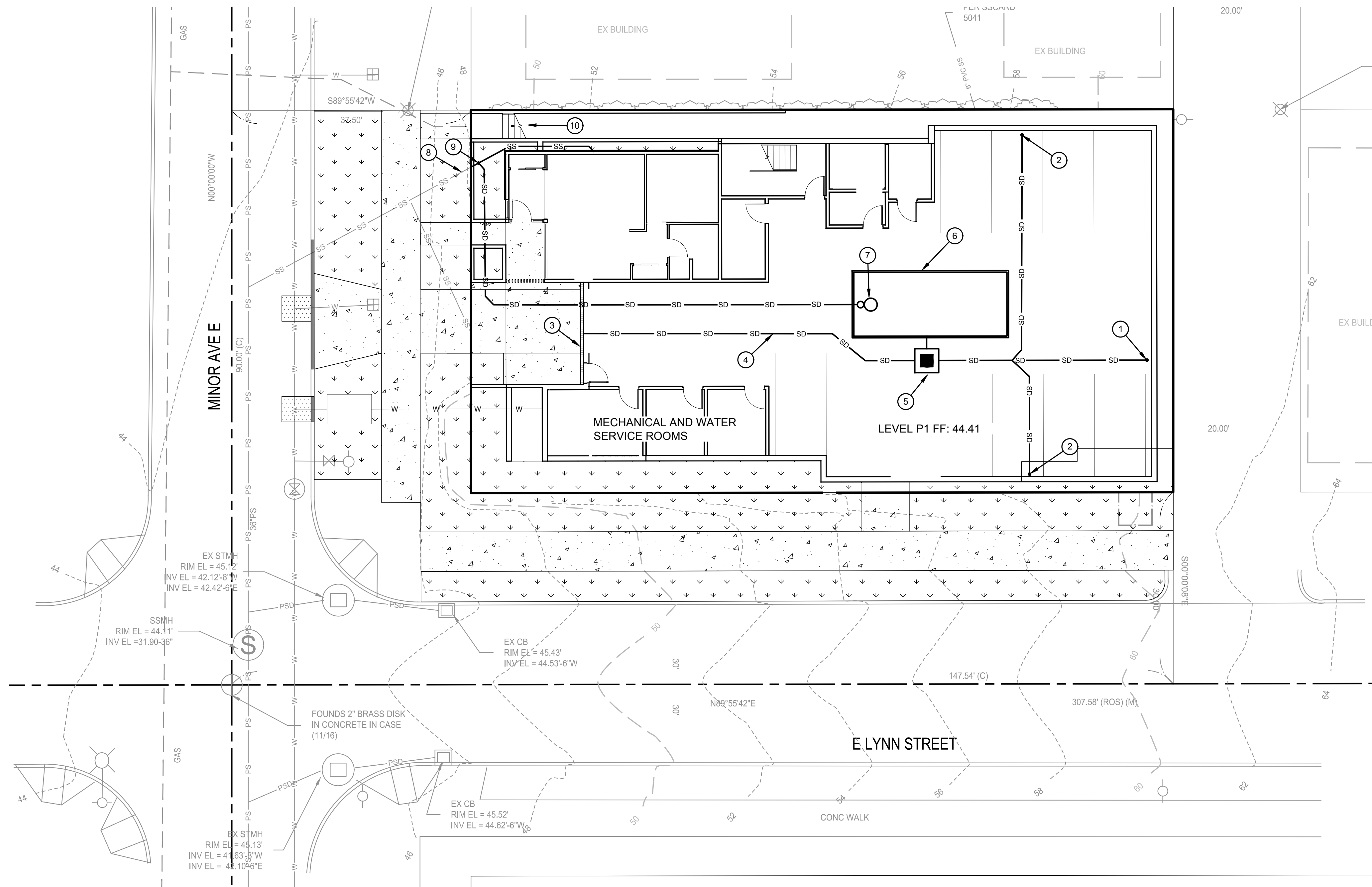
SCALE: AS SHOWN

DATE: 11/19/2021 REV: A SHEET: 1 of 5

SHEET NUMBER: C01



KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	PENETRATION THROUGH PT-SLAB FROM ABOVE AS POINT OF COMPLIANCE FOR PARKING SURFACE STORMWATER RUNOFF.	-
2	PENETRATION THROUGH PT-SLAB FROM ABOVE AS POINT OF COMPLIANCE FOR ROOF & BMP STORMWATER.	-
3	TRENCH DRAIN TO COLLECT FROM DRIVEWAY	-
4	STORM PIPE (TYP)	-
5	CATCH BASIN WITH 2' MIN SUMP AND DOWNTURNED ELBOW ON OUTLET	-
6	DETENTION VAULT WITH 4' HEAD ABOVE ORIFICE AND MIN INTERIOR DIMENSIONS OF 10' W X 24' L	-
7	FLOW CONTROL ASSEMBLY W/ 0.5" ORIFICE AND 6" OVERFLOW	COST STD PLAN 272A
8	EX SIDE SEWER TO BE REUSED	-
9	6" SSCO	-
10	CONC WALKWAY CONTINUES. SEE SHEET C02.	-



MUP - NOT FOR CONSTRUCTION

DRAINAGE & WASTEWATER CONTROL PLAN-PARKING GARAGE LEVEL (P1)

SDCI #: 6836542-CN

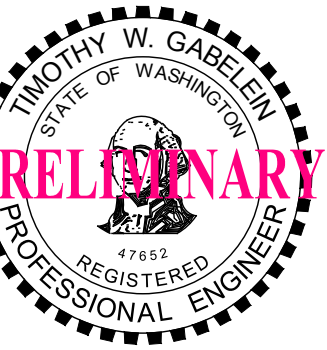
SDCI APPROVAL STAMP

No.	DATE	BY	REVISION

9706 4th Ave NE
Suite 300
Seattle, WA 98115
P: 206 525 0024
F: 206 525 1012
www.dcgengr.com



CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)



BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, OUR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

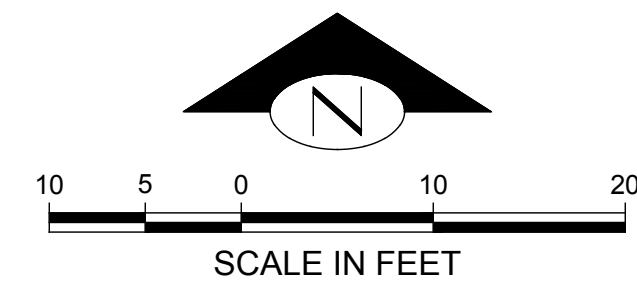
OWNER: GARY CHIN
4630 SOMERSET PL SE
BELLEVUE, WA 98006

PROJECT: 78 E LYNN ST
SEATTLE, WA 98102
DRAINAGE & WASTEWATER CONTROL PLAN-PARKING GARAGE LEVEL (P1)

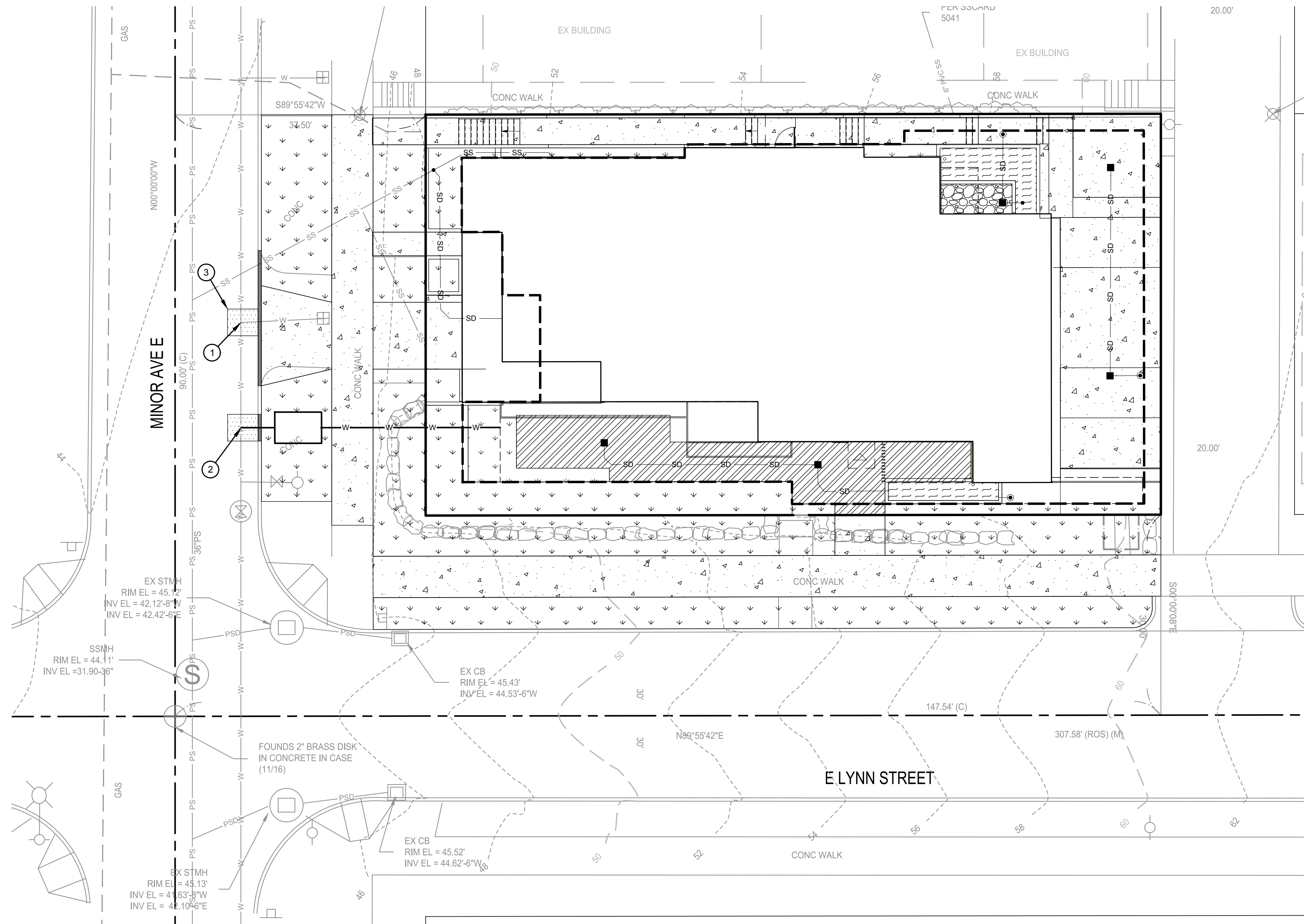
PROJ. MANAGER: CB
DESIGNED BY: SD
DRAWN BY: MH
CHECKED BY: TG

SCALE: AS SHOWN
DATE: 11/19/2021
REV: A
SHEET: 4 OF 5

SHEET NUMBER
C03



KEY	NOTE	DETAIL/SHEET
①	SPU TO LOCATE CORPORATION VALVE AND RETIRE EX WATER SERVICE CONNECTION.	-
②	4" COMBINATION DOMESTIC/FIRE WATER SERVICE CONNECTION TO MAIN INSTALLED BY SPU (UNDER SEPARATE PERMIT). SIZE TO BE CONFIRMED BY MEP.	-
③	RESTORE FLEXIBLE PAVEMENT (TYP)	COS STD PLAN 404A



MUP - NOT FOR CONSTRUCTION
UTILITY PLAN

SDCI #: 6836542-CN

SDCI APPROVAL STAMP

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PRELIMINARY

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OWNER:
GARY CHIN
4630 SOMERSET PL SE
BELLEVUE, WA 98006

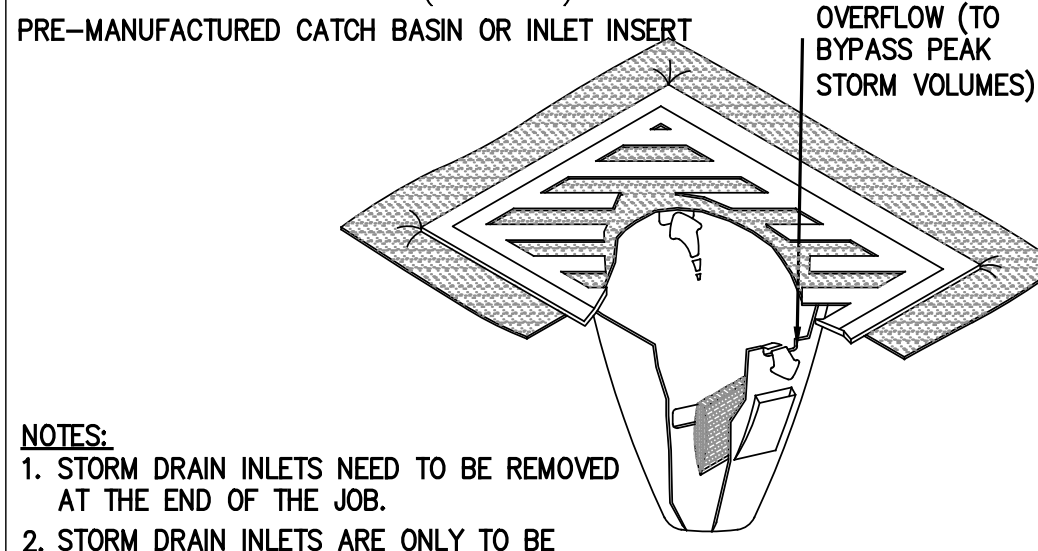
PROJECT:
78 E LYNN ST
SEATTLE, WA 98102
UTILITY PLAN

PROJ. MANAGER:	CB
DESIGNED BY:	SD
DRAWN BY:	MH
CHECKED BY:	TG
SCALE:	AS SHOWN
DATE:	11/19/2021
REV:	A
SHEET:	4
OF:	5

SHEET NUMBER
C04

CONSTRUCTION STORMWATER CONTROL (CSC) STANDARD DETAILS

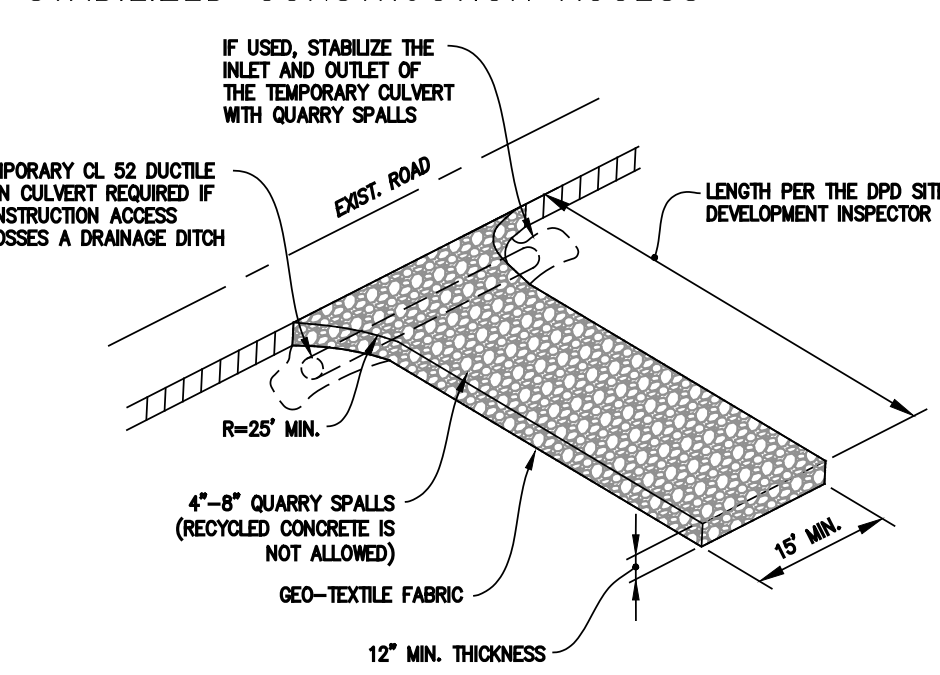
STORM DRAIN INLET (INSERT)



- NOTES:
1. STORM DRAIN INLETS NEED TO BE REMOVED AT THE END OF THE JOB.
 2. STORM DRAIN INLETS ARE ONLY TO BE INSTALLED IN DRAINAGE DEVICES PER THE MANUFACTURER'S RECOMMENDATIONS. CATCH BASIN INSERTS ARE NOT TO BE INSTALLED IN CURB INLETS.
 3. INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/2 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD. CLEAN AND/OR REPLACE INSERT WHEN HALF OF THE TRAP IS FILLED WITH SEDIMENTS.

