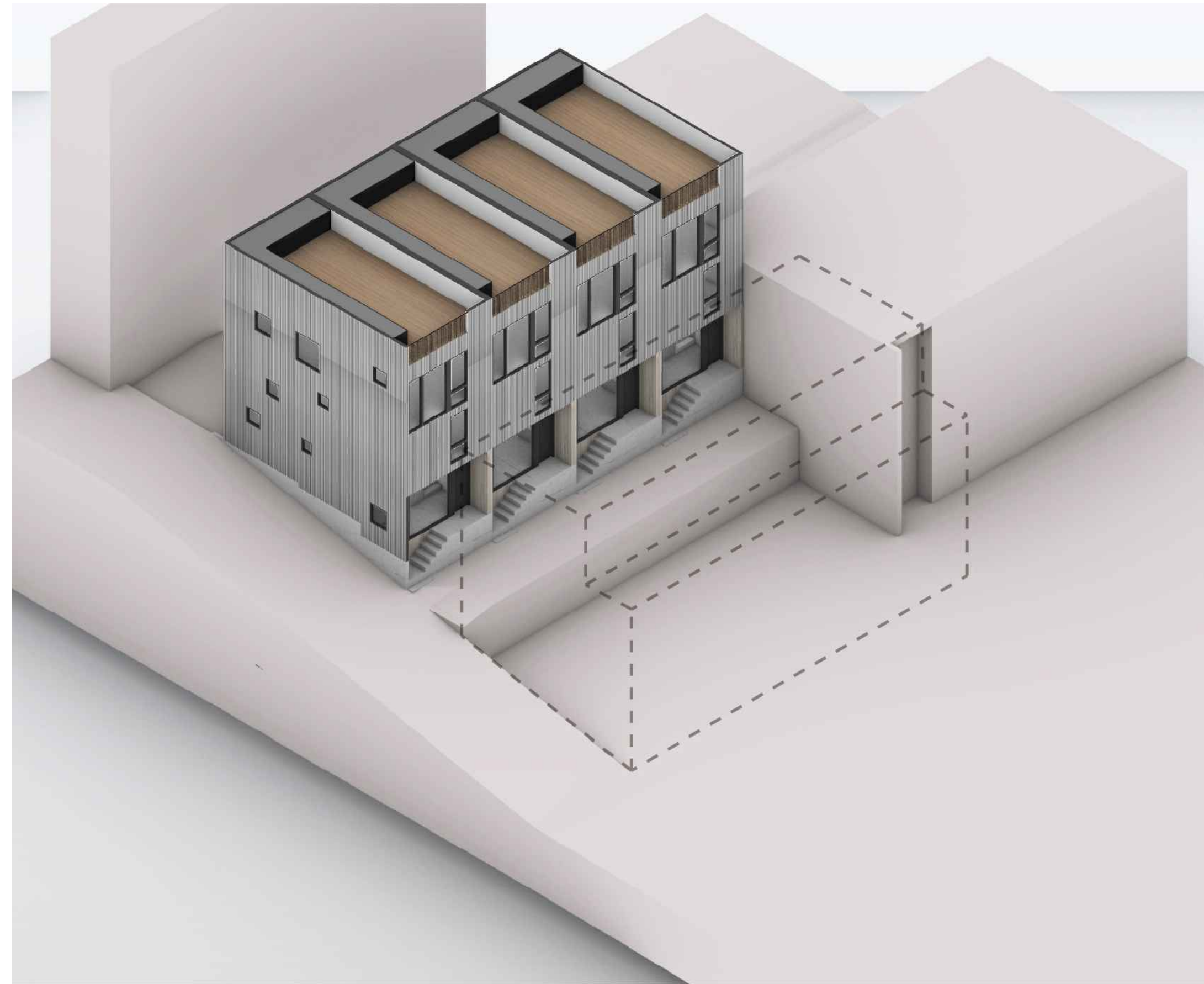


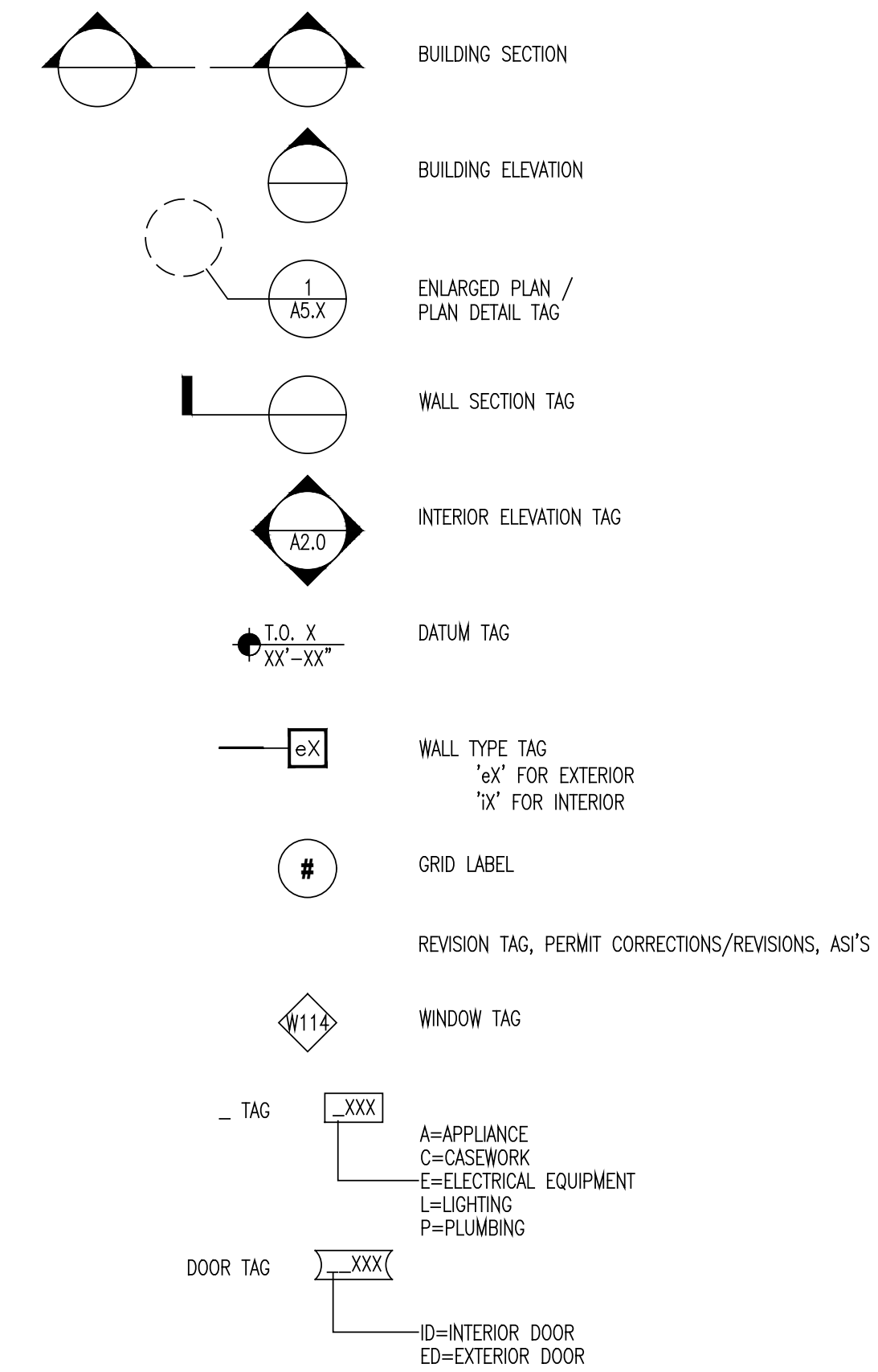
OVERVIEW



PROJECT INFORMATION

A	ADJUSTABLE	L	LAVATORY
ADJ	ADJUSTABLE	LL	LANDLORD
ADDL	ADDITIONAL	LOC	LOCATION
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ALT	ALTERNATE	LTG	LIGHTING
ARCH	ARCHITECT (URAL)	MANUF	MANUFACTURED, MANUFACTURER
AVE	AVENUE	MTD	MOUNTED
B	BASE	MTL	MATERIAL
BA	BUILT IN	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
C	CABINET	MET	METAL
CAB	CABINET	MIN	MINIMUM, MINUTE
CL	CENTERLINE, CLOSET	MISC	MISCELLANEOUS
CLG	CEILING	N	NORTH
CLR	CLEAR	NA	NOT APPLICABLE
COL	COLUMN	NIC	NOT IN CONTRACT
COAC	CONCRETE	NOM	NOMINAL
COORD	COORDINATE	NTS	NOT TO SCALE
CPT	CARPET (ED)	O	ON CENTER
D	DEMOLISH, DEMOLITION	OC	OPPOSITE
DEF	DEFLECTION	OPP	OPPOSITE
DET	DETAIL	P	PERMIT CORRECTION
DIAM	DIAMETER	PC	PERMETER
DN	DOWN	PERP	PERPENDICULAR
DS	DOWN SPOUT	PLM	PLASTIC LAMINATE
DTL	DETAIL	PLWD	PLYWOOD
DWG	DRAWING	POS	POINT OF SALE
DWR	DRAWER	PRELM	PRELIMINARY
E	EAST	PROJ	PROJECT
(E)	EXISTING	PROP	PROPERTY
EA	EACH	PSI	POUNDS PER SQUARE INCH
ELEV	ELEVATION	PT	PANT, PRESSURE TREATED
ELEC	ELECTRIC (AL)	Q	QUANTITY
EQ	EQUAL	QTY	QUANTITY
EQUIP	EQUIPMENT	R	RADIUS
EXT	EXTERIOR	RAD	RADIUS
F	FLOOR DRAIN	REC	RECEPTACLE
FD	FLOOR DRAIN	REF	REFER (ENCE)