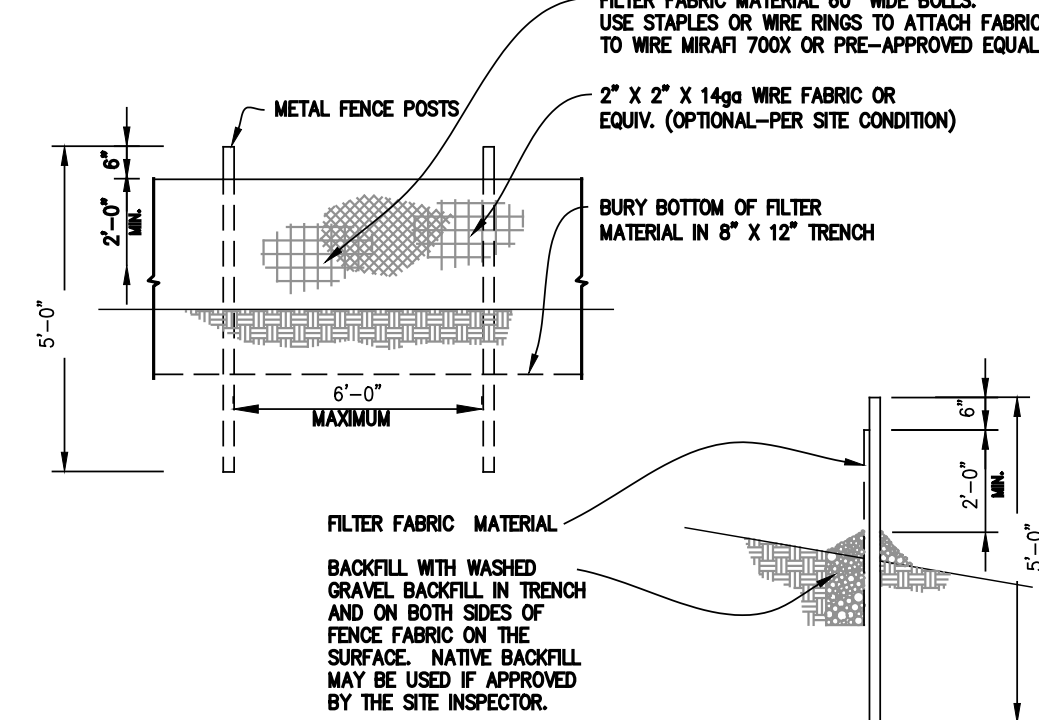
SYMBOL:

STABILIZED CONSTRUCTION ACCESS



SYMBOL:

FILTER FENCE



SYMBOL:

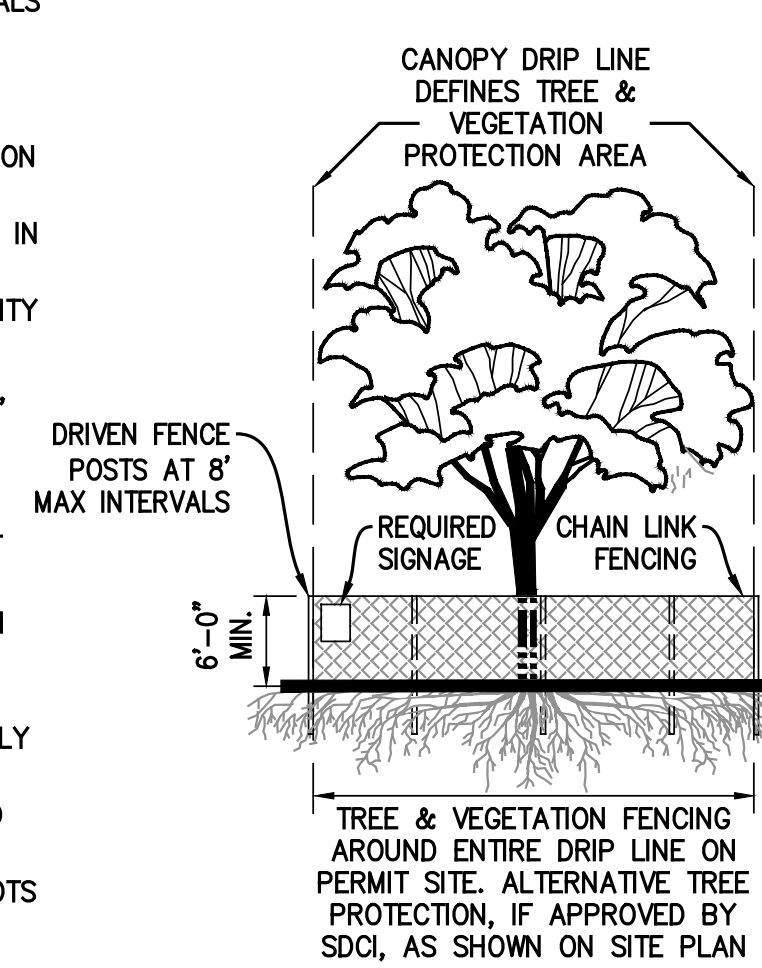
TREE & VEGETATION PROTECTION

TREE PROTECTION FENCING AND SIGN

1. CHAIN LINK FENCE REQUIRED (NO ORANGE CONSTRUCTION FENCE OR PLYWOOD)
2. MINIMUM 6' HIGH
3. FENCE SHALL BE SUPPORTED BY RIGID POSTS DRIVEN INTO THE GROUND AT 8' MAXIMUM INTERVALS
4. MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
5. KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
6. NO DUMPING OF ANY MATERIALS IN THE PROTECTION AREA
7. NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
8. MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF SDCI PLANNER ONLY
9. IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
10. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

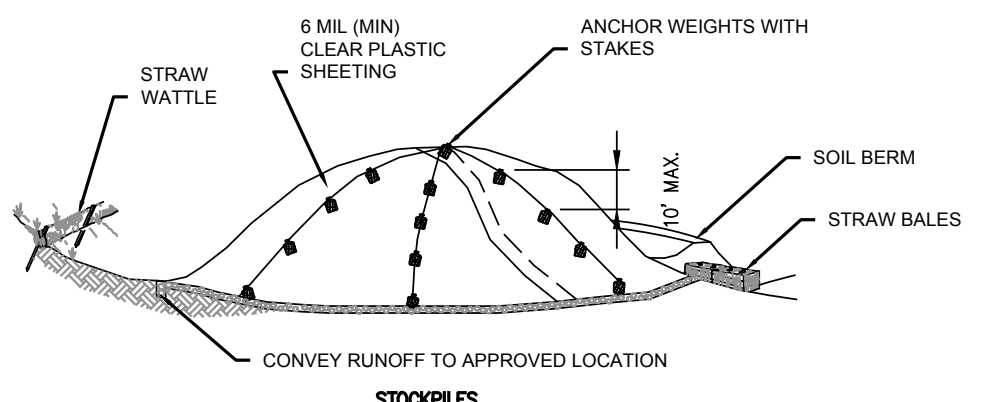
VEGETATION PROTECTION (DOES NOT APPLY TO TREES)

1. ORANGE MESH OR SIMILAR OPEN MATERIAL
2. PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN



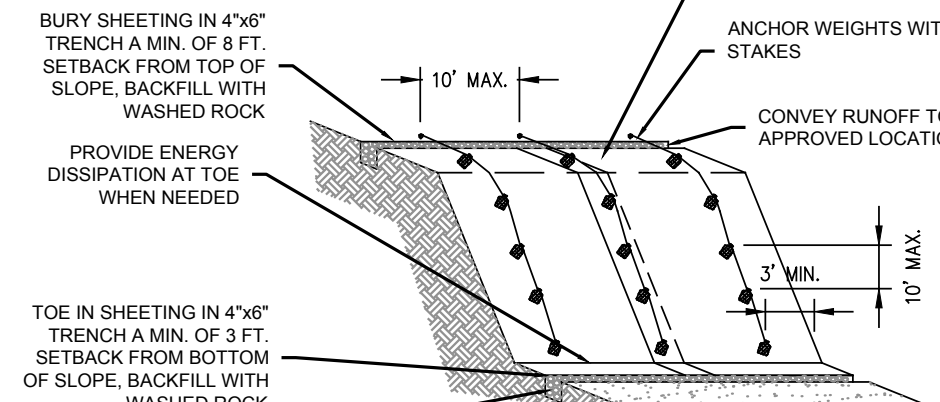
SYMBOL:

STOCKPILE AND EXPOSED SLOPE COVERING



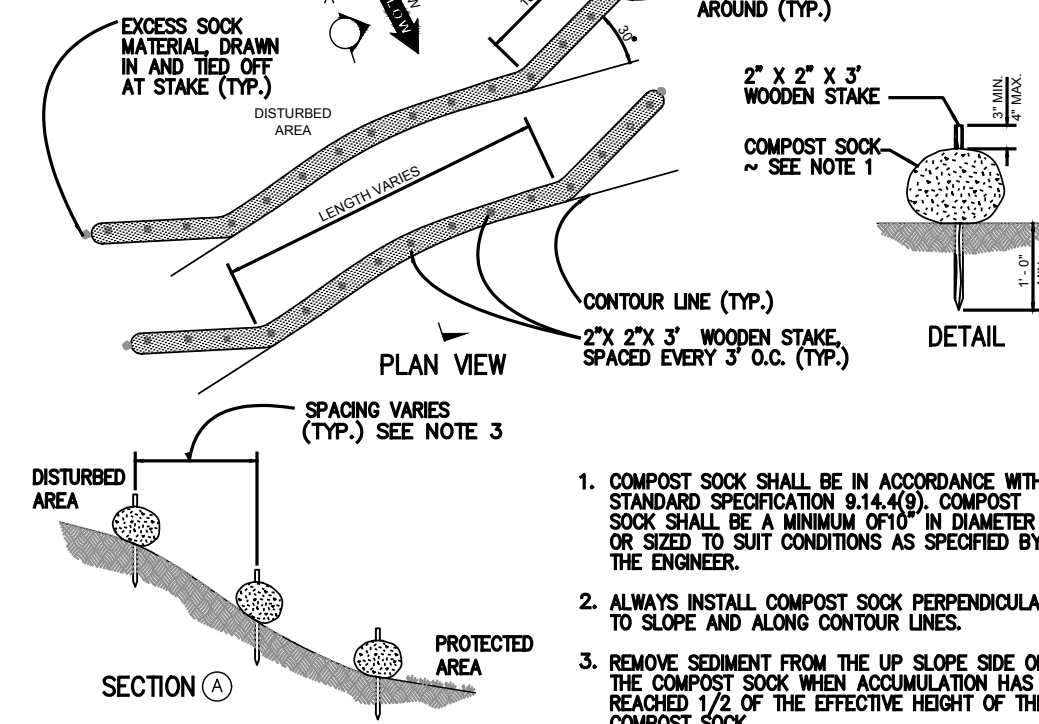
SYMBOL:

SLOPES



SYMBOL:

COMPOST SOCK

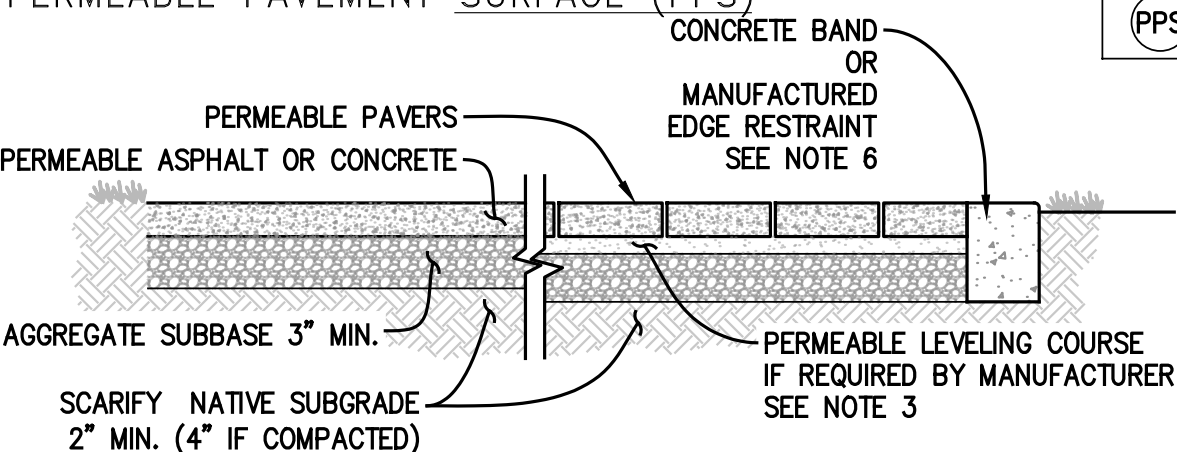


SYMBOL:

SECTION III: ON-SITE STORMWATER MANAGEMENT STANDARD DETAILS

THE DETAILS SHOWN IN THIS SECTION ARE A SELECTION OF COMMONLY USED ON-SITE STORMWATER MANAGEMENT BMPs. SEE THE CITY OF SEATTLE STORMWATER MANUAL, VOLUME 3, CHAPTER 5 (DIRECTOR'S RULE DPD 21-2016/SFU DWW-200) FOR ADDITIONAL ON-SITE STORMWATER MANAGEMENT BMPs AND ADDITIONAL REQUIREMENTS FOR ALL BMPs.

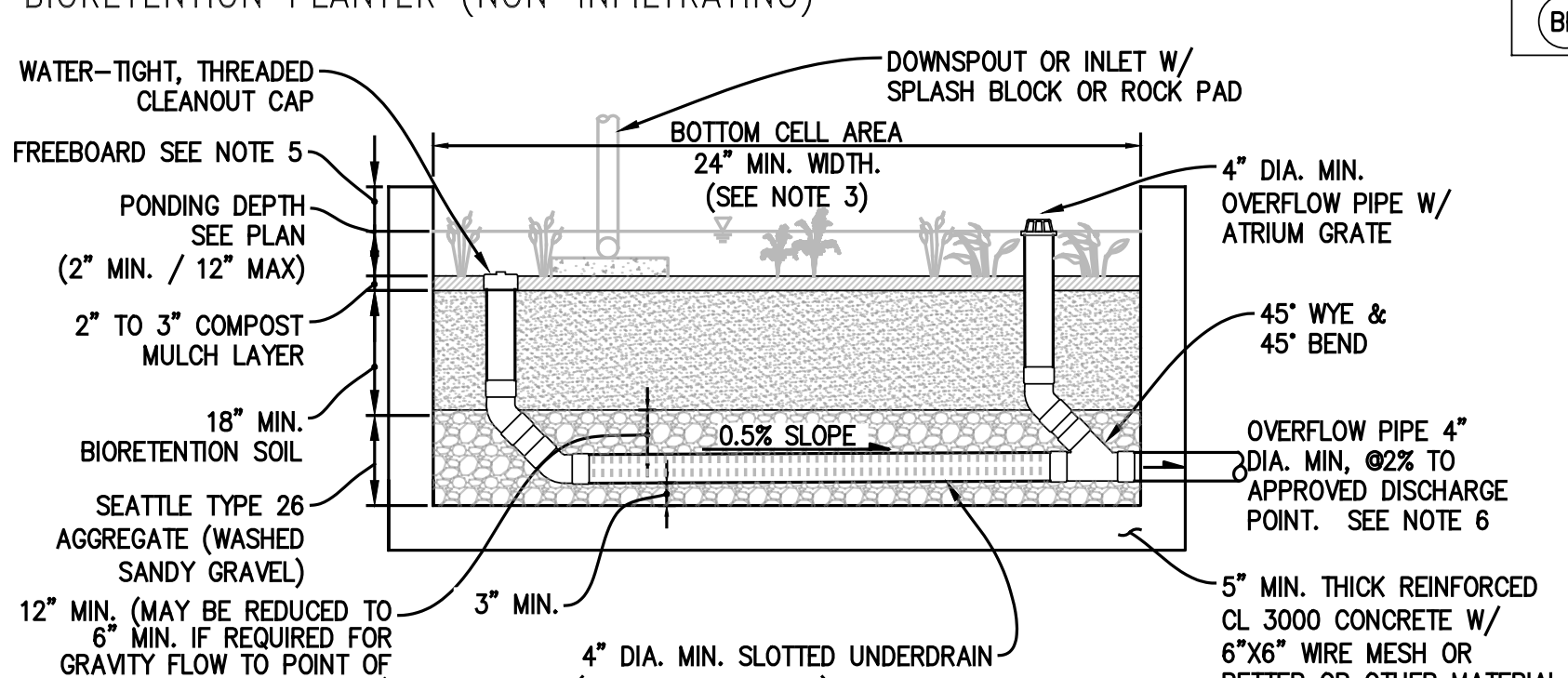
PERMEABLE PAVEMENT SURFACE (PPS)



- NOTES:
1. PERMEABLE PAVEMENT SURFACE AREA DIMENSIONS & PAVEMENT SLOPE MUST BE SHOWN ON DRAINAGE CONTROL PLAN VIEW.
 2. AGGREGATE SUBBASE SHALL BE CLEAN, CRUSHED GRAVEL - SEATTLE TYPE 22 OR 24 FOR WALKWAYS, & SEATTLE TYPE 13 FOR VEHICULAR APPLICATIONS.
 3. THE LEVELING COURSE SHALL BE A FREE DRAINING AGGREGATE, & SHALL NOT RESTRICT THE INFILTRATION RATE THROUGH THE SYSTEM. FRACTURED JOINTING SAND IS NOT ALLOWED.
 4. CHECK DAMS ARE REQUIRED IF SUBGRADE SLOPE IS GREATER THAN 5%, OR IF DESIGN REQUIRES A SET AGGREGATE RESERVOIR BASE.
 5. PERMEABLE PAVEMENT SURFACES HAVE NO SETBACK REQUIREMENTS.
 6. EDGE RESTRAINT FOR PAVERS SHALL BE A FORMED CONCRETE BORDER EXTENDING TO THE BOTTOM OF THE AGGREGATE OR MANUFACTURED PRODUCT INSTALLED PER MANUFACTURER'S RECOMMENDATIONS FOR INTENDED USE.
 7. SEE SEATTLE STORMWATER MANUAL VOL. 3, SEC. 5.6.2, FOR ADDITIONAL REQUIREMENTS.

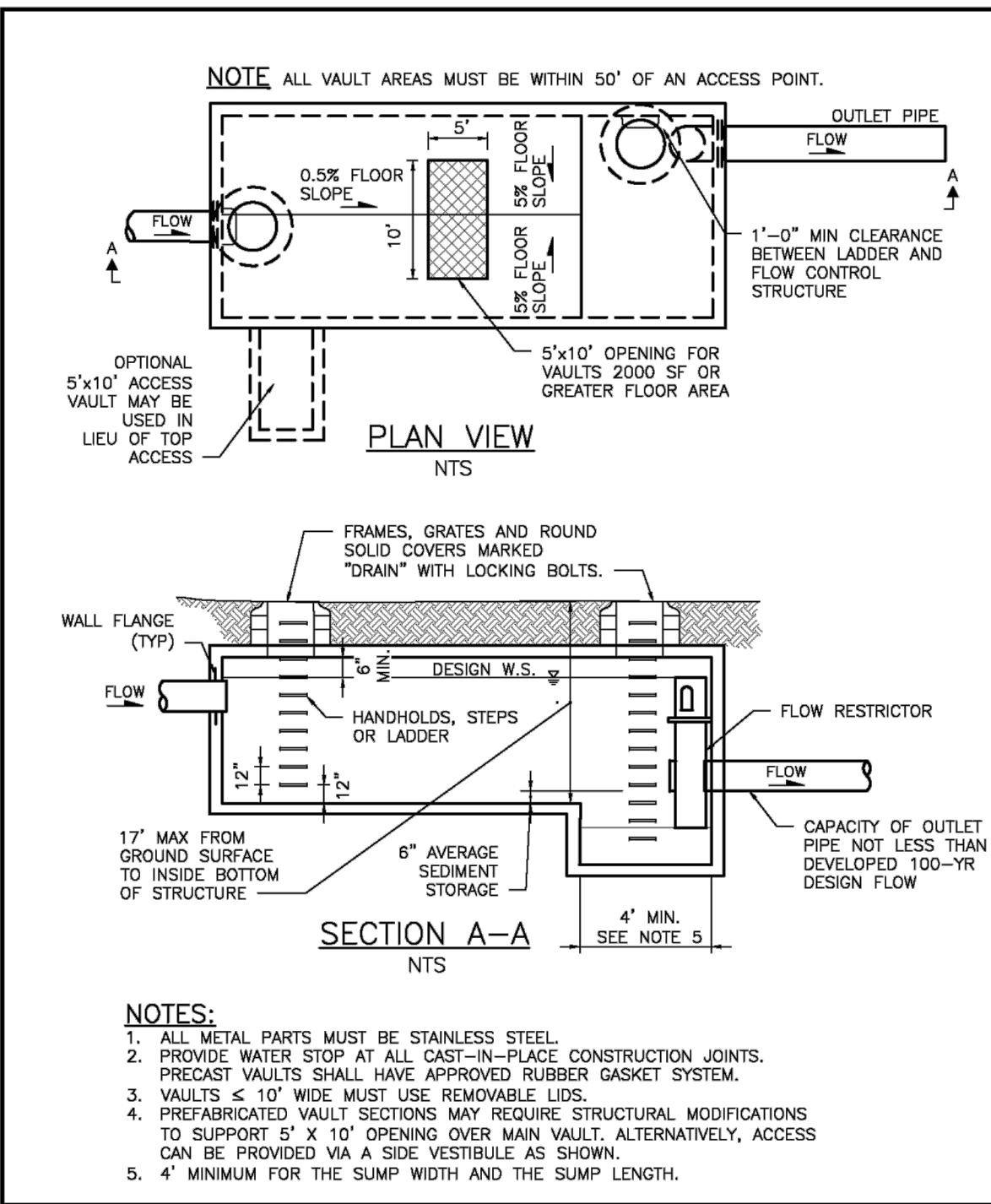
DETAIL VERSION 2021-06-18

BIORETENTION PLANTER (NON-INFILTRATING)



- NOTES:
1. SHOW BIORETENTION PLANTER AREA & WALL DIMENSIONS ON THE DRAINAGE CONTROL PLAN.
 2. ALTERNATIVE PLANTER WALL/BOTTOM MATERIALS ARE ALLOWED (EG. STEEL PLATES). IF THE MATERIAL IS NOT WATER-TIGHT, AN IMPERMEABLE LINER IS REQUIRED AND MUST EXTEND TO THE MAXIMUM WATER LEVEL. ADDITIONAL WATERPROOFING IS RECOMMEND FOR PLANTERS THAT ABUT BUILDINGS.
 3. PLANTER BOTTOM SHALL HAVE A MINIMUM WIDTH OF 2 FEET (INSIDE DIMENSION) IN ANY DIRECTION.
 4. SLOTTED DRAIN PIPE SHALL RUN THE LENGTH (LONG DIMENSION) OF THE PLANTER.
 5. MINIMUM FREEBOARD SHALL BE 6". FOR PLANTERS WITH 10,000 SF OF CONTRIBUTING AREA OR MORE ADDITIONAL FREEBOARD MAY BE REQUIRED TO ENSURE TOP OF FREEBOARD IS 6" ABOVE THE 25-YEAR WATER LEVEL.
 6. BMP SHALL CONNECT TO AN EXISTING OR NEW CB WITH A MINIMUM OF A 2' SUMP AND DOWN TURNED ELBOW.
 7. SEE SEATTLE STORMWATER MANUAL VOL. 3, SEC. 5.8.2 AND 5.4.4 FOR ADDITIONAL REQUIREMENTS.