FF	FINISHED FLOOR	REQD	REQUIRED
FF&E	FURNITURE FIXTURE(S) AND EQUIPMENT	REV	REVISION (S), REVISED
FIN	FINISH (ED)	RM	ROOM
FL	FLUORESCENT	RO	ROUGH OPENING
FLR	FLOOR	S	SOUTH
F.O.	FACE OF	S	SOUTH
FOF	FACE OF FINISH	SCHED	SCHEDULE
FOC	FURNISHED BY OWNER;	SQ	SQUARE FOOT, STORE FRONT
FOO	FURNISHED BY OWNER;	SG	SAFETY GLAZING
	INSTALLED BY OWNER	SIM	SIMILAR
FR	FRAMING	SPEC	SPECIFICATION
		ST	STREET, STONE
GC	GENERAL CONTRACTOR	STC	SOUND TRANSMISSION CLASS
GEN	GENERAL	T	TEMPORARY
GL	GLASS	TEMP	TEMPERED
GYP	GYPNUM	TMPD	TEMPERED
GWB	GYPNUM WALL BOARD	T.O.C.	TOP OF CONCRETE
		T.O.S.	TOP OF SLAB
HW	HARDWARE	T.O.S.	TOP OF SLAB
HW	HOLLOW METAL	T.S.	TUBE STEEL
HORIZ	HORIZONTAL	TYP	TYPICAL
HTR	HEATER	U	UNLESS NOTED OTHERWISE
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	UNO	UNLESS NOTED OTHERWISE
	INTERNATIONAL BUILDING CODE	V	VERIFY IN FIELD
IBC	INTERNATIONAL BUILDING CODE	VIF	VERIFY IN FIELD
INCL	INCLUDING	W	WEST
INSUL	INSULATION	W	WEST
INT	INTERIOR	WD	WOOD

SYMBOLS



APPLICABLE CODES

BUILDING: 2018 SEATTLE BUILDING CODE (SBC)  
 2018 SEATTLE RESIDENTIAL CODE (SRC)  
 ENERGY: 2018 SEATTLE ENERGY CODE (SEC)  
 ELECTRICAL: 2018 SEATTLE ELECTRICAL CODE  
 MECHANICAL: 2018 SEATTLE MECHANICAL CODE (SMC)  
 LAND USE/ZONING: SEATTLE MUNICIPAL CODE