DETAIL VERSION 2021-07-01



DETENTION VAULT DETAIL (A) C03

3/30/2021 Draft City of Seattle Parcel-based Pre-Sized FLOW CONTROL Calculator

This calculator is for Parcel-based projects with less than 25,000 square feet of new plus replaced hard surface only.

Flow Control Standard(s)	Peak Control Standard
Site has a 35% Existing Hard Surface?	Yes
New Plus Replaced Hard Surface Area	5,948 sq ft
Flow Control Standard(s) Achieved?	Yes

On-site Infiltration and Reuse Facilities (OSM BMP)	Facility Size	Credit	Area Managed
Retained Trees			
Retained Evergreen	No. Total Canopy Area	20% Canopy or 100 sf / tree	
Retained Deciduous	No. Total Canopy Area	10% Canopy or 50 sf / tree	
New Trees			
New Evergreen	No. Trees	50 sf / tree	
New Deciduous	No. Trees	20 sf / tree	
Dispersal	Fully Dispersed Impervious Area	100%	
Downspout, sheet flow, or concentrated flow dispersion	Dispersed Impervious Area	70%	

On-site Infiltration and Reuse Facilities (OSM BMP)	Facility Size	Sizing Factor / Equation	Area Managed
Bioretention without Underdrain	Contributing Area	Enter contributing area	
Ponding Depth	Design Int Rate	Enter contributing area	
Infiltration Trench	Contributing Area	Enter contributing area	
Drywell	Contributing Area	Enter contributing area	
Permeable Pavement Facility	Contributing Area	Enter contributing area	

On-site Impervious Surface Reduction Method (OSM BMP)	Facility Size	Credit	Area Managed
Permeable Pavement Surfaces			
Permeable Pavement Surface	Check dams will be installed per the Seattle Stormwater Manual, Vol. 3, Section 5.4.6.5		
Subgrade Slope < 2%	Permeable Pavement Area	Select if check dams are used	
Subgrade Slope > 2%	Permeable Pavement Area	Select if check dams are used	

Traditional Facilities	Facility Size	Contributing Area Managed by On-Site Facilities	Area Managed
Infiltration Chamber	Contributing Area	Enter contributing area	
Detention Pipe	Contributing Area	Enter contributing area	
Detention Vault	Contributing Area	Enter contributing area	
Detention Chamber	Contributing Area	Enter contributing area	
Detention Basin	Contributing Area	Enter contributing area	

Flow Control Standard(s) Achieved? Yes

REVISION

No.	DATE	BY

9706 4th Ave NE
Suite 300
Seattle, WA 98115
P: 206 525 0024
F: 206 525 1012
www.dcgengr.com

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CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

TIMOTHY W. GABELLEN
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, SUCH PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

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4630 SOMERSET PL SE
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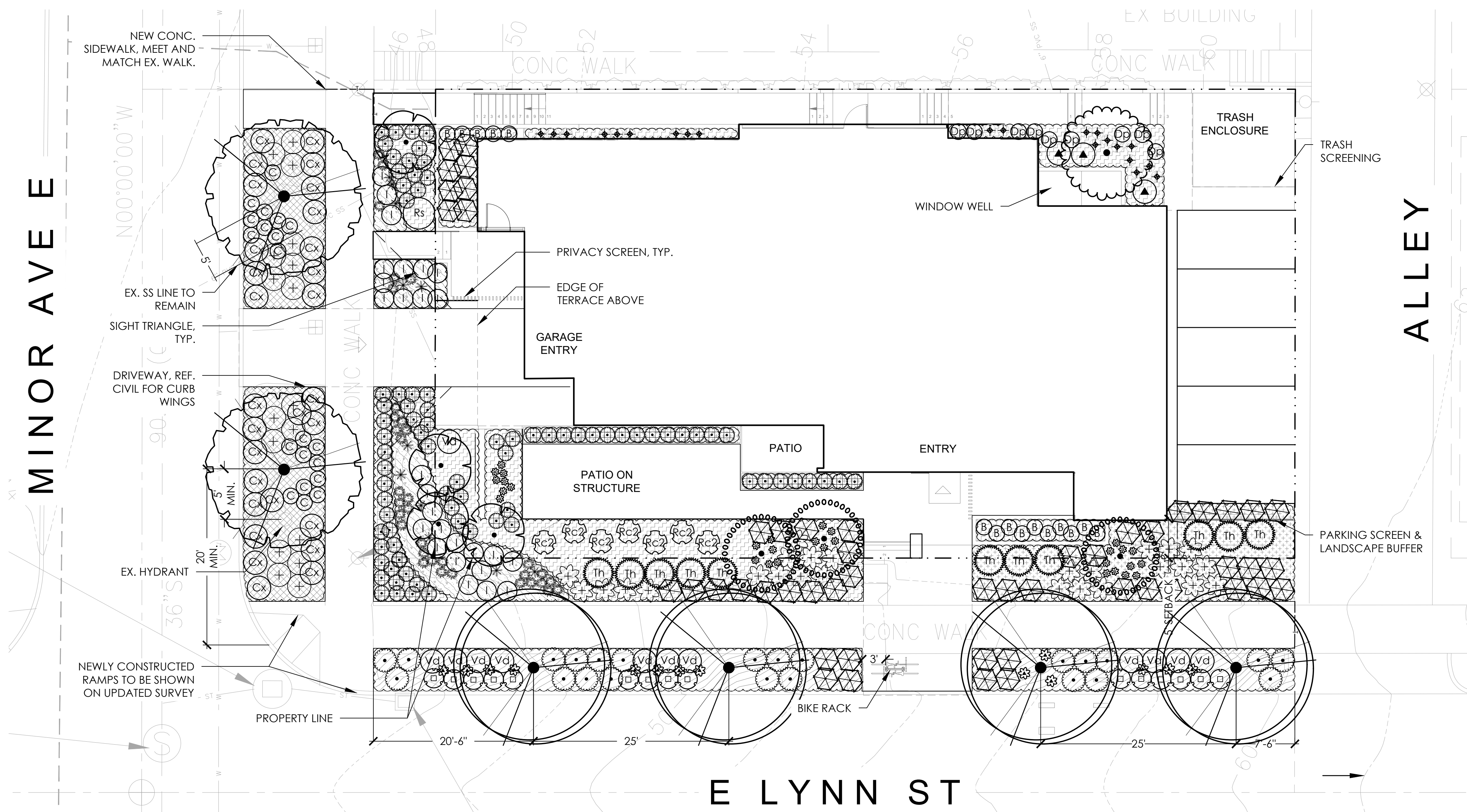
SCALE: AS SHOWN
DATE: 11/19/2021
REV. SHEET OF 5

SHEET NUMBER C05

MUP - NOT FOR CONSTRUCTION

SDCI #: 6836542-CN

SDCI APPROVAL STAMP



1 Landscape Plan - Street Level
scale 1/8" = 1' - 0"

**RIGHT-OF-WAY PLANTING AREAS:
(PER COS STD PLAN 142)**

- ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
- SUBSOIL SHOULD BE SCARIFIED (LOOSENE) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
- COMPOST SHALL BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL PER SOIL SPECIFICATION. PLANTING BEDS SHALL RECEIVE 3" OF COMPOST TILLED INTO 8" DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING WITH 2-4 INCHES OF ARBORIST WOOD-CHIP MULCH OR APPROVED EQUAL MULCH PER BELOW.
- SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS, ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.
- REFER TO CITY OF SEATTLE STANDARD SPECIFICATIONS:
8-02 TOPSOIL TYPE B.
9-14.1 TOPSOIL TYPE A - IMPORTED, TOPSOIL TYPE B - REUSED AMENDED SITE SOIL AND PLANTING SOIL.

ON-GRADE TOPSOIL:

- TOPSOIL: TWO-WAY MIX, AVAILABLE AT CEDAR GROVE COMPOSTING, MAPLE VALLEY, WA. (877) 764-5748, OR APPROVED EQUAL.
- PREPARATION: LOOSEN SUBGRADE SOIL TO MINIMUM DEPTH OF 8 INCHES W/CULTIMULCHER OR SIMILAR EQUIPMENT. REMOVE STONES, GRAVEL, STICKS, ETC.
- PLACEMENT: TOPSOIL MINIMUM DEPTH 8". SPREAD APPROX. 1/2 THE THICKNESS OF PLANTING SOIL MIX OVER LOOSENE SUBGRADE. MIX THOROUGHLY INTO TOP 4-INCHES OF SUBGRADE. SPREAD REMAINDER TO MEET REQUIRED GRADES. HOLD 3" BELOW ADJACENT PAVED WALKS, CURBS, AND PLANTER WALLS.

MULCH:

- BARK MULCH: PACIFIC GARDEN MULCH, CEDAR GROVE COMPOST, OR APPROVED EQUAL, AND SHALL BE NO LESS THAN 2 OR MORE THAN 4 YEARS OLD. MINIMUM DEPTH 2", EXCEPT WHERE NOTED OTHERWISE.

LANDSCAPE NOTES:

- PROJECT MEETS 0.60 SEATTLE GREEN FACTOR SCORE.
- ALL PROPOSED PLANTING AREAS SHALL BE WATERED FOR PLANT ESTABLISHMENT, WITH EXCEPTION OF MULCH BEDS AT EXISTING TREES.
- SEE COS STD PLANS 100 SERIES FOR ADDITIONAL PLANTING REQUIREMENTS AND DETAILS.

Karen Kiest
Landscape Architects
111 west john street suite 306
seattle washington 98119
tel 206 323 6032



LYNN ST APARTMENTS
78 E Lynn St, Seattle, WA 98102

DRAWING ISSUE	
Date	Description
11.23.2021	MUP INTAKE

SHEET TITLE

LANDSCAPE PLAN

SHEET NO.

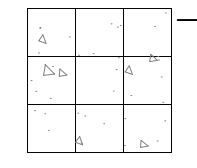
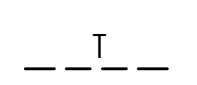
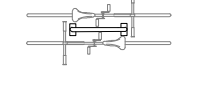
L100

Drawn DH
Checked KK

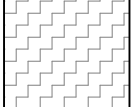
PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	COND	SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	COND	DROUGHT	SPACING	
 STREET TREES - MINOR AVE E CONCEPTUAL APPROVAL BY SDOT URBAN FORESTRY 11/19/2021, RECORD NUMBER: SDOT TREE0002808.	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	2.5" CAL.	B&B	(B)	BUXUS MICROPHYLLA 'WINTER GEM'	GLOBE WINTER GEM BOXWOOD	5 GAL.	CONT.		24" o.c.	
	 FRONT YARD TREES ACER PALMATUM LAGERSTROEMIA X 'TUSCARORA'	MULTI-TRUNK JAPANESE MAPLE RED CRAPE MYRTLE MULTI-TRUNK	MULTI-STEM, 6' HT. MULTI-STEM, 6' HT.	B&B B&B	(Cx) (C) (C+) (I) (+)	CISTUS X HYBRIDUS	WHITE ROCKROSE	5 GAL.	CONT.			36" o.c.
 FRONT YARD TREES - ENTRY MAGNOLIA STELLATA 'WATERLILY'	STAR MAGNOLIA	MULTI-STEM, 6' HT.	B&B	(C) (C+) (I) (+) (C2)	CORNUS SERICEA 'KELSEY'	KELSEYI DOGWOOD	2 GAL.	CONT.			24" o.c.	
 STREET TREES - E LYNN ST CONCEPTUAL APPROVAL BY SDOT URBAN FORESTRY 11/19/2021, RECORD NUMBER: SDOT TREE0002808.	CORNUS KOUSA X NUTTALLII 'KN4-43'	STARLIGHT KOUSA DOGWOOD	2.5" CAL.	B&B	(I) (+) (C2)	DISTYLIIUM X 'PIIDIST-V' TM	CINNAMON GIRL DISTYLIIUM	2 GAL.	CONT.		24" o.c.	
	 BACK YARD TREES STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	8-10' HT, MULTI	B&B	(I) (+) (C2) (Rs)	ILEX CRENATA 'CONVEXA'	CONVEX-LEAVED JAPANESE HOLLY	5 GAL.	CONT.			30" o.c.
					(+)	ROSA X 'AMBER CARPET ROSE'	ROSE	5 GAL.	CONT.			36" o.c.
					(C2)	RHODODENDRON KURUME 'CORAL BELLS'	CORAL BELLS KURUME AZALEA	5 GAL.	CONT.			36" o.c.
					(Rs)	RHODODENDRON X 'SEAVIEW SUNSET'	SEAVIEW SUNSET RHODODENDRON	5 GAL.	CONT.			48" o.c.
					(+)	PIERIS JAPONICA 'CAVATINE'	LILY OF THE VALLEY BUSH	5 GAL.	CONT.			36" o.c.
					(C2)	PITOSPORUM TOBIRA 'WHEELER'S DWARF'	DWARF PITOSPORUM	5 GAL.	CONT.			36" o.c.
					(Th)	RHODODENDRON X 'SEAVIEW SUNSET'	SEAVIEW SUNSET RHODODENDRON	5 GAL.	CONT.			48" o.c.
					(Vd)	ROSA X 'AMBER CARPET ROSE'	ROSE	5 GAL.	CONT.			36" o.c.
					(Vd)	SPIRAEA BETULIFOLIA 'TOR' FULL/COMPACT	TOR BIRCH LEAF SPIREA	2 GAL.	CONT.			30" o.c.
					(Vd)	TAXUS X MEDIA 'HICKSII'	HICKS YEW	5' HT.	CONT.			48" o.c.
					(Vd)	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	5 GAL.	CONT.			36" o.c.
					(Vd)	VIBURNUM DAVIDII	DAVID VIBURNUM	5 GAL.	CONT.			36" o.c.

MATERIALS LIST

- 
CONCRETE PAVING - TYPE A
 PER COS STD. PLAN 420 W/ THE FOLLOWING EXCEPTIONS:
 -SAND COATED THROUGH JOINTS
 -SAW CUT JOINTS
 -LIGHT SAND BLAST
 -SCORE PER PLAN
- 
THROUGH JOINT
- 
BIKE RACK
 TOFINO NO SCRATCH BICYCLE RACK, INSTALL PER MFG. RECOMMENDATIONS

GROUND COVERS

BOTANICAL NAME	COMMON NAME	SIZE	COND	DROUGHT	SPACING
 EPIMEDIUM PINNATUM	EPIMEDIUM PINNATUM	1 GAL.	CONT.	DROUGHT TOLERANT	18" o.c.
 LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	CONT.		12" o.c.
 OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	1 GAL.	CONT.		12" o.c.
 PACHYSANDRA TERMINALIS	JAPANESE SPURGE	1 GAL.	CONT.		12" o.c.

Karen Kiest
Landscape Architects
 111 west john street suite 306
 seattle washington 98119
 tel 206 323 6032



LYNN ST APARTMENTS

78 E Lynn St, Seattle, WA 98102

DRAWING ISSUE	
Date	Description
11.23.2021	MUP INTAKE

SHEET TITLE
LANDSCAPE LEGEND

SHEET NO.
L101

Drawn DH
Checked KK



1 Landscape Plan - Colored
 scale 1/8" = 1' - 0"



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 Landscape Architects
 1111 west john street suite 306
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 tel 206 323 6032



LYNN ST APARTMENTS

78 E Lynn St, Seattle, WA 98102

DRAWING ISSUE

Date	Description
11.23.2021	MUP INTAKE

SHEET TITLE

LANDSCAPE PLAN

SHEET NO.