VICINITY MAP



PROJECT INFORMATION

**DESCRIPTION**  
 DEMO (E) SINGLE FAMILY HOME, CONSTRUCT (4) 3-STORY TOWNHOMES

**LEGAL DESCRIPTION**  
 DENNY FUHRMAN UNREC W BLK 35 ELY 40 FT OF NLY 60 FT AKA LOT 1 ELY 40 FT

**PARCEL #**  
 1967200008

**SDCI PROJECT NUMBER**  
 3038366-LU LAND USE  
 6846932-CN CONSTRUCTION  
 6846933-DM DEMOLITION  
 6862815-EX ECA AND SHORELINE EXEMPTION

**PREVIOUS PERMIT RECORDS**  
 3036461-EG

DRAWING INDEX

**TITLE**  
 T0.0 TITLE SHEET  
 T0.1 FAR AND MHA CALCUS  
 SURVEY

**CIVIL**  
 C1 COVER SHEET  
 C2 FRONTAGE PLAN  
 C3 GRADING PLAN & PROFILE FAIRVIEW AVE. N  
 C4 GRADING PLAN & PROFILE E ALLISON ST  
 C5 GRADING PLAN & PROFILE ALLEY  
 C6 DETAILS

**LANDSCAPE**  
 L1 PLANTING PLAN  
 L2 GREEN FACTOR ELEMENTS  
 L3 NOTES/DETAILS  
 L4 COLORED LANDSCAPE PLAN

**ARCHITECTURAL**  
 A0.0 SITE PLAN  
 A0.1 LAND USE NOTES  
 A0.2 LAND USE NOTES  
 A0.3 SOLID WASTE PLAN  
 A1.1 FLOOR PLANS  
 A1.2 FLOOR PLANS  
 A2.0 BUILDING ELEVATIONS  
 A2.1 BUILDING ELEVATIONS  
 A2.2 BUILDING ELEVATIONS  
 A2.3 BUILDING SECTIONS  
 A2.4 BUILDING SECTIONS

PROJECT DIRECTORY

**OWNER**  
 LITTLE LAKE LLC  
 CONTACT: GABRIEL HAJANI  
 117 E ALLISON ST.  
 SEATTLE, WA 98102  
 E: gabe@gabahajani.com

**ARCHITECT**  
 ROBERT HUTCHISON ARCHITECTURE LLC  
 4010 WHITMAN AVENUE N  
 SEATTLE WA 98103  
 CONTACT: SCOTT CLAASSEN  
 P: (206)414.7226  
 E: scott@robhutcharch.com

**STRUCTURAL ENGINEER**  
 BYKONEN CARTER QUINN  
 2033 SIXTH AVE, SUITE 995  
 SEATTLE, WA 98121  
 CONTACT: NATOSHA NORLIN  
 P: (206)264.7784 x208  
 E: NLN@bcq-se.com

**GEOTECHNICAL ENGINEER**  
 PanGEO, INC.  
 3213 EASTLAKE AVE. E, SUITE B  
 SEATTLE, WA 98102  
 CONTACT: JOHNNY C. CHEN  
 P: 206.262.0370  
 E: JChen@pangeoinc.com

**CIVIL ENGINEER**  
 DAVIDO CONSULTING GROUP, INC.  
 9706 4TH AVE NE #300  
 SEATTLE, WA 98115  
 CONTACT: NICK ALEXANDER  
 P: (206)523.0024 x128  
 E: nick@dgcgenr.com

**LANDSCAPE ARCHITECT**  
 GLENN TAKAGI  
 18550 FIRLANDS WAY NORTH #102  
 SHORELINE, WA 98133  
 P: (206)542.6100  
 E: glenco1029@earthlink.net

**MECHANICAL**  
 DESIGN-BUILD

**ELECTRICAL**  
 DESIGN-BUILD

**PLUMBING**  
 DESIGN-BUILD



LITTLE LAKE LANDING LLC  
 117 E ALLISON ST  
 Seattle, WA 98102

**ARCHITECT**  
 ROBERT HUTCHISON  
 ARCHITECTURE LLC  
 4010 WHITMAN AVENUE N  
 SEATTLE WA 98103  
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 (206) 523.0024 x128

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 SHORELINE, WA 98133  
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**PERMIT DOCUMENTS**  
 04.14.2021 Pre-Application Site Plan  
 08.19.2021 Pre-Sub Conference: LU  
 02.08.2022 ECA Relief  
 04.05.2022 MUP Submission

TITLE SHEET

T0.0 117



ARCHITECT  
ROBERT HUTCHISON  
ARCHITECTURE LLC  
4010 WHITMAN AVENUE N  
SEATTLE WA 98103  
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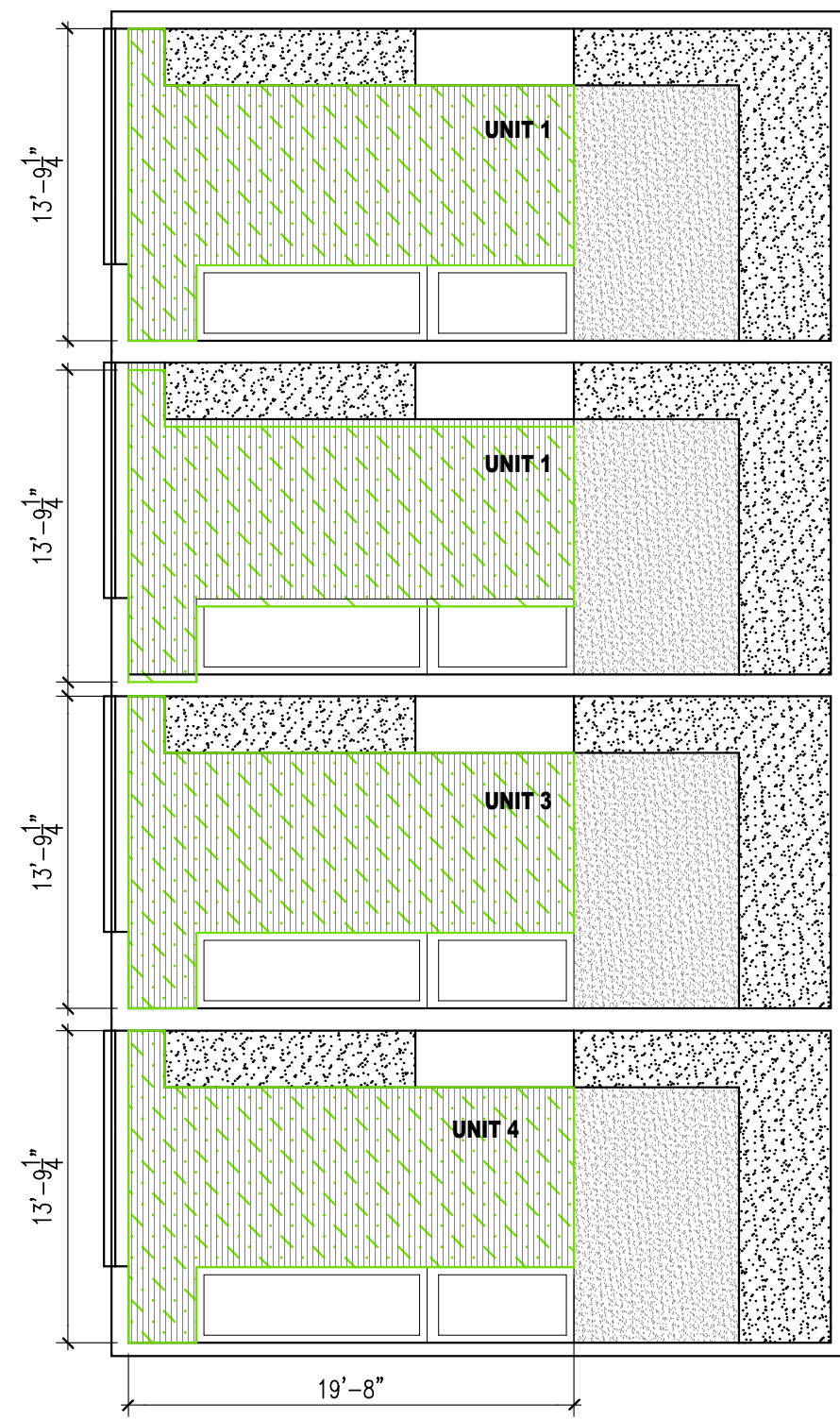
CIVIL ENGINEER  
DAVIDO CONSULTING GROUP  
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18550 FIRLANDS WAY NORTH  
SHORELINE, WA 98133  
(206) 542.6100