L100A

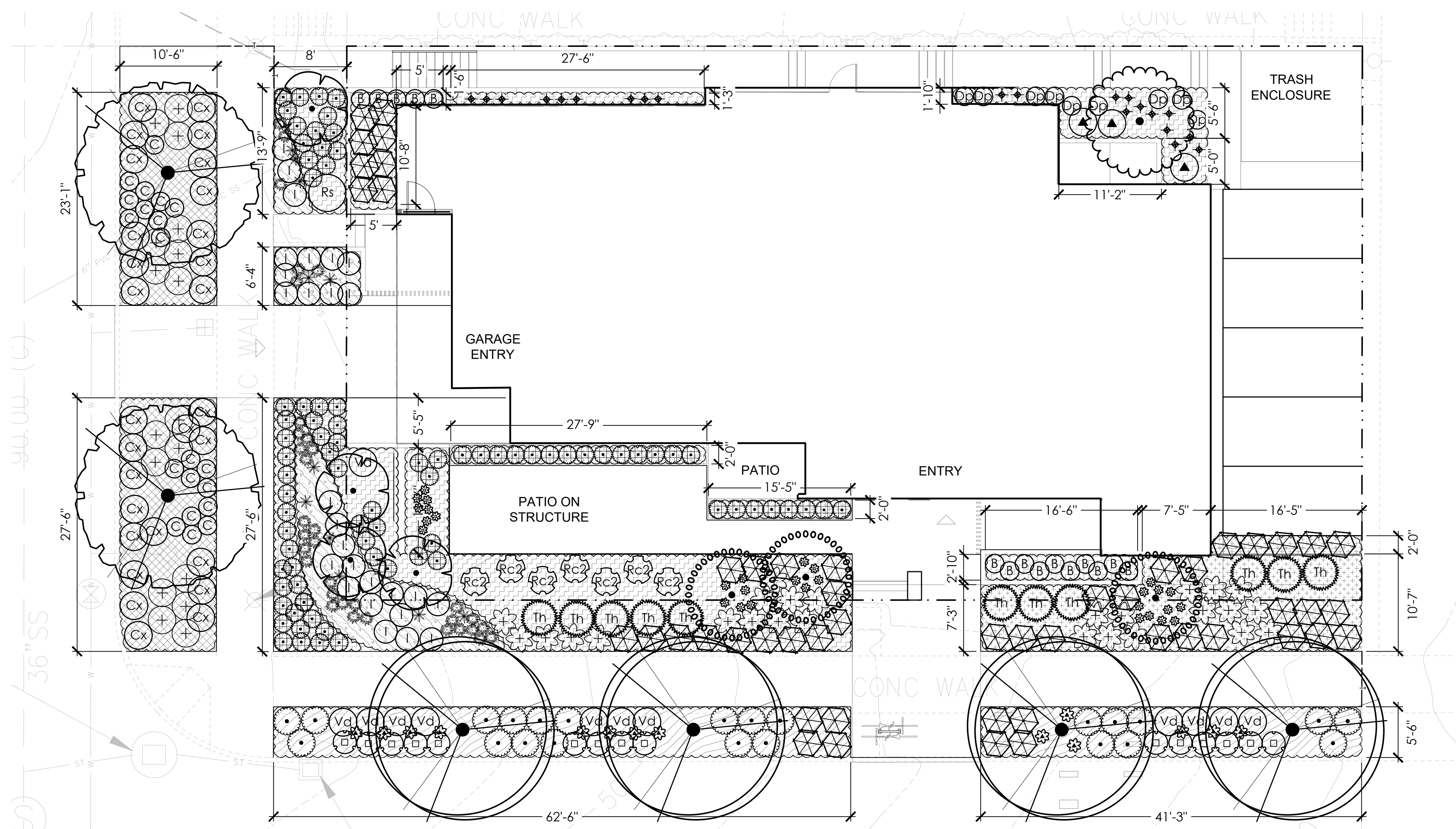
Drawn DH
 Checked KK

Green Factor Scoresheet			
Project title: 78 E Lynn St		Enter sq ft of parcel	SCORE 0.696
Landscape Elements**		Totals calculate automatically from Green Factor Worksheet	Factor Total
A Planted areas		0	0
1 Planted areas with a soil depth of 24" or greater		0	0
2 Bioretention facilities		0	0
B Plantings (credit for plants in landscaped areas from Section A)		2878	0.1 288
1 Mulch, ground covers, or other plants less than 2' tall at maturity		339	0.3 915
2 Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)		0	0
3 Large shrubs or perennials 4'+ at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center)		5	0.3 113
4 Small Trees		0	0
5 Small/Medium Trees		0	0
6 Medium/Large Trees		0	0
7 Large Trees		2	0.9 630
8 Preserved Trees		0	0
C Green roofs		0	0
1 Green roofs over at least 2" and less than 4" of growth medium		0	0
2 Green roofs 4" - 8" of growth medium		0	0
3 Green roofs 8" + of growth medium		0	0
D Vegetated walls		0	0
E Permeable paving		0	0
1 Permeable paving over at least 6" and less than 24" of soil or gravel		0	0
2 Permeable paving over at least 24" of soil or gravel		0	0
F Structural soil systems		0	0
G Bonuses		7,004	0.1 700
1 Landscaping that consists of drought-tolerant and/or native plant species		0	0
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater		6769	0.2 1,354
3 Vegetation visible to passersby from adjacent public right of way or public open spaces		0	0
4 Landscaping in food cultivation		0	0
sub-total of sq ft =		7,004	Green Factor numerator = 4,000

* Do not count public rights-of-way in parcel size calculation.
 ** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).
 REVISED 07-07-2020

Green Factor Worksheet								
Project title: 78 E Lynn St		Planting Area						
Landscape Elements		Right of Way	Site - Visible	Site Non-Vis	rename (4)	rename (5)	rename (6)	rename (7)
Measurement		Step 1. Enter all values for Green Factor landscape elements here. Values entered here will automatically populate the Score Sheet. Step 2. Go to the Score Sheet and enter the size of the development site. Step 3. Check the Score to make sure your project meets the minimum score for the zone. *Totals on the Green Factor Scoresheet will calculate automatically.						Total
A1	square feet							0
A2	square feet							0
B1	square feet	1100	1645	133				2878
B2	# of plants	122	214	3				339
B3	# of plants							0
B4	# of trees	4		1				5
B5	# of trees							0
B6	# of trees							0
B7	# of trees	2						2
B8	Inches DBH							0
C1	square feet							0
C2	square feet							0
C3	square feet							0
D	square feet							0
E1	square feet							0
E2	square feet							0
F	square feet							0
G1	square feet	3198	3571	235				7004
G2	square feet							0
G3	square feet	3198	3571					6769
G4	square feet							0

REVISED 07-07-2020



E LYNN ST

1 Seattle Green Factor Plan
 scale 1/8" = 1' - 0"



- SEATTLE GREEN FACTOR NOTES:
- PER CITY OF SEATTLE DEPARTMENT OF CONSTRUCTION & INSPECTIONS DIRECTOR'S RULE 11-2020, THE FOLLOWING LANDSCAPE INFORMATION:
- IN REQUIRED LANDSCAPE AREAS, AT LEAST 50% OF ALL PLANTINGS MUST BE DROUGHT TOLERANT.
 - PROJECT MEETS 0.60 SEATTLE GREEN FACTOR SCORE, SEE SPREADSHEET FOR CALCULATIONS.
 - DIMENSIONS USED ONLY FOR GREEN FACTOR CALCULATIONS. SEE LANDSCAPE PLANS AND DETAILS FOR CONSTRUCTION DIMENSIONS. SEE ALSO CIVIL & ARCHITECTURAL DWGS.
 - ALL PLANTINGS AND LANDSCAPE ELEMENTS REQUIRED AS PART OF THIS BUILDING PERMIT MUST BE MAINTAINED FOR THE LIFE OF THE PROJECT. IF ALTERATIONS OR FAILURES REDUCE LANDSCAPE FEATURES TO A LEVEL BELOW THE MINIMUM REQUIRED PLANTING AREA OR GREEN FACTOR SCORE, NEW FEATURES MUST BE ADDED TO COMPENSATE.

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 seattle washington 98119
 tel 206 323 6032



LYNN ST APARTMENTS

78 E Lynn St, Seattle, WA 98102

Date	Description
11.23.2021	MUP INTAKE

SHEET TITLE
 SEATTLE GREEN FACTOR PLAN

SHEET NO.
L200

Drawn DH
 Checked KK

STAKE TREE WITH (2) TREATED 2"Ø LODGEPOLE PINE DOWLED TREE STAKES (8'-0" LENGTH) LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

"CHAINLOCK" OR EQUAL TREE TIE MATERIAL (1" SIZE) NAIL OR STAPLE TREE TIE MATERIAL TO STAKE TO HOLD VERTICALLY. LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

2"-3" MULCH DEPTH (TAPERED AT TRUNK)
MULCH TREE PIT MIN 5'-0" LENGTH X FULL PLANTING STRIP WIDTH BETWEEN CURB AND SIDEWALK (FOR PLANTING STRIPS LESS THAN 6'-0" WIDE) OR PROVIDE 5'-0" DIA MULCH RING FOR PLANTING STRIPS WIDER THAN 6'-0".

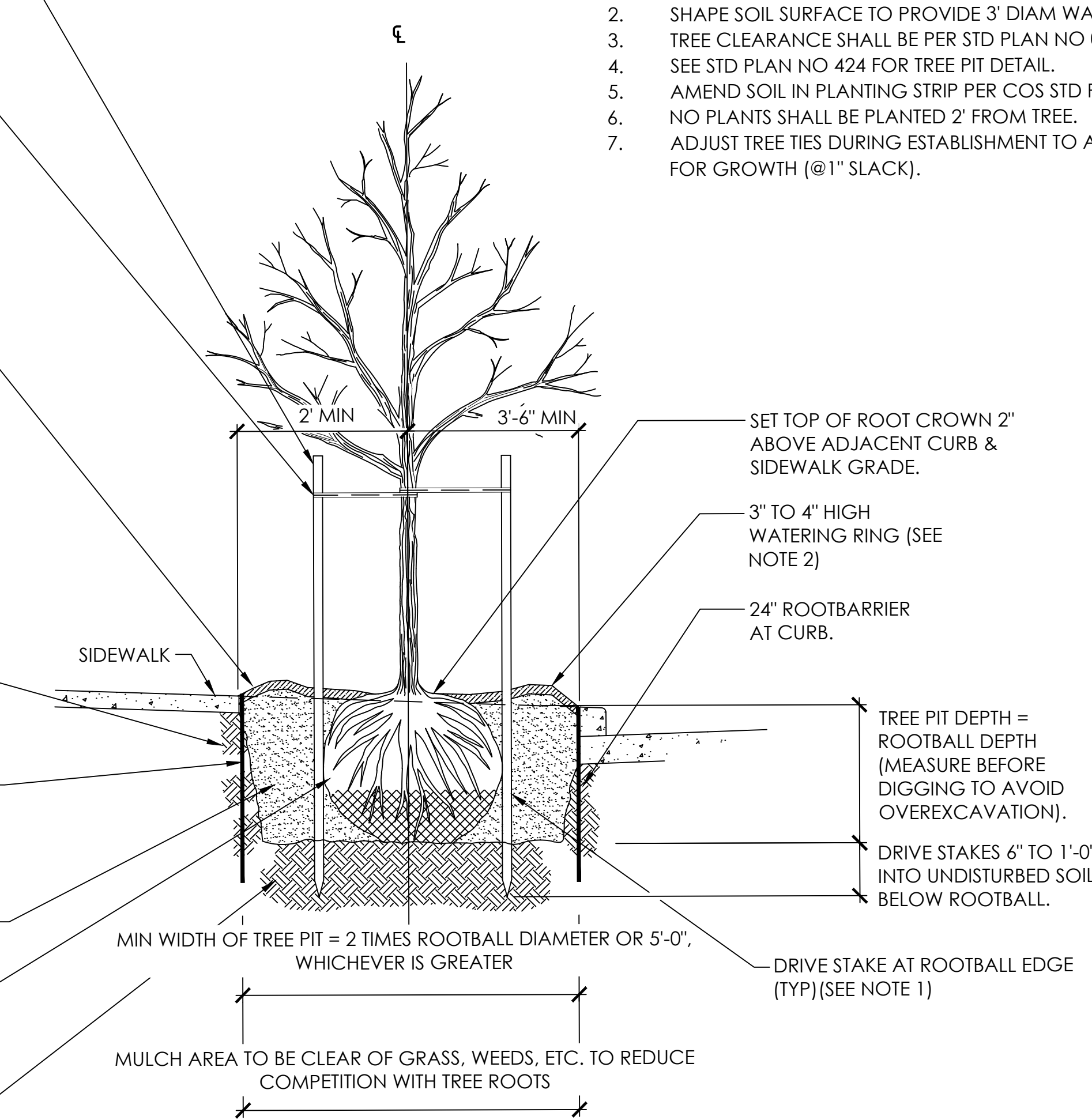
ROUGHEN SIDES OF PLANTING HOLE MAXIMIZE EXCAVATED AREA WITHOUT UNDERMINING ADJACENT PAVING/CURB.

18" ROOTBARRIER; PLACE AT EDGE OF PAVEMENT/SIDEWALK/ETC.; PLACE PRIOR TO PLACEMENT OF NEW SIDEWALK OR CURB TO PREVENT UNDERMINING.

TOP SOIL TYPE B, OR AS APPROVED BY ENGINEER.

REMOVE ALL WIRE, STRINGS, AND OTHER NON-BURLAP MATERIAL; AND REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL.

UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK.



NOTES:

1. PLANTING INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION.
2. SHAPE SOIL SURFACE TO PROVIDE 3' DIAM WATERING RING.
3. TREE CLEARANCE SHALL BE PER STD PLAN NO 030.
4. SEE STD PLAN NO 424 FOR TREE PIT DETAIL.
5. AMEND SOIL IN PLANTING STRIP PER COS STD PLAN 142.
6. NO PLANTS SHALL BE PLANTED 2' FROM TREE.
7. ADJUST TREE TIES DURING ESTABLISHMENT TO ALLOW ROOM FOR GROWTH (@1" SLACK).

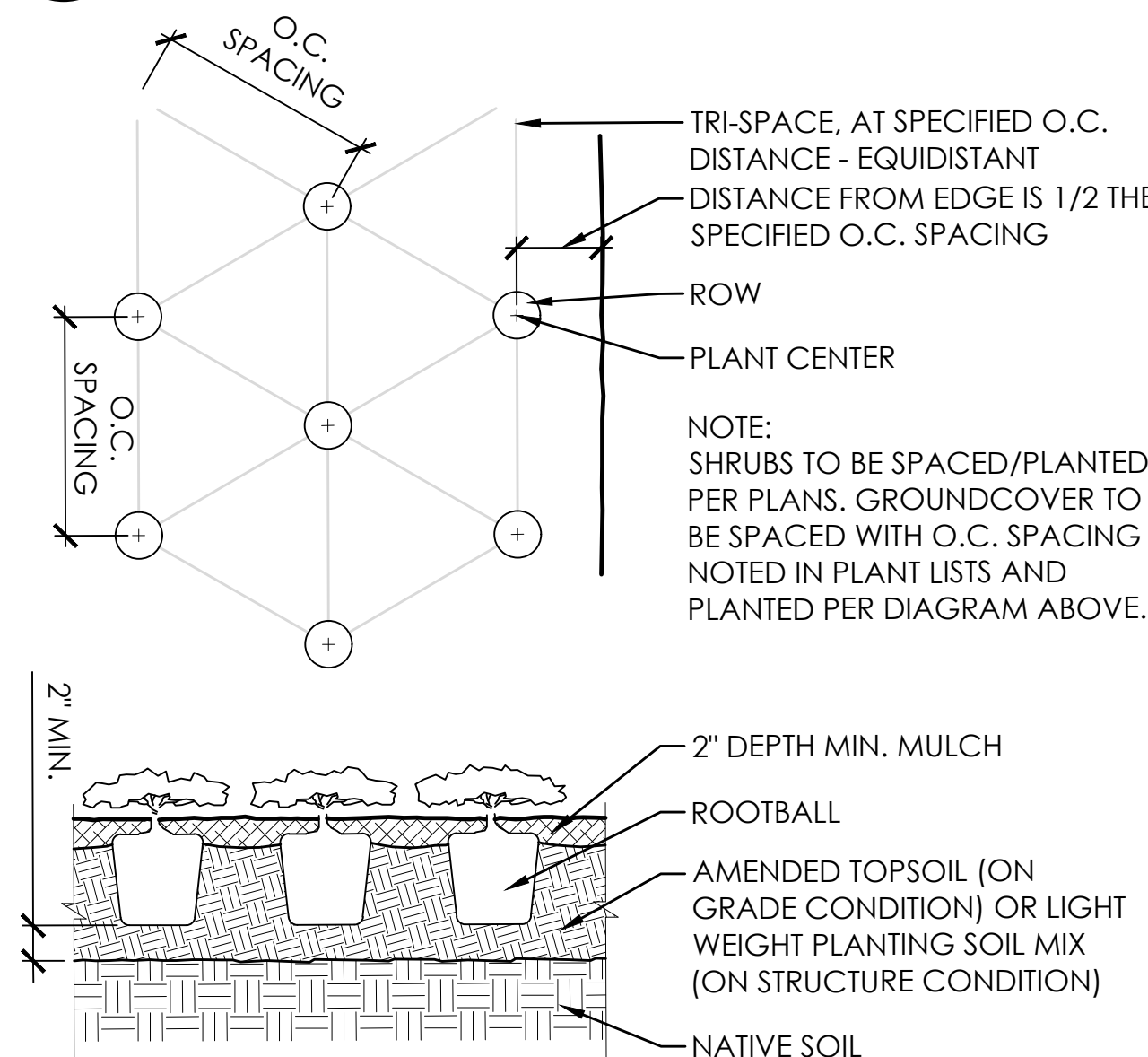
Karen Kiest
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1111 West John Street Suite 306
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Tel: 206 323 6032



LYNN ST APARTMENTS
78 E Lynn St, Seattle, WA 98102

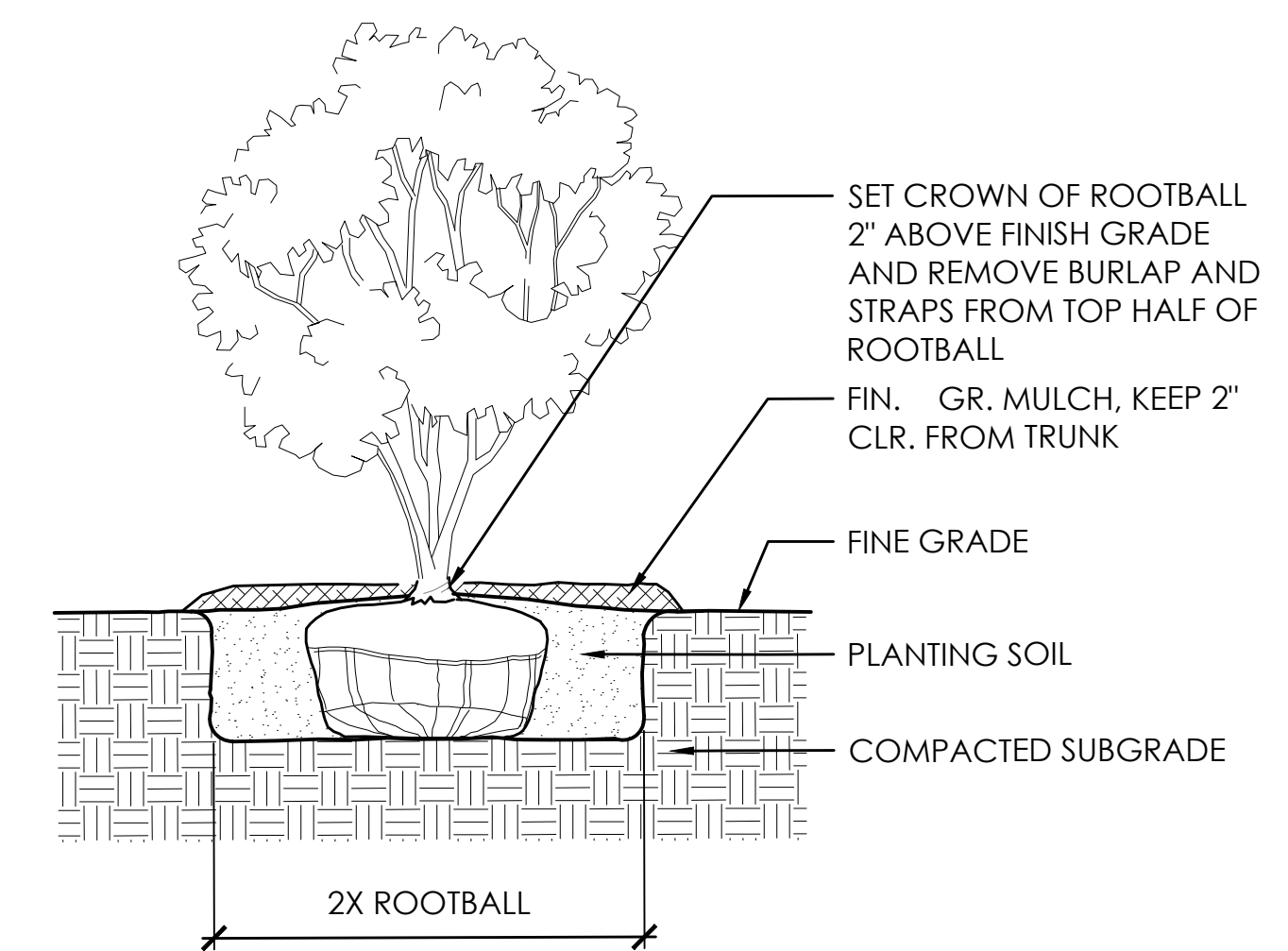
Date	Description
11.23.2021	MUP INTAKE

1 CITY OF SEATTLE STREET TREE PLANTING - STD. PLAN 100a
SCALE: 1 1/2" = 1'-0"



2 SHRUB & GROUND COVER SPACING
SCALE: 1" = 1'-0"

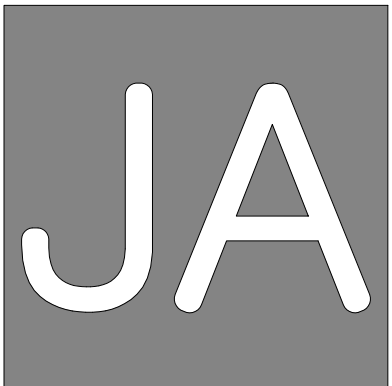
3 MULTISTEM TREE PLANTING ON GRADE
SCALE: 1" = 1'-0"



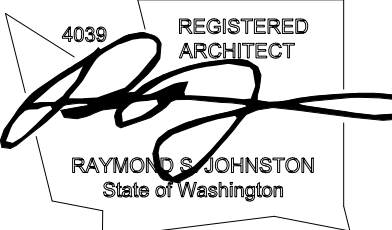
SHEET TITLE
LANDSCAPE DETAILS

SHEET NO.
L300

Drawn DH
Checked KK



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LYNN ST APARTMENTS

78 E Lynn St, Seattle WA, 98102

DATE	DESCRIPTION
2021.11.23	MUP INTAKE

SHEET TITLE

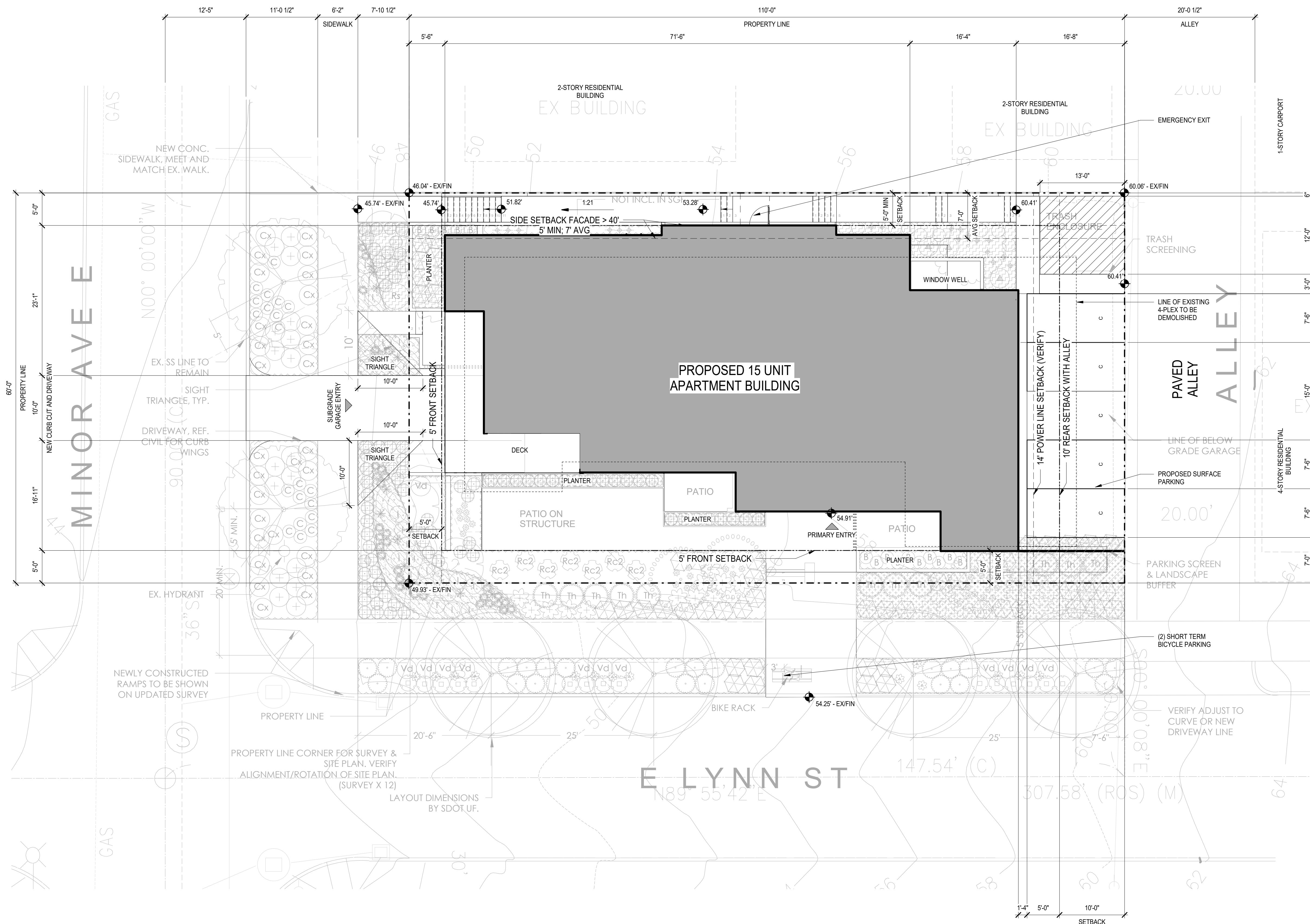
SITE PLAN

SHEET NO.

A100

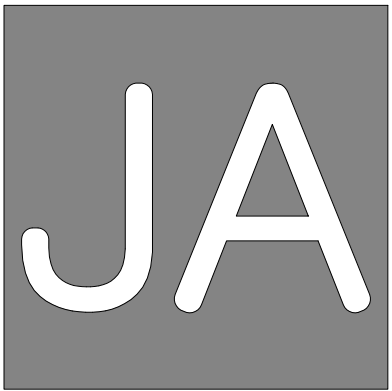
Drawn Checked Author Checker

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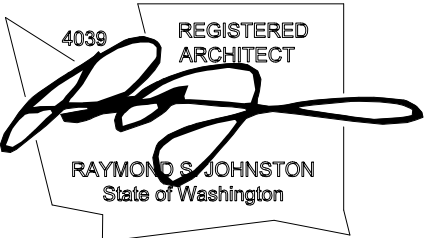


ADDRESS: 78 E LYNN ST, SEATTLE WA, 98102
 OWNER: G & Y CHIN
 LEGAL: LOT 26, BLOCK 14 OF GREEN'S ADDITION TO THE CITY OF SEATTLE PER PLAT RECORDED IN VOL 2 OF PLATS, PG 73, RECORDS OF KING COUNTY
 PARCEL #: 2902201170

1 SITE PLAN
 SCALE: 1/8" = 1'-0"



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LYNN ST APARTMENTS

78 E Lynn St, Seattle WA, 98102

DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

SHEET TITLE
SITE LIGHTING & SIGNAGE

SHEET NO.
A101

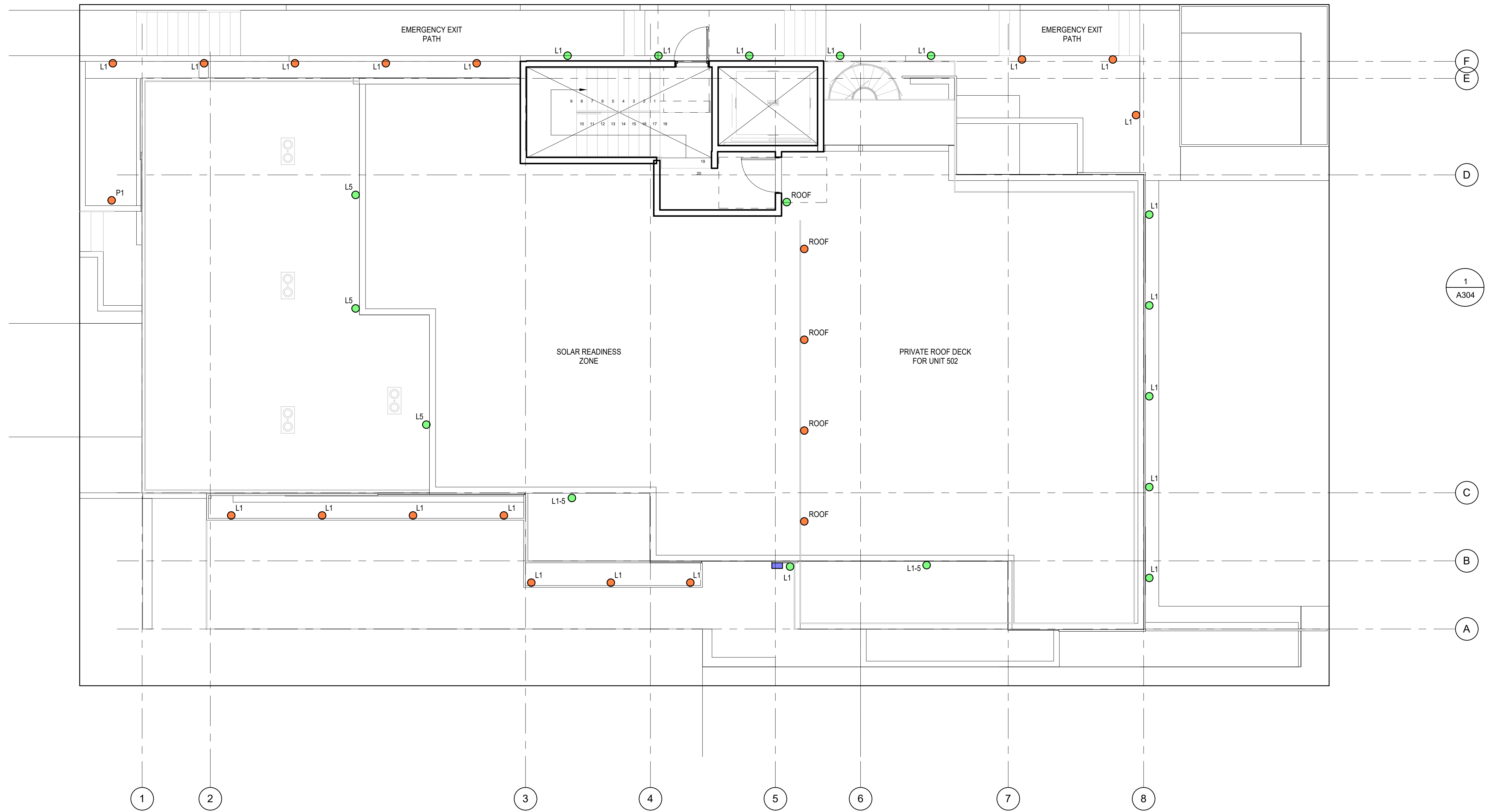
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SIGNAGE & LIGHTING NOTES

1. SITE PLAN DIAGRAM SHOWN IS A COMPOSITE OF GROUND FLOOR TO ROOF DECK USES; MULTIPLE FLOORS ARE REPRESENTED. LIGHT FIXTURES ARE LABELED TO INDICATE THE FLOOR ON WHICH THEY ARE INSTALLED.
2. ALL EXTERIOR LIGHT FIXTURES MUST BE SHIELDED AND DIRECTED AWAY FROM ADJACENT RESIDENTIAL PROPERTIES.

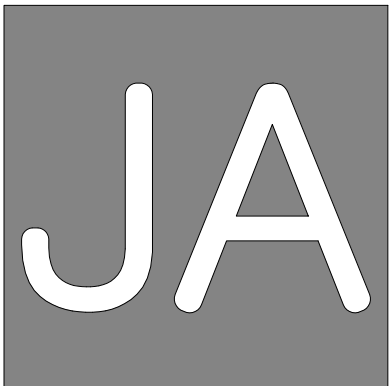
SITE SIGNAGE & LIGHTING LEGEND

- WALL-MOUNTED SCONCE LIGHTING (UP-DOWN AT OVERHANG AREAS; DOWNLIT-ONLY WHERE NO OVERHANG ABOVE)
- LANDSCAPE LIGHTING
- WALL-MOUNTED INTERNALLY-ILLUMINATED SIGN FOR BUILDING NAME

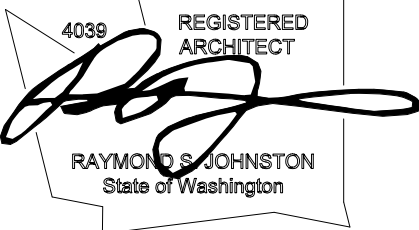


1
A303

1 **SITE LIGHTING & SIGNAGE**
 SCALE: 3/16" = 1'-0"



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LYNN ST APARTMENTS

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DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

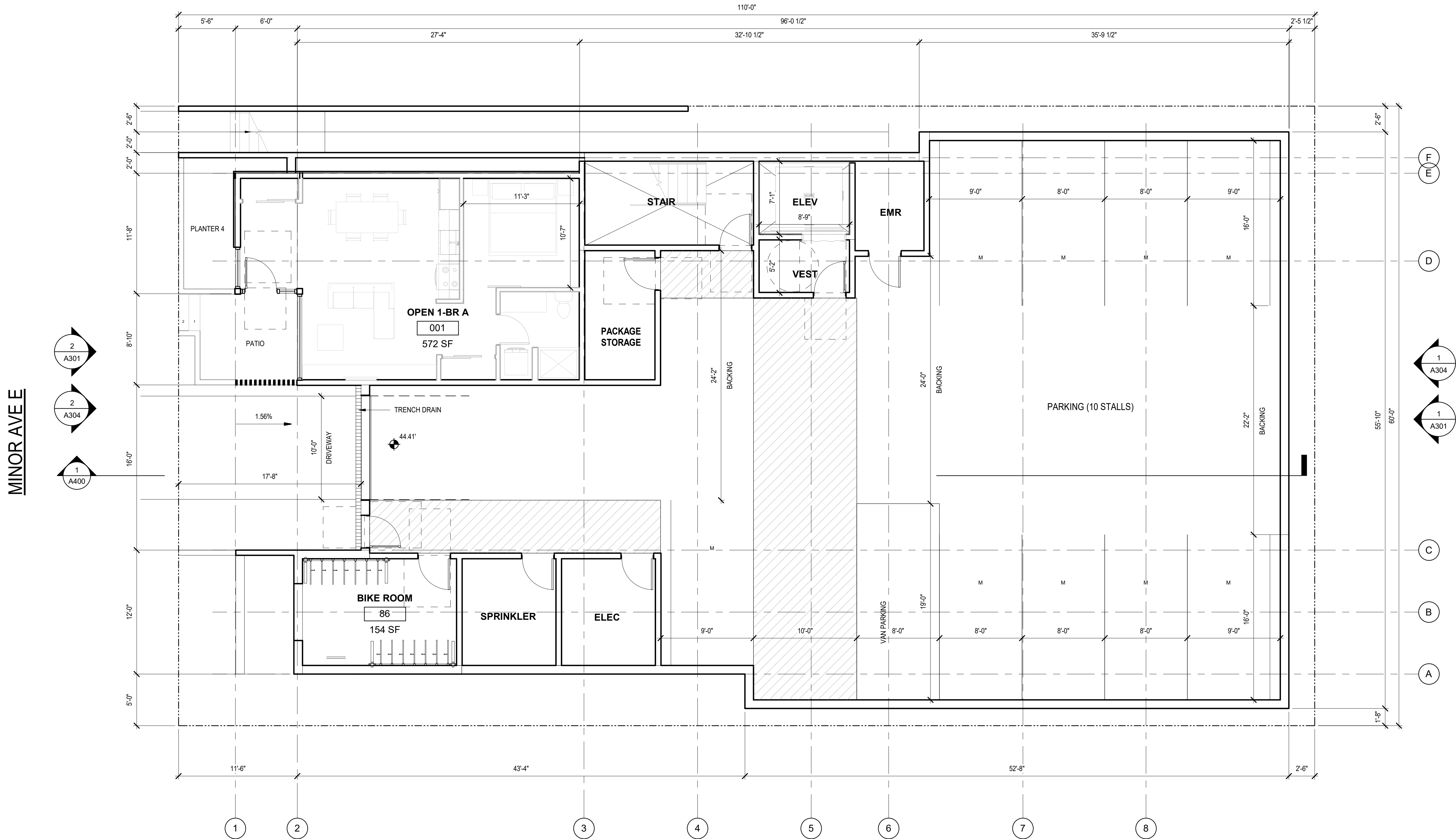
SHEET TITLE

PLANS

SHEET NO.

A200

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Author
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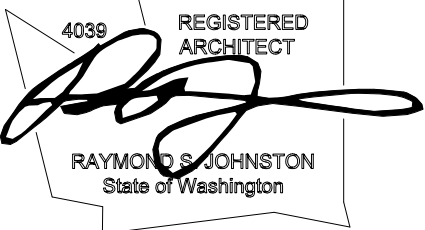


MINOR AVE E

1 LEVEL P1
 SCALE: 3/16" = 1'-0"



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DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

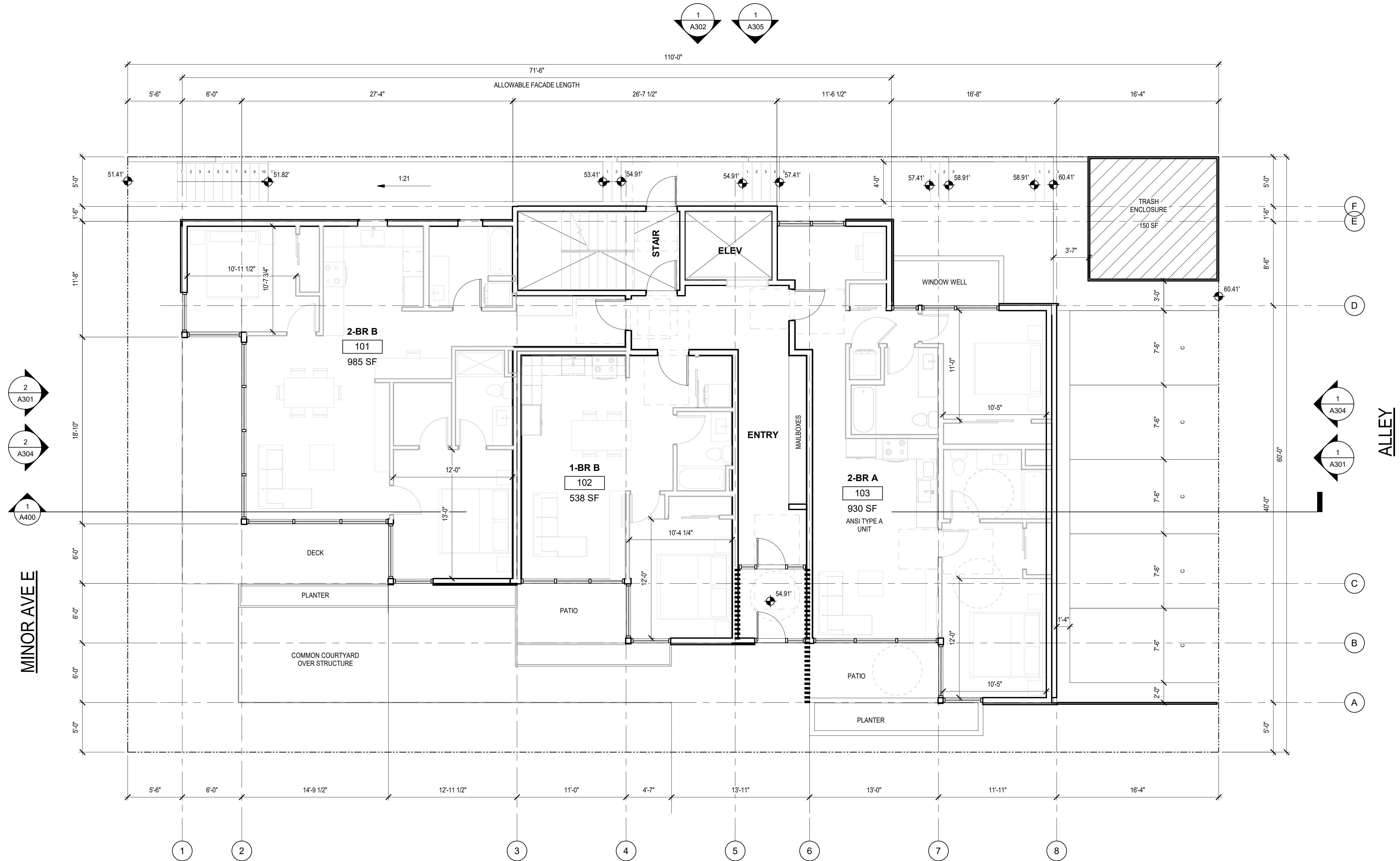
SHEET TITLE

PLANS

SHEET NO.