**PERMIT DOCUMENTS**

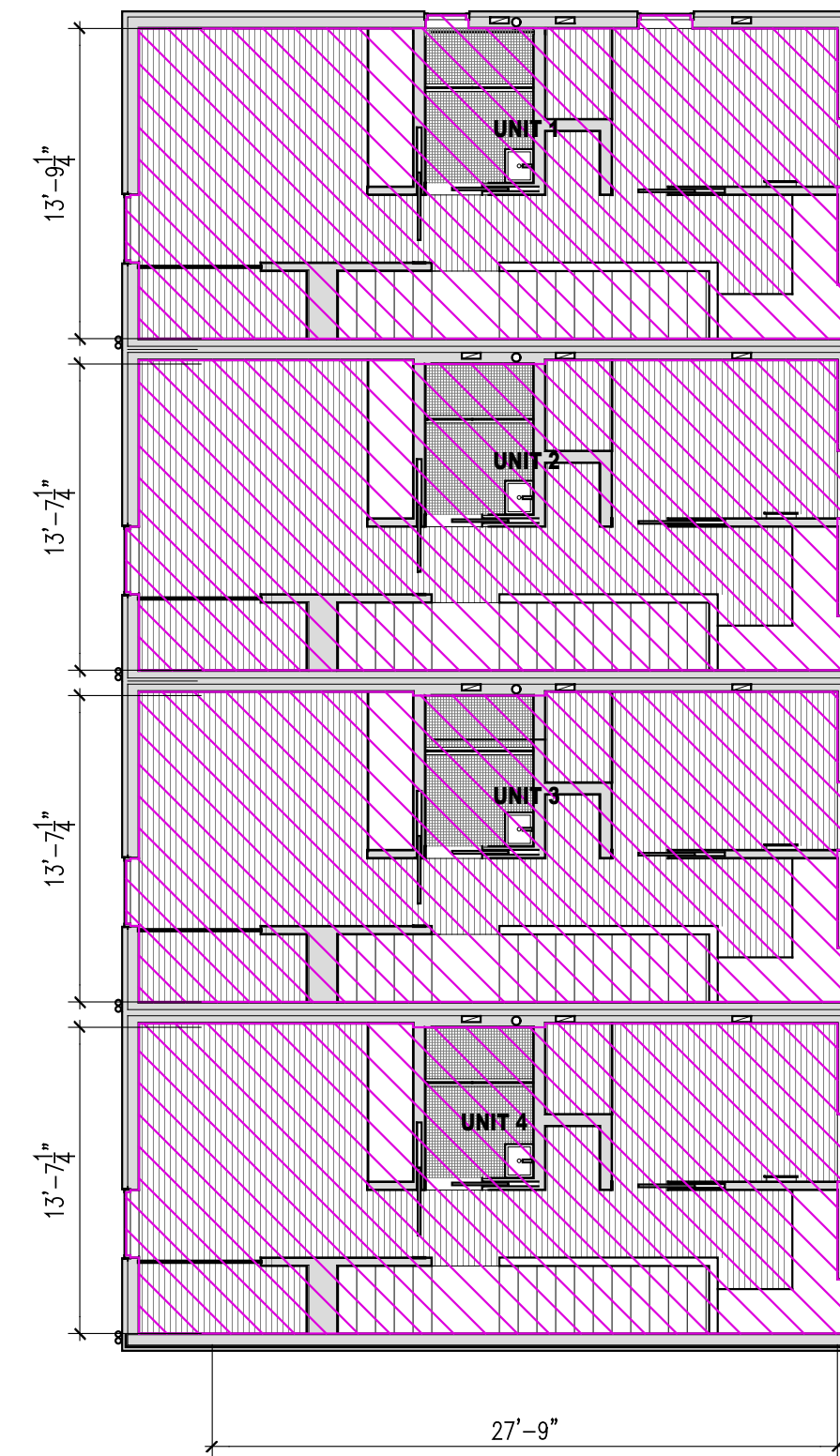
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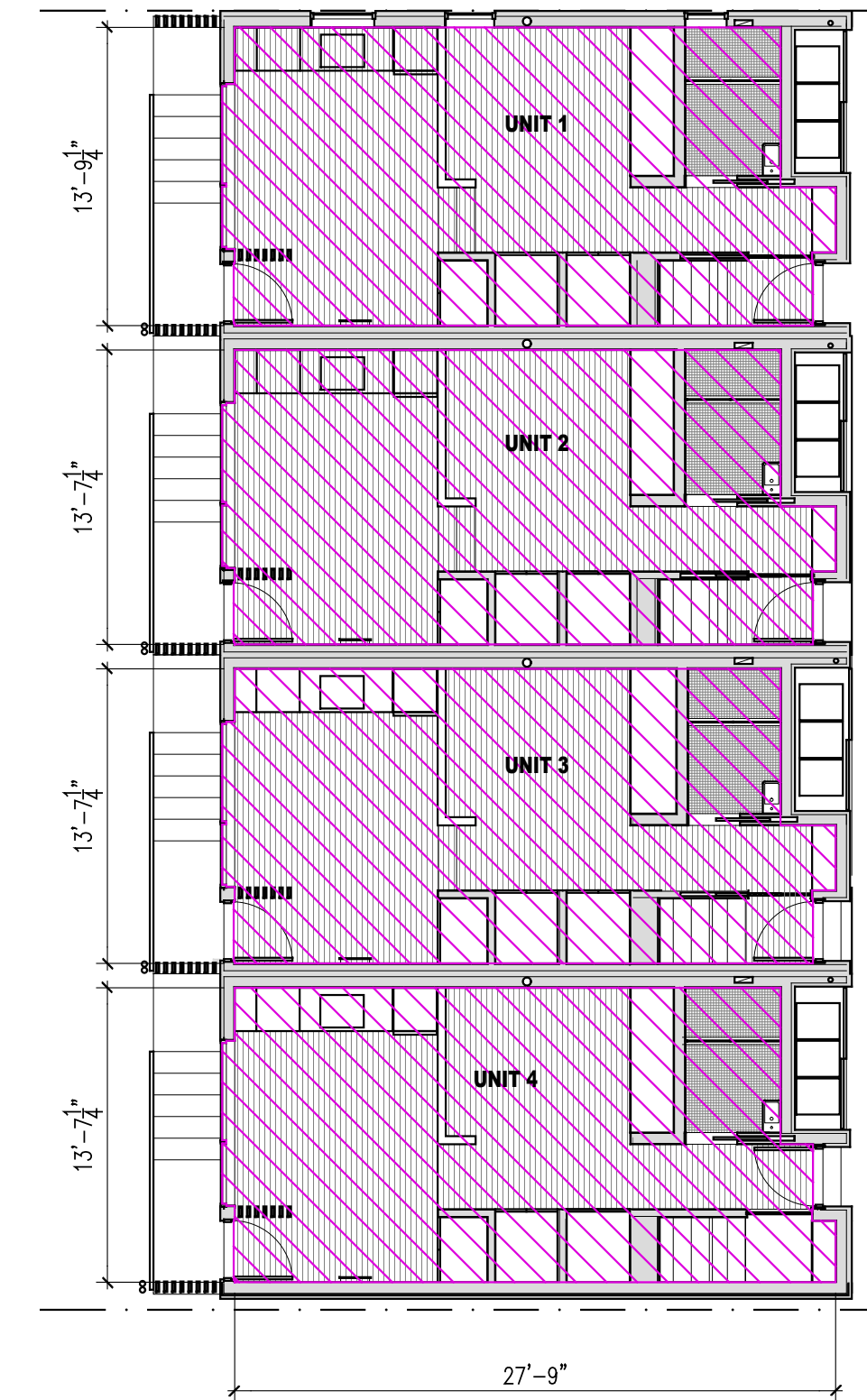
ROOF DECK



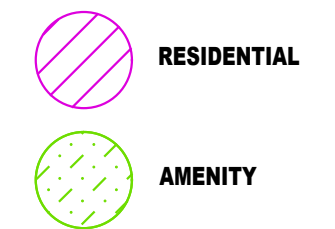
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



**GROSS FLOOR AREA DIAGRAMS**

SCALE: 1/4" = 1'-0"

**MHA-R, PAYMENT OPTION**

1 ZONE	NC2-55 (M)
2 MHA AREA DESIGNATION PER MAP A	MEDIUM
3 ASSOCIATED PUDA WITH MHA-R REQUIREMENTS	NO
TOTAL NUMBER OF RESIDENTIAL AND LIVE-WORK UNITS IN THE STRUCTURE	
4 UNITS IN THE STRUCTURE	(4) Units
5 GROSS FLOOR AREA - RESIDENTIAL USE	4,904 SF
6 GROSS FLOOR AREA - LIVE-WORK UNITS	0 SF
GROSS FLOOR AREA IN RESIDENTIAL OR LIVE-WORK	
7 USE EXCLUDED FROM MHA-R PAYMENT	0 SF
8 FLOOR AREA FOR MHA-R CALCULATION	4,904 SF
PAYMENT CALCULATION AMOUNT PER CODE	
9 (ADJUSTED FOR CHANGE IN CPI) OR PUDA	\$ 15.81
10 MHA-R PAYMENT PROVIDED	\$ 77,532.24