A201

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Author
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E LYNN ST

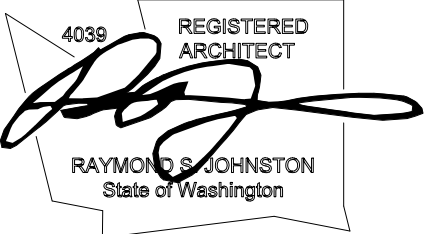
MINOR AVE

ALLEY

1 LEVEL 1
SCALE: 3/16" = 1'-0"



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DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

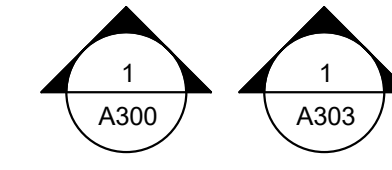
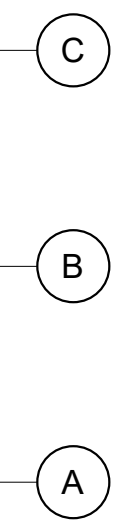
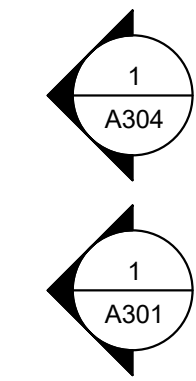
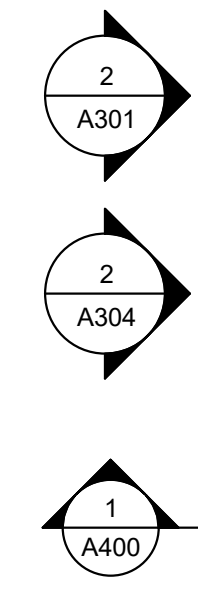
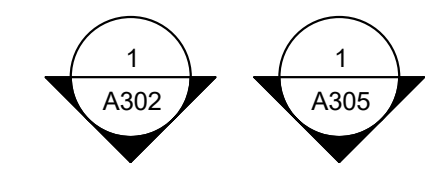
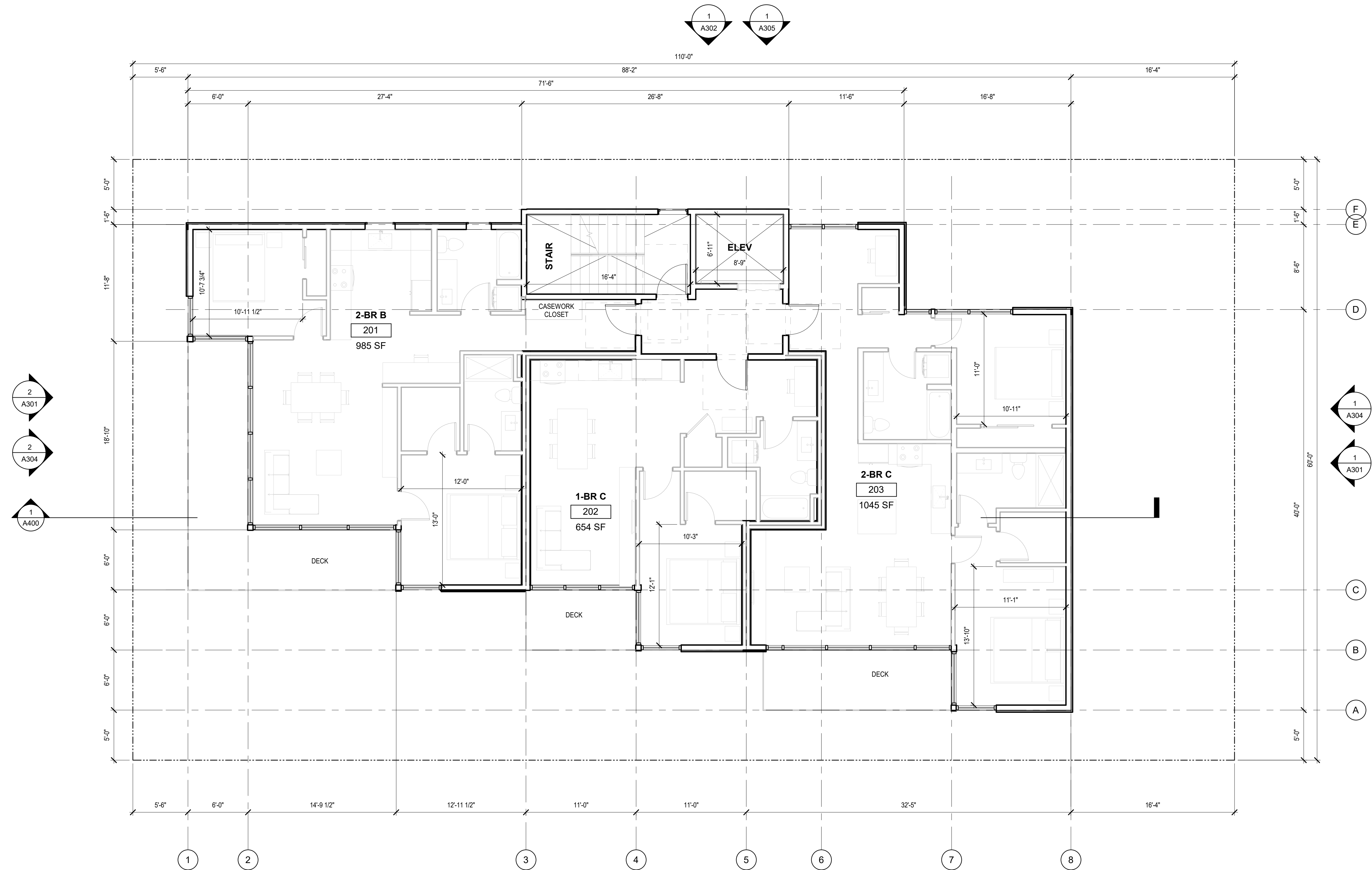
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PLANS

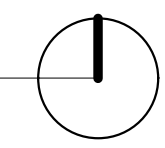
SHEET NO.

A202

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Author
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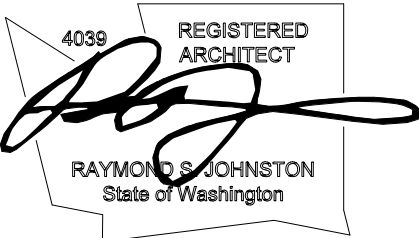


1 LEVEL 2-4
 SCALE: 3/16" = 1'-0"
 LEVEL 2 SHOWN (LEVEL 3 AND LEVEL 4 IDENTICAL)





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DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

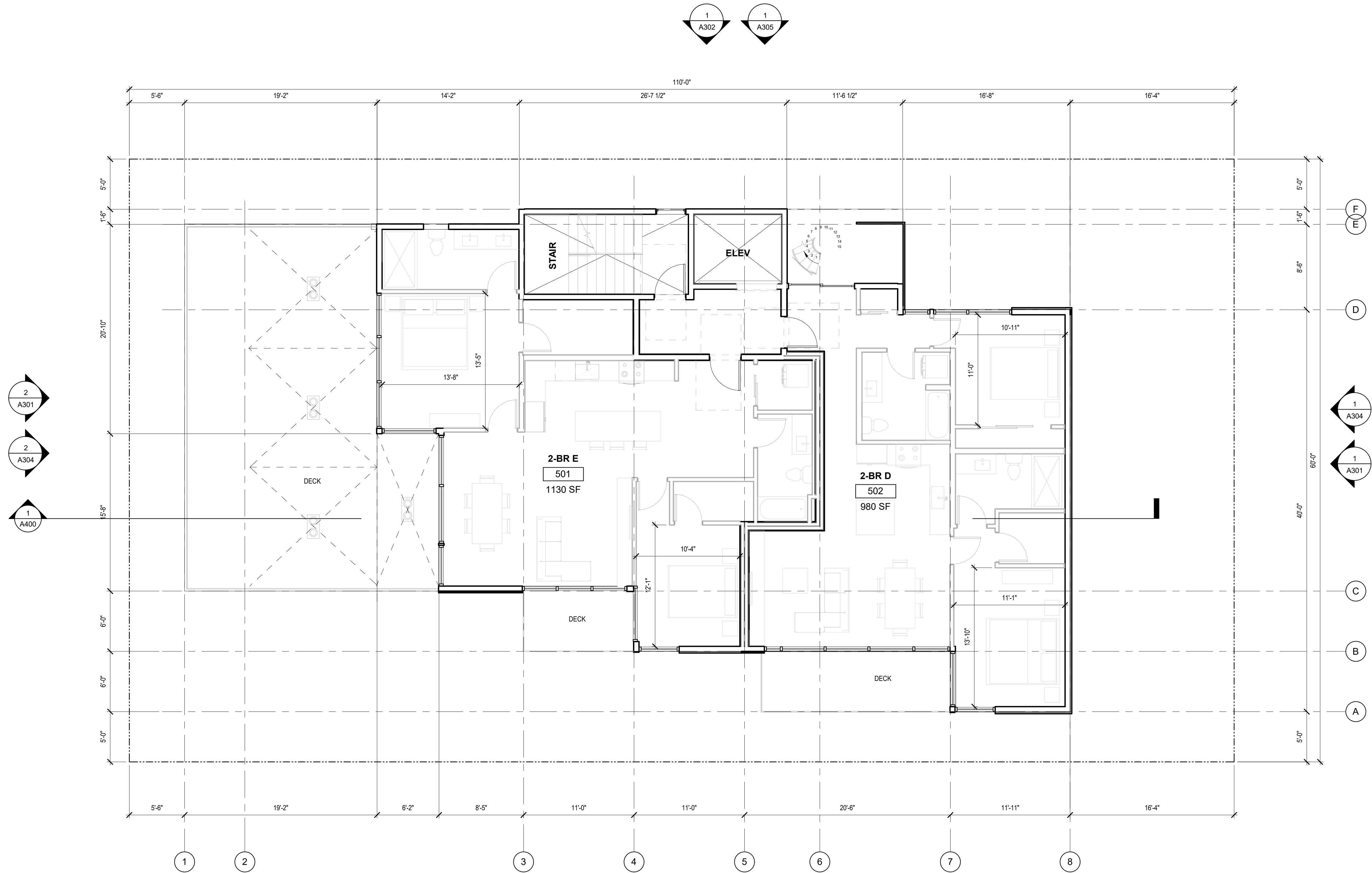
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PLANS

SHEET NO.

A203

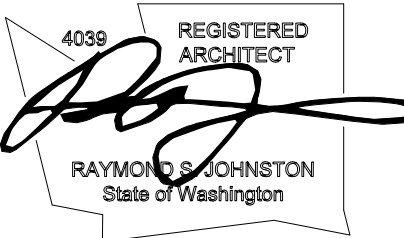
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1 LEVEL 5
 SCALE: 3/16" = 1'-0"



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LYNN ST APARTMENTS

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DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

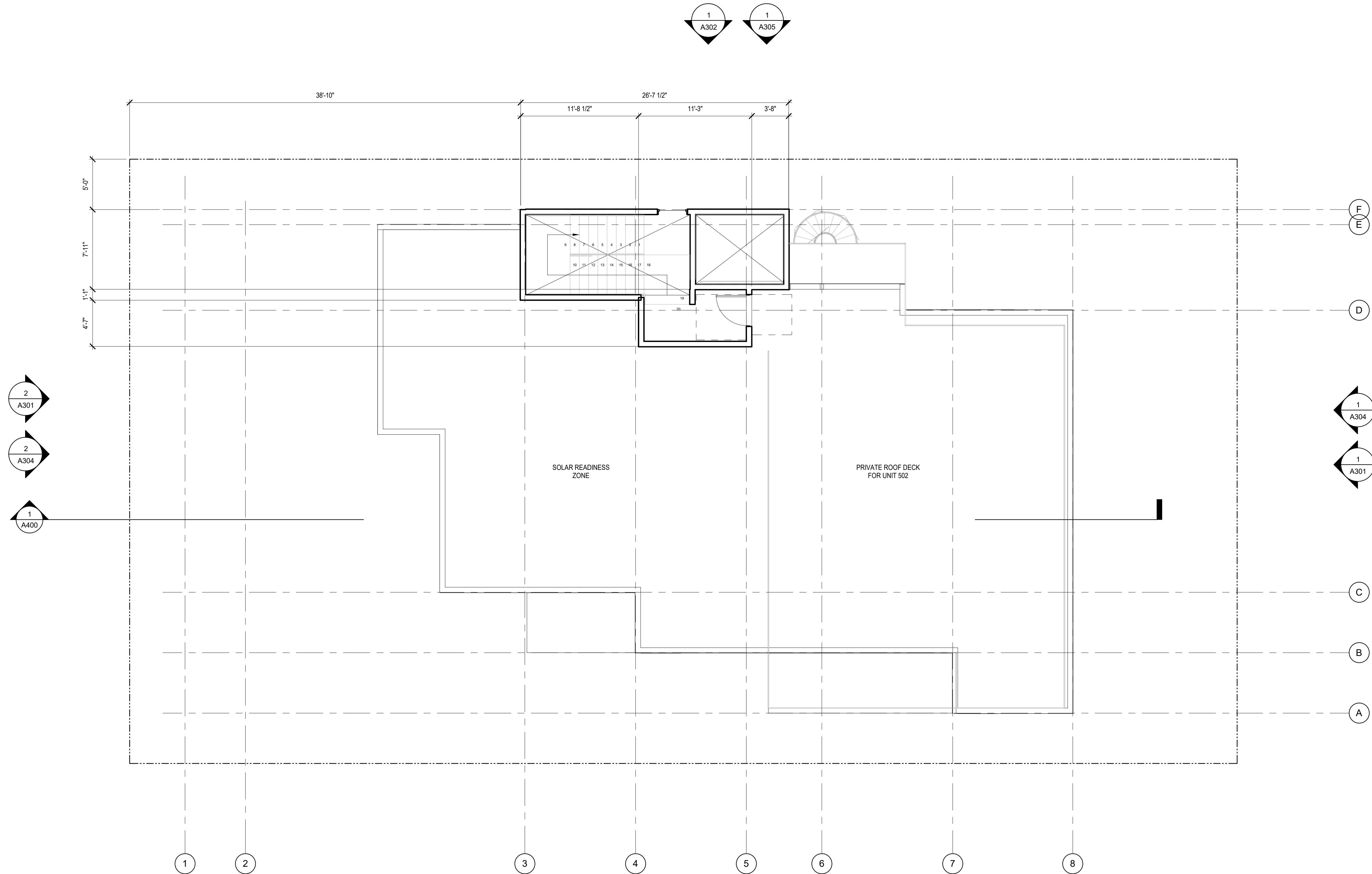
SHEET TITLE

PLANS

SHEET NO.

A204

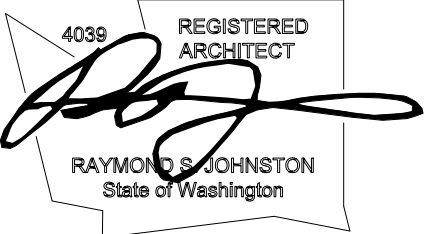
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1 ROOF LEVEL
 SCALE: 3/16" = 1'-0"



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LYNN ST APARTMENTS

78 E Lynn St, Seattle WA, 98102

DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

SHEET TITLE

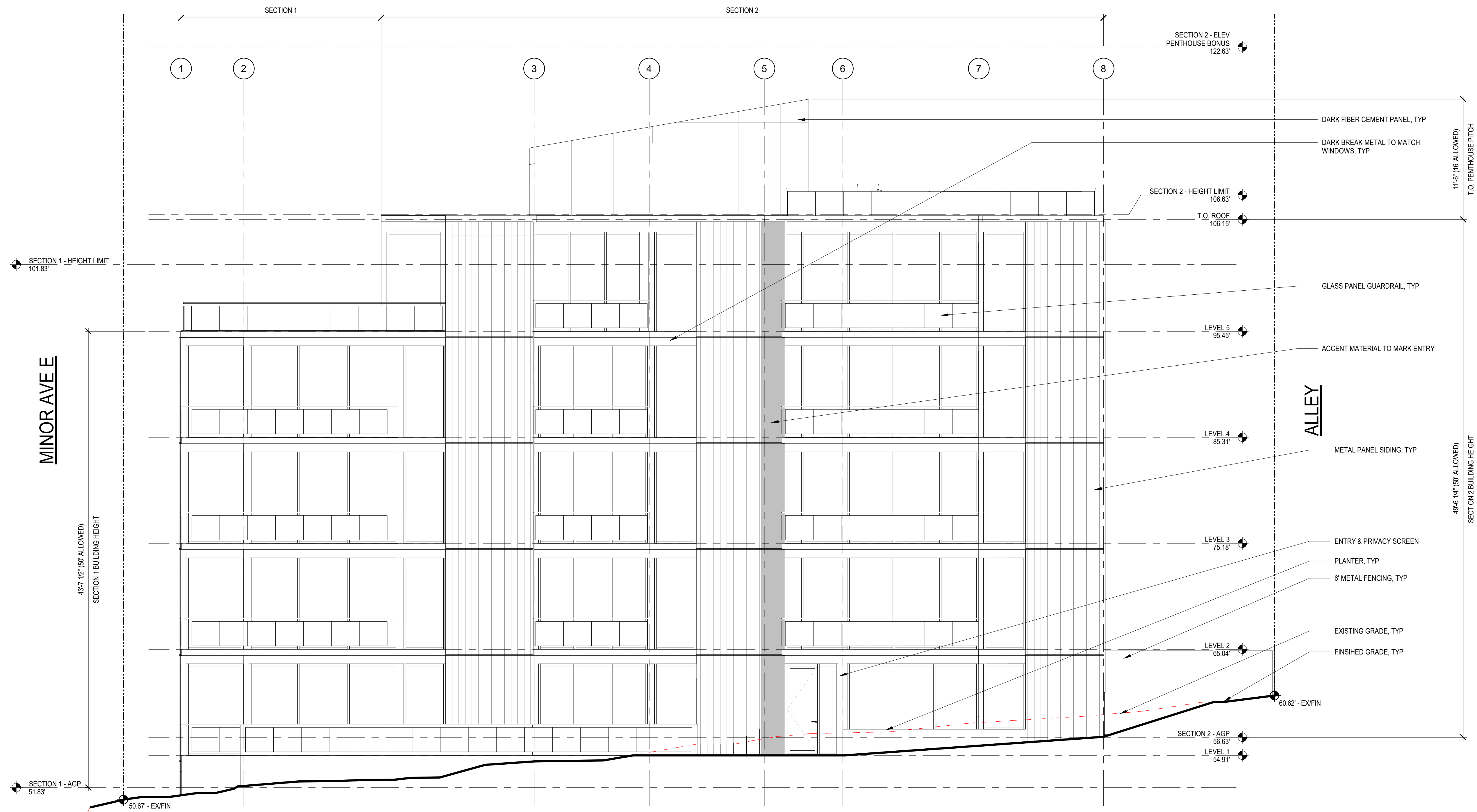
ELEVATIONS

SHEET NO.

A300

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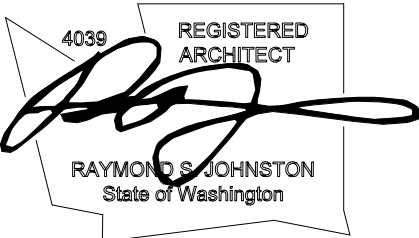
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1 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



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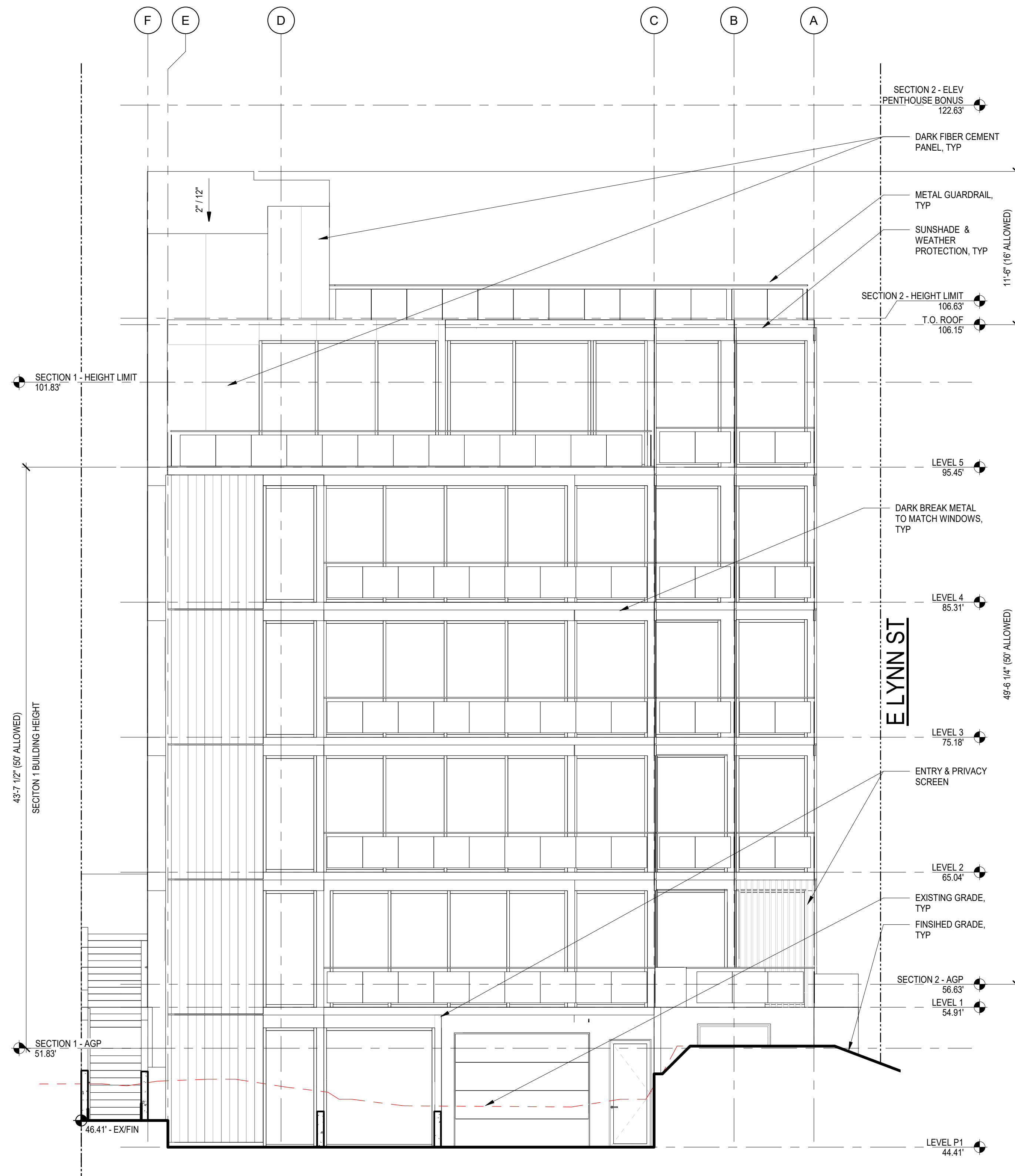
78 E Lynn St, Seattle WA, 98102

DATE	DESCRIPTION
2021.11.23	MUP INTAKE

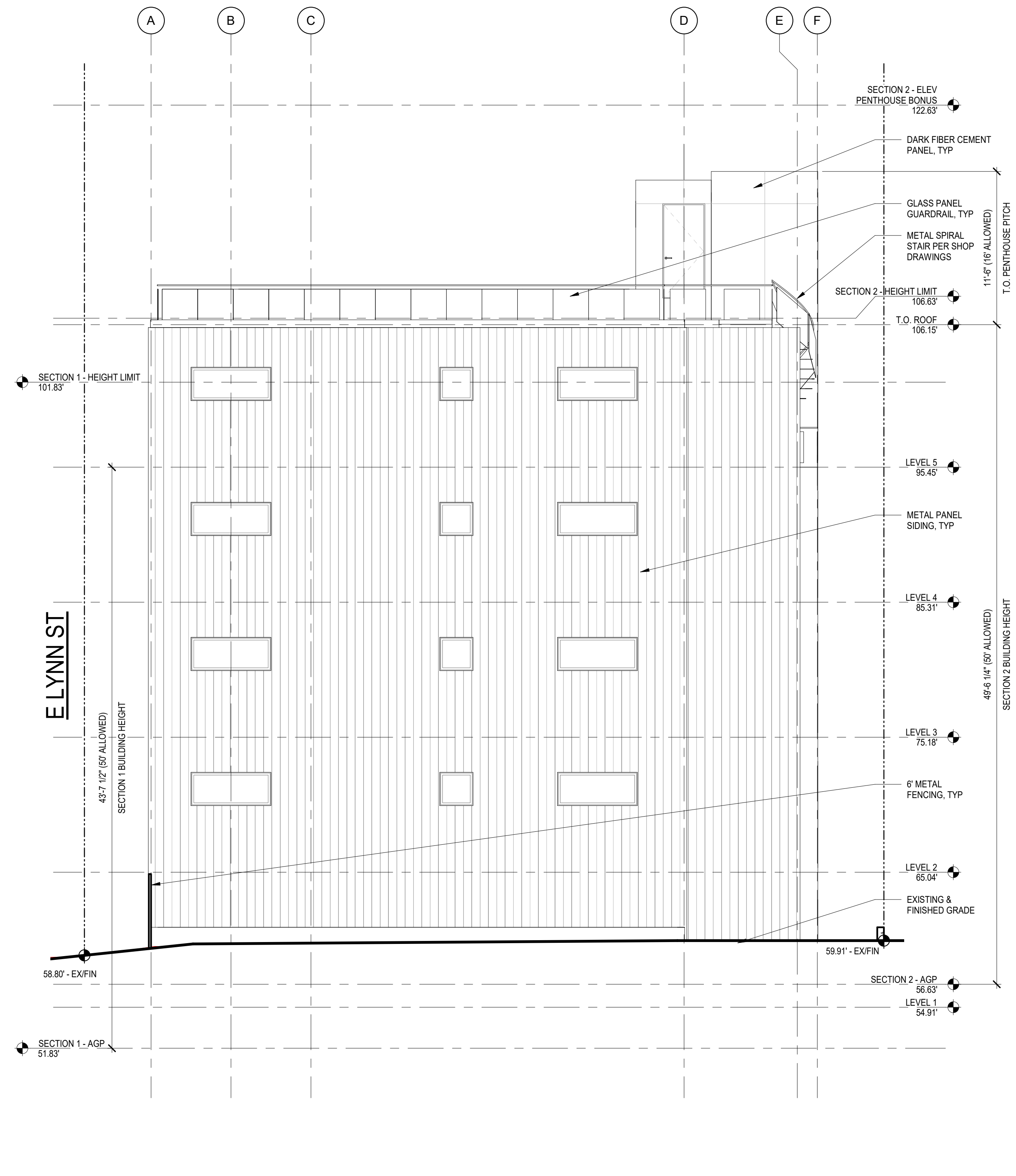
SHEET TITLE
ELEVATIONS

SHEET NO.
A301

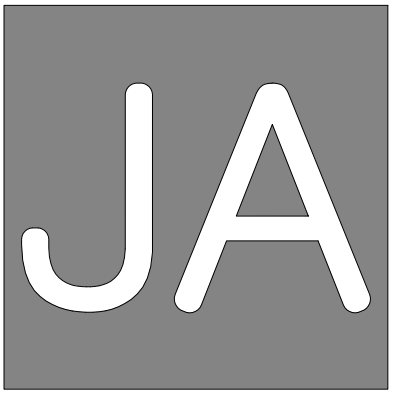
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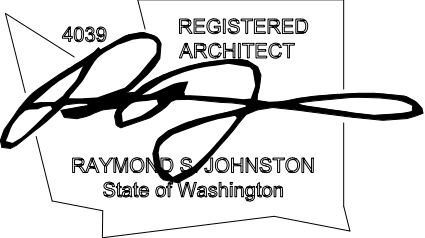
2 WEST ELEVATION (MINOR)
 SCALE: 3/16" = 1'-0"



1 EAST ELEVATION (ALLEY)
 SCALE: 3/16" = 1'-0"



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LYNN ST APARTMENTS

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DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

SHEET TITLE

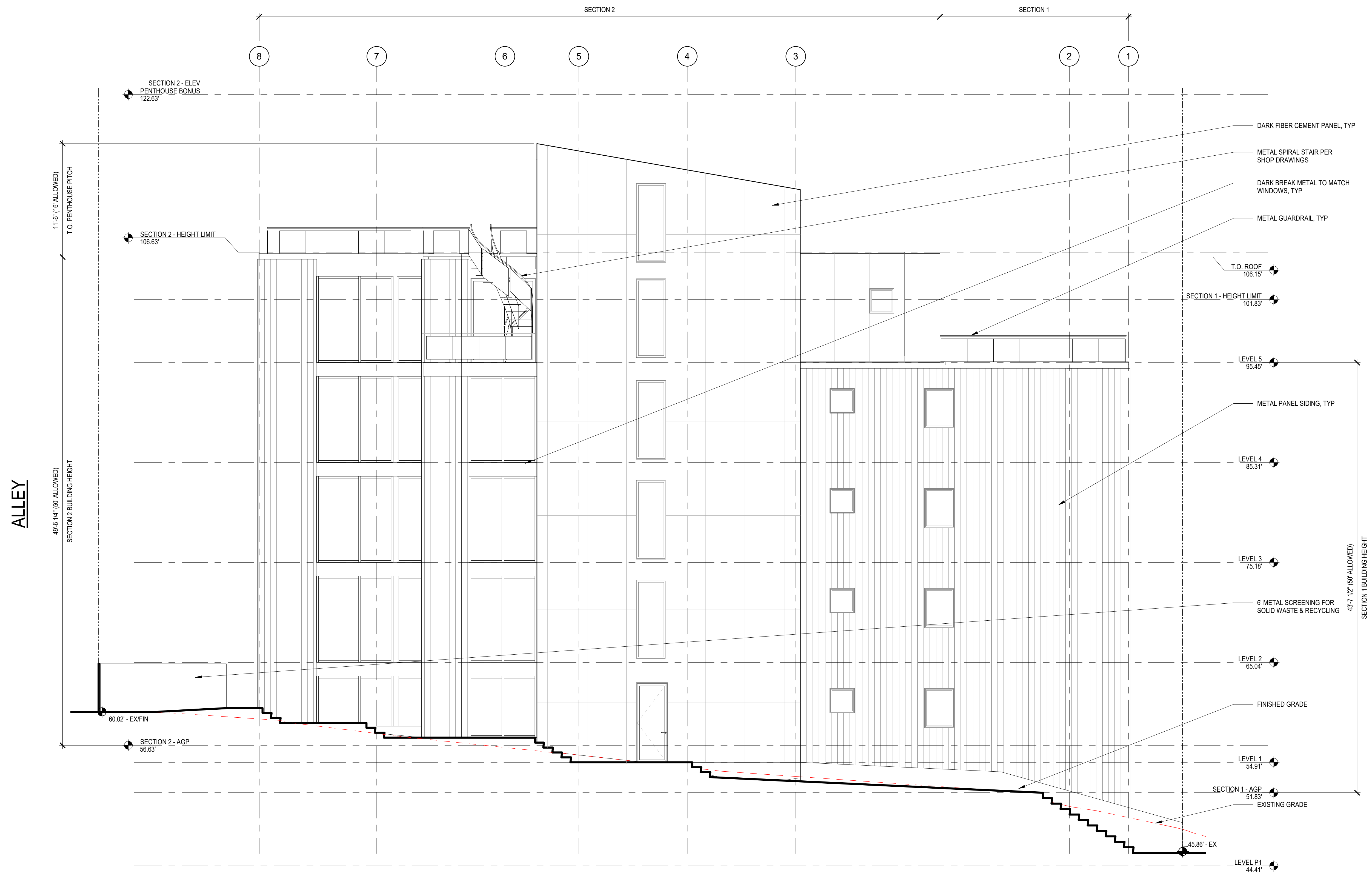
ELEVATIONS

SHEET NO.

A302

Drawn
Checked
Author
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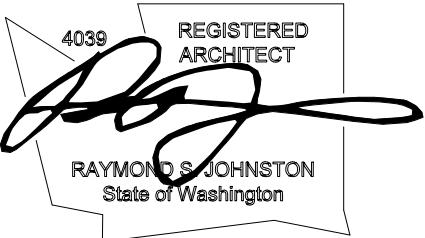
1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

ALLEY

MINOR AVE



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LYNN ST APARTMENTS

78 E Lynn St, Seattle WA, 98102

DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

SHEET TITLE

COLORED ELEVATIONS

SHEET NO.

A303

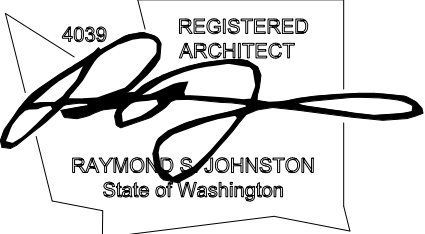
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1 SOUTH COLORED ELEVATION
 SCALE: 3/16" = 1'-0"