	RESIDENTIAL	AMENITY	AMENITY TO GFA RATIO
<b>UNIT 1</b>			
FIRST FLOOR	362		
SECOND FLOOR	429		
THIRD FLOOR	441		
ROOF DECK		188	
<b>UNIT TOTAL</b>	1,232	188	15.3%
<b>UNIT 2</b>			
FIRST FLOOR	360		
SECOND FLOOR	431		
THIRD FLOOR	433		
ROOF DECK		188	
<b>UNIT TOTAL</b>	1,224	188	15.4%
<b>UNIT 3</b>			
FIRST FLOOR	360		
SECOND FLOOR	431		
THIRD FLOOR	433		
ROOF DECK		188	
<b>UNIT TOTAL</b>	1,224	188	15.4%
<b>UNIT 4</b>			
FIRST FLOOR	360		
SECOND FLOOR	431		
THIRD FLOOR	433		
ROOF DECK		188	
<b>UNIT TOTAL</b>	1,224	188	15.4%
<b>TOTAL</b>	4,904	752	15.3%

ALL VALUES IN SQUARE FEET, UNLESS NOTED OTHERWISE

**MHA CALCULATIONS**

SCALE: N/A

**GROSS FLOOR AREA CALCULATIONS**

SCALE: N/A

**LEGAL DESCRIPTION**

(PER STATUARY WARRANTY DEED RECODING# 199511021004)

THAT PART OF THE UNDIVIDED PART BLOCK 35, DENNY-FUHRMAN ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 34, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF ALLISON STREET (FORMERLY FILLMORE STREET) AND THE SOUTHEASTERLY LINE OF FAIRVIEW AVENUE NORTH AS CONDEMNED BY ORDINANCE NUMBER 30503;

THENCE SOUTH 62°26'31" EAST ALONG THE SOUTHEASTERLY LINE OF SAID ALLISON STREET 75.05 FEET TO THE NORTHWESTERLY LINE OF ALLEY;

THENCE SOUTH 27°33'37.04" WEST 60 FEET

THENCE NORTH 62°26'31" WEST 75.04 FEET TO FAIRVIEW AVENUE;

THENCE NORTH 27°33'37.04" EAST 60 FEET TO THE SOUTHWESTERLY LINE OF SAID ALLISON STREET AND THE TRUE POINT OF BEGINNING;

EXCEPT THE SOUTHEASTERLY 40 FEET THEREOF;

(BEING KNOWN AS THE NORTHWESTERLY 35 FEET OF LOT 1, BLOCK 35, REPLAT OF BLOCKS 30 AND 31, LAKE UNION SHORE LANDS AND REPLAT OF UNDIVIDED PART OF BLOCKS 4, 19, 20, 35, 36, 44 AND 45, DENNY-FUHRMAN ADDITION, ACCORDING TO THE UNRECORDED PLAT THEREOF)

**HORIZONTAL DATUM - NAD 83 (2011) EPOCH 2010.00**

(PER QUIT CLAIM DEED RECODING# 199705090231)

THAT PART OF THE UNDIVIDED PART OF BLOCK 35, DENNY-FUHRMAN ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 34, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF ALLISON STREET (FORMERLY FILLMORE STREET) AND THE SOUTHEASTERLY LINE OF FAIRVIEW AVENUE NORTH AS CONDEMNED BY ORDINANCE NUMBER 30503;

THENCE SOUTH 62°26'31" EAST ALONG THE SOUTHEASTERLY LINE OF SAID ALLISON STREET 75.05 FEET TO THE NORTHWESTERLY LINE OF ALLEY AND THE TRUE POINT OF TRACT HEREIN DESCRIBED;

THENCE SOUTH 27°33'37.04" WEST 60 FEET;

THENCE NORTH 62°26'31" WEST 40 FEET;

THENCE NORTH 27°33'37.04" EAST 60 FEET TO THE SOUTHWESTERLY LINE OF SAID ALLISON STREET;

THENCE SOUTH 62°26'31" EAST ALONG THE SOUTHWESTERLY LINE OF SAID ALLISON STREET 40 FEET TO THE TRUE POINT OF BEGINNING;

(BEING KNOWN AS THE SOUTHEASTERLY 40 FEET OF LOT 1, BLOCK 35, REPLAT OF BLOCKS 30 AND 31, LAKE UNION SHORE LANDS AND REPLAT OF UNDIVIDED PART OF BLOCKS 4, 19, 20, 35, 36,44 AND 45, DENNY-FUHRMAN ADDITION, ACCORDING TO THE UNRECORDED PLAT THEREOF).

**REFERENCES**

- R1. RECORD OF SURVEY, BOOK 45 OF SURVEYS, PAGE 279, RECORDS OF KING COUNTY, WASHINGTON.
- R2. DENNY-FUHRMAN ADDITION, VOLUME 7 OF PLATS, PAGE 34, RECORDS OF KING COUNTY, WASHINGTON.
- R3. UNRECORDED REPLAT OF DENNY-FUHRMAN W. BLOCK 35

**SURVEYOR'S NOTES**

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JUNE OF 2020 & JULY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
3. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
4. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
5. SUBJECT PROPERTY TAX PARCEL NO.(S) 1967200005 & 1967200008
6. TOTAL SUBJECT PROPERTY AREA PER THIS SURVEY IS 4,502 ± S.F. (0.10± ACRES) FOR PARCEL# 1967200005, AREA=2,102 ± S.F. (0.05 ± ACRES) FOR PARCEL# 1967200008, AREA=2,400 ± S.F. (0.05 ± ACRES)
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

**MONUMENT #1**  
OWNER: CITY OF SEATTLE  
ID: N/A  
DESCRIPTION: CONC MON W/ BRASS PIN IN CASE  
LOCATION: 30'SE OF INTX E SHELBY ST & FAIRVIEW AVE E  
N: 239831.715  
E: 1272651.000

**MONUMENT #2**  
OWNER: CITY OF SEATTLE  
ID: N/A  
DESCRIPTION: CONC MON W/ BRASS PIN IN CASE  
LOCATION: 30'SE OF INTX E ALLISON ST & FAIRVIEW AVE E  
N: 240336.201  
E: 1272927.225

**MONUMENT #3**  
OWNER: CITY OF SEATTLE  
ID: N/A  
DESCRIPTION: CONC MON W/ BRASS PIN IN CASE  
LOCATION: INTX OF E ALLISON ST & EASTLAKE AVE E  
N: 240212.565  
E: 1273153.128