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LYNN ST APARTMENTS

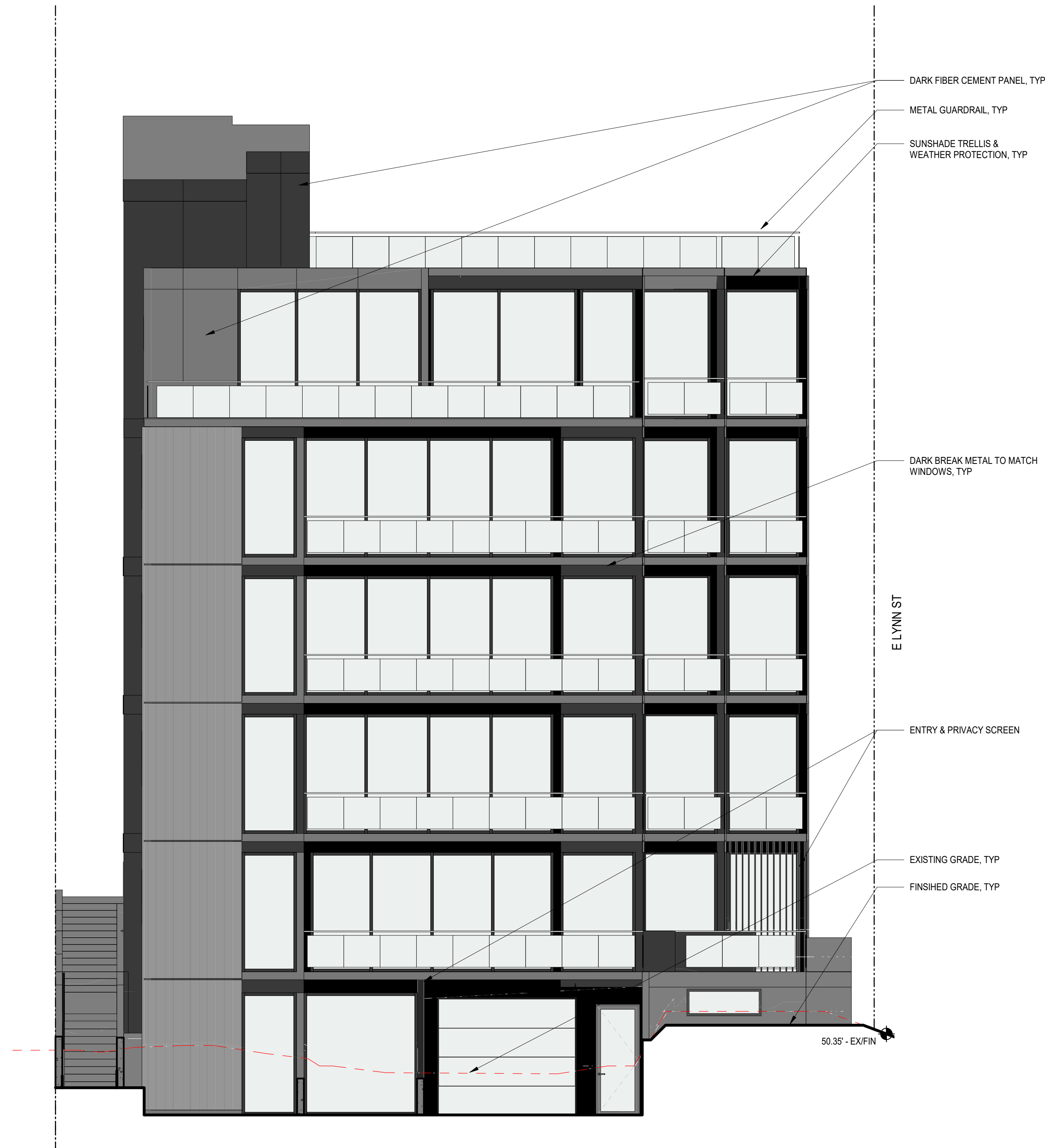
78 E Lynn St, Seattle WA, 98102

DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

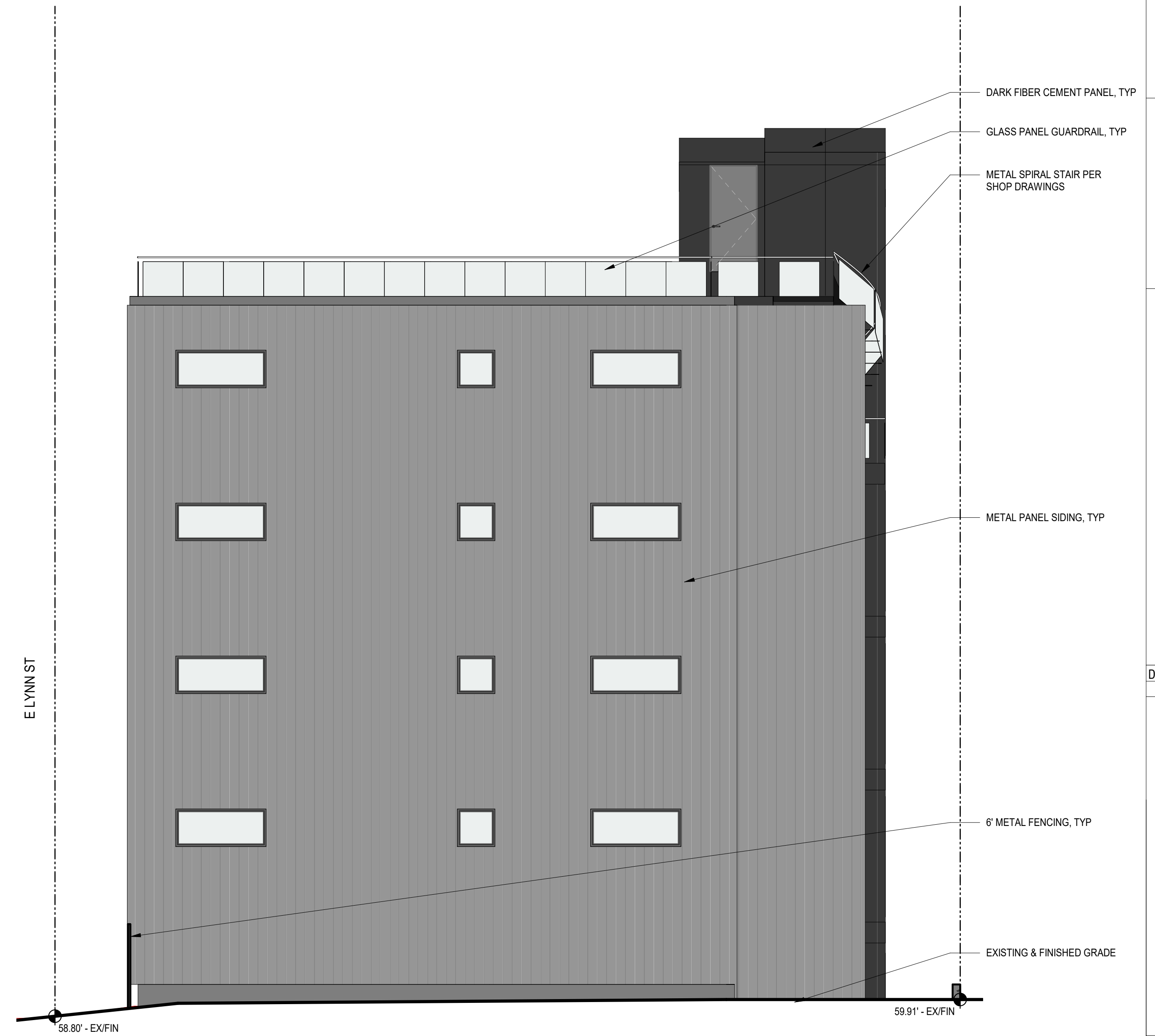
SHEET TITLE
COLORED ELEVATIONS

SHEET NO.
A304

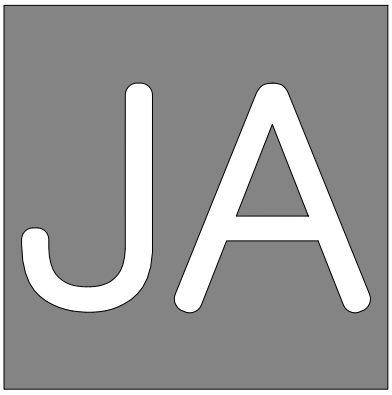
Drawn
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 Author
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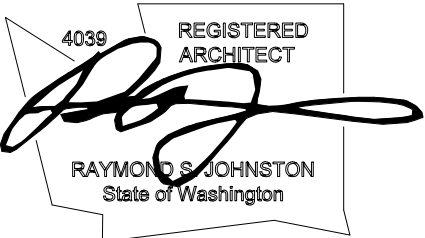
2 WEST COLORED ELEVATION (MINOR)
 SCALE: 3/16" = 1'-0"



1 EAST COLORED ELEVATION (ALLEY)
 SCALE: 3/16" = 1'-0"



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LYNN ST APARTMENTS

78 E Lynn St, Seattle WA, 98102

DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

SHEET TITLE

COLORED ELEVATIONS

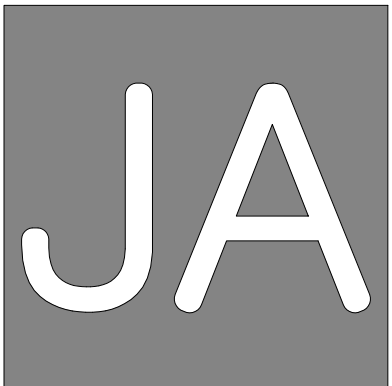
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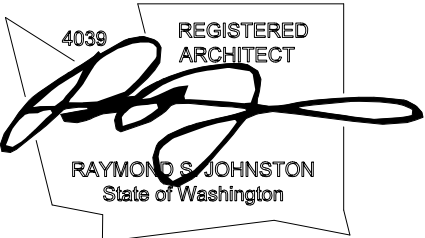
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1 NORTH COLORED ELEVATION
 SCALE: 3/16" = 1'-0"



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LYNN ST APARTMENTS

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DATE	DESCRIPTION
2021.11.23	MUP INTAKE

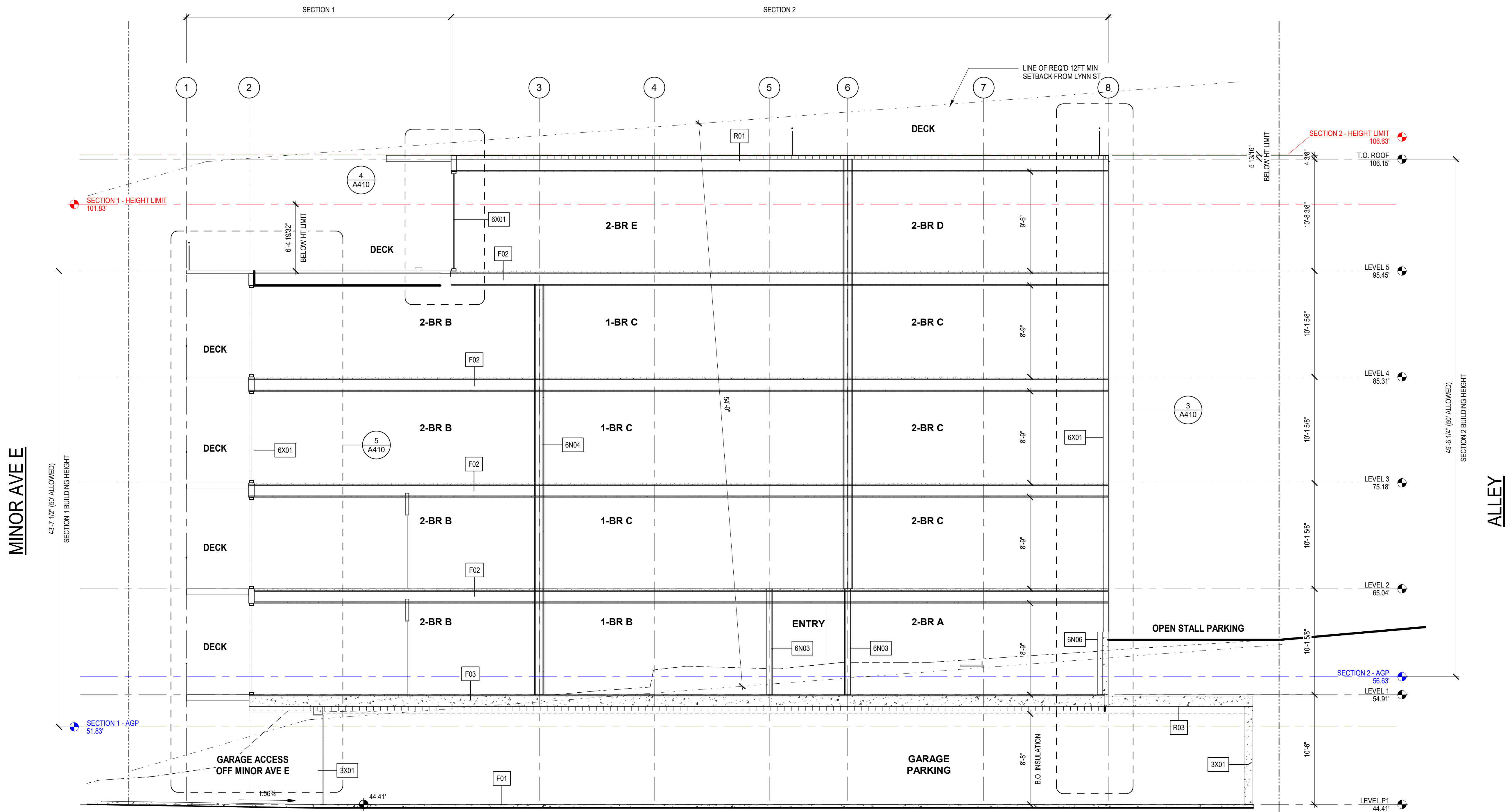
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SECTIONS

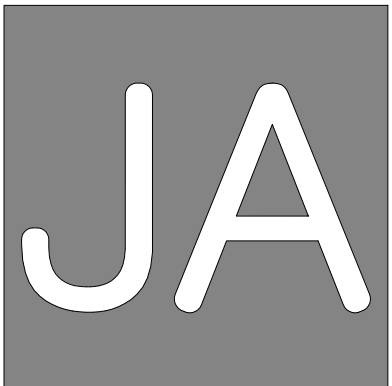
SHEET NO.

A400

Drawn
Checked
Author
Checker
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1 E/W SECTION
 SCALE: 3/16" = 1'-0"



Johnston Architects, LLC
 100 NE Northlake Way,
 Suite 200
 Seattle, WA 98105
 t 206.523.6150
 f 206.523.9382



LYNN ST APARTMENTS

78 E Lynn St, Seattle WA, 98102

DRAWING ISSUE	
DATE	DESCRIPTION
2021.11.23	MUP INTAKE

SHEET TITLE

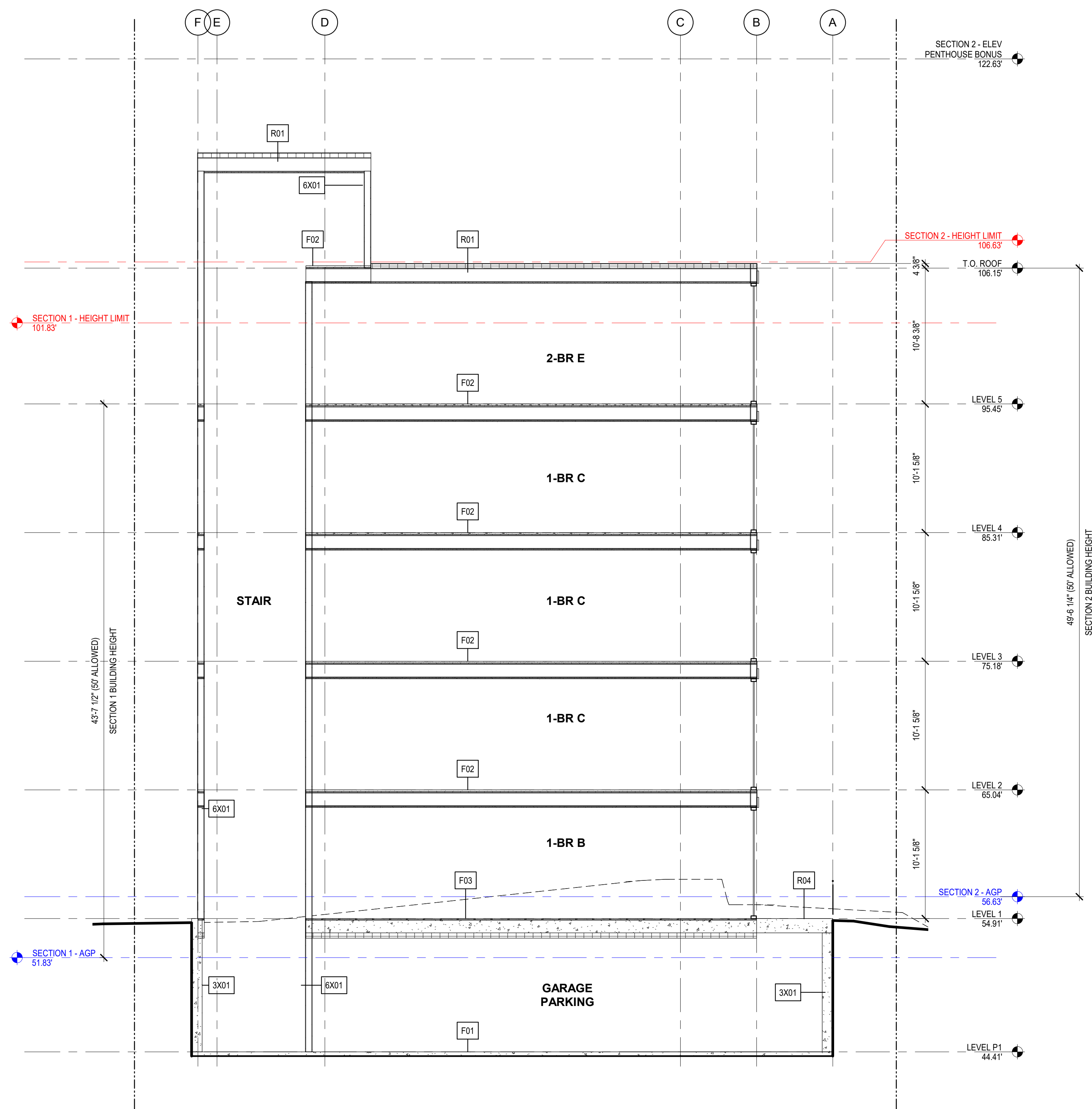
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A401

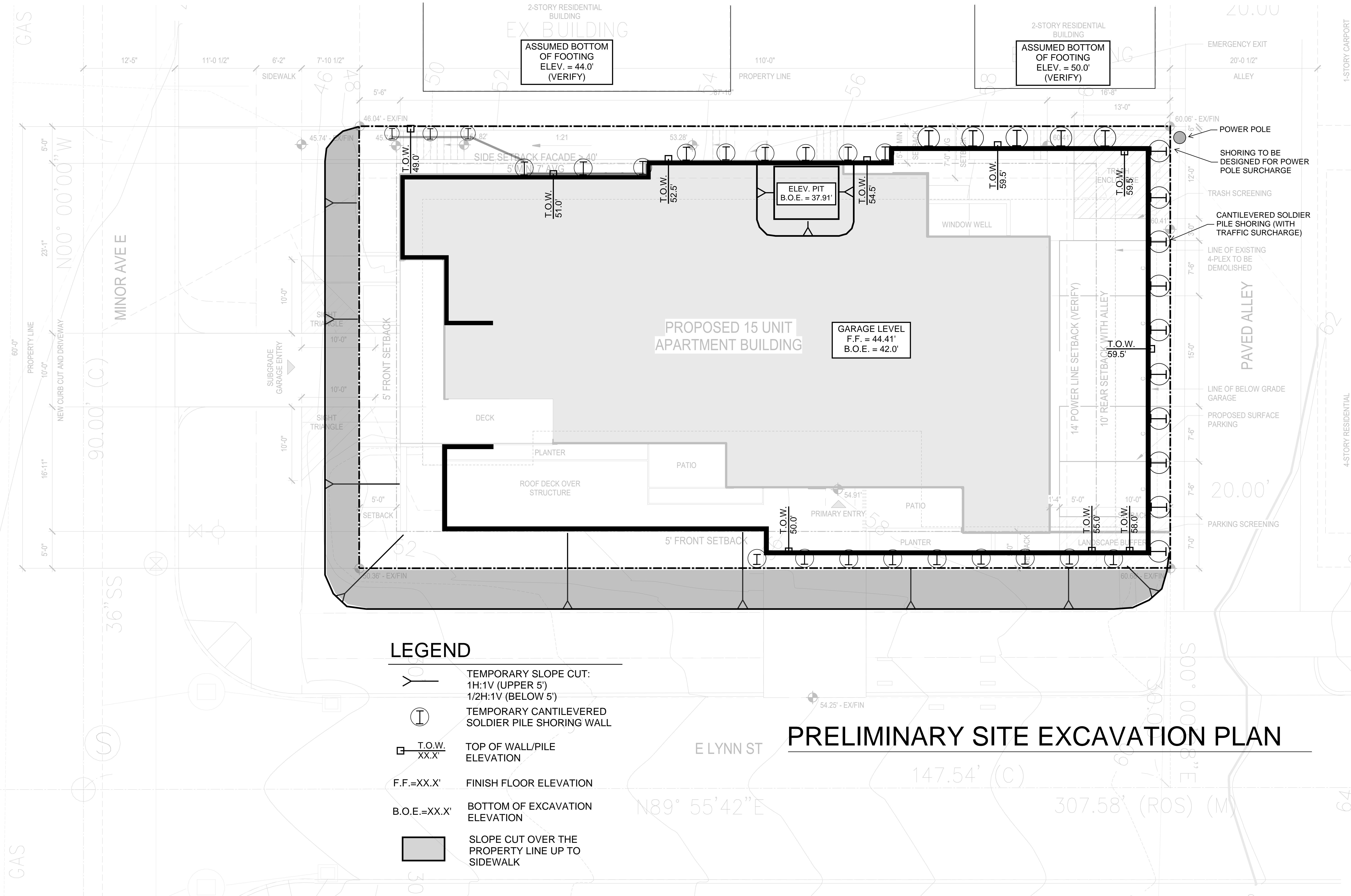
Drawn Checked Author Checker

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ELYNN ST

1 N/S SECTION
 SCALE: 3/16" = 1'-0"



ASSUMED BOTTOM OF FOOTING
ELEV. = 44.0'
(VERIFY)



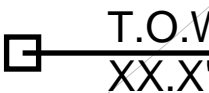

ASSUMED BOTTOM OF FOOTING
ELEV. = 50.0'
(VERIFY)

GARAGE LEVEL
F.F. = 44.41'
B.O.E. = 42.0'

PROPOSED 15 UNIT
APARTMENT BUILDING

PRELIMINARY SITE EXCAVATION PLAN

LEGEND

-  TEMPORARY SLOPE CUT:
1H:1V (UPPER 5')
1/2H:1V (BELOW 5')
-  TEMPORARY CANTILEVERED
SOLDIER PILE SHORING WALL
-  T.O.W.
XX.X'
- F.F.=XX.X' FINISH FLOOR ELEVATION
- B.O.E.=XX.X' BOTTOM OF EXCAVATION
ELEVATION
-  SLOPE CUT OVER THE
PROPERTY LINE UP TO
SIDEWALK