**VERTICAL DATUM - NAVD 88**

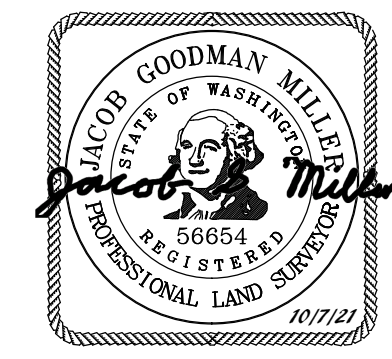
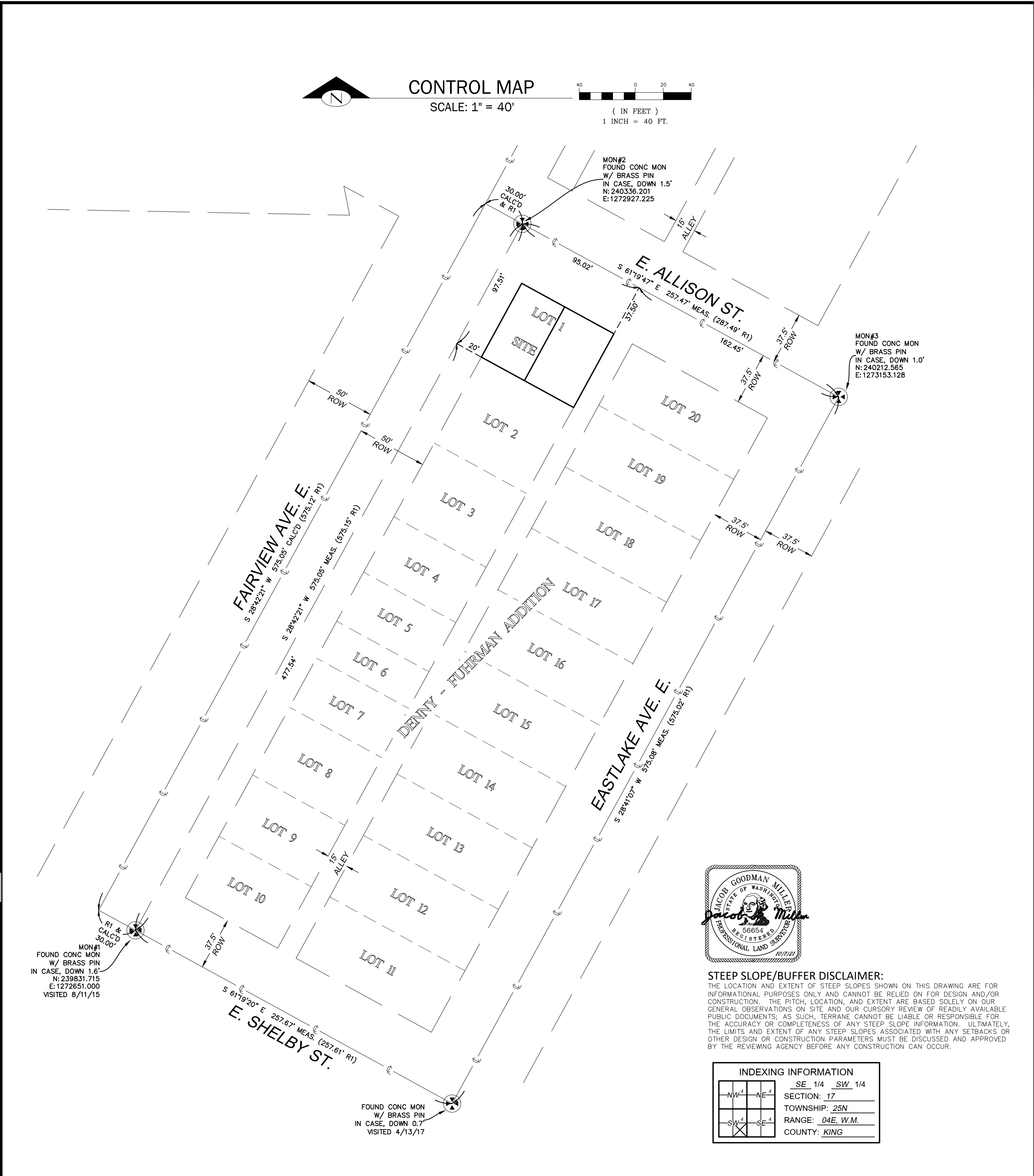
**VERTICAL BENCHMARK #1**  
SOURCE: CITY OF SEATTLE  
ID: SNV-5093  
DESCRIPTION: 2IN BRASS CAP  
LOCATION: SET 0.5FT S & 0.5FT E OF THE INT BK CW IN THE NW COR INT EASTLAKE AVE E AND E HAMLIN ST  
ELEVATION: 72.870

**VERTICAL BENCHMARK #2**  
SOURCE: TERRANE  
ID: N/A  
DESCRIPTION: SPIKE IN PP #1314883  
LOCATION: NE COR OF E ALLISON ST & FAIRVIEW AVE E  
ELEVATION: 33.33'

**LEGEND**

	BENCHMARK		POWER (OVERHEAD)
	ASPHALT SURFACE		POWER (UNDERGROUND)
	BRICK SURFACE		POWER POLE W/ LIGHT
	BOLLARD		PRIVATE INLET
	BUILDING		REBAR & CAP
	CENTERLINE ROW		ROOKERY
	CATCH BASIN (TYPE 1)		SEWER LINE
	CONCRETE SURFACE		SEWER MANHOLE
	RETAINING WALL		SIGN (AS NOTED)
	FENCE LINE (WOOD)		STORM MANHOLE
	FIRE DEPT CONNECTION		STORM DRAIN LINE
	FIRE HYDRANT		TELEPHONE (OVERHEAD)
	GAS LINE		TREE (AS NOTED)
	GAS METER		UTILITY LINE
	GAS VALVE		WATER GATE VALVE
	GRAVEL SURFACE		WATER LINE
	GUY ANCHOR		WATER METER
	INLET (TYPE 2)		WATER VALVE
	MAILBOX (RESIDENTIAL)		
	MONUMENT IN CASE (FOUND)		
	MONITORING WELL		
	POWER HAND HOLE		
	POWER METER		

**VICINITY MAP**  
N.T.S.



**STEEP SLOPE/BUFFER DISCLAIMER:**  
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

**INDEXING INFORMATION**

SW	SE	NE	NW

SECTION: 17  
TOWNSHIP: 25N  
RANGE: 04E, W.M.  
COUNTY: KING

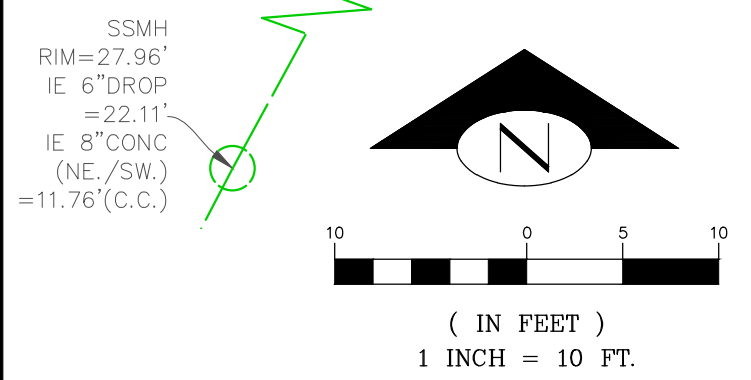
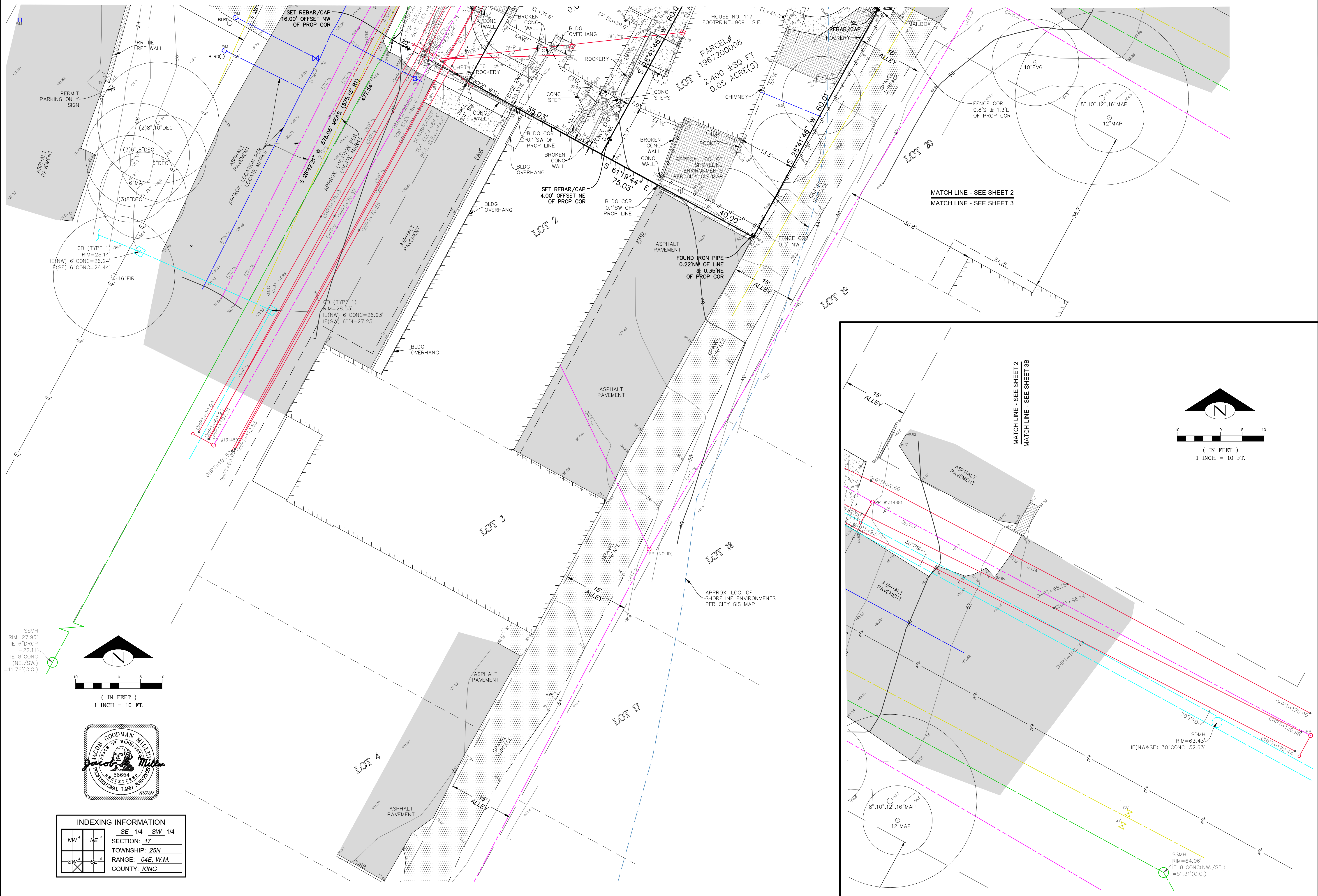
**Terrane**  
10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4488 support@terrane.net  
www.terrane.net

NO	REVISION	DATE
3	EDIT OVERHEAD POWER LINES	10/07/21
2	ADD OVERHEAD TELEPHONE LINES	09/29/21
1	ADD SHORELINE ENVIRONMENT'S PER GIS MAP	09/16/21

TOPOGRAPHIC & BOUNDARY SURVEY  
**HAJJANI**  
101 & 117 E ALLISON ST  
WA 98102  
SEATTLE

JOB NO.: 200578  
DATE: 08/11/21  
DRAFTED BY: TGC  
CHECKED BY: JGM  
SCALE: 1" = 40'  
1 OF 3





INDEXING INFORMATION	
SE 1/4 SW 1/4	
SECTION: 17	
TOWNSHIP: 25N	
RANGE: 04E, W.M.	
COUNTY: KING	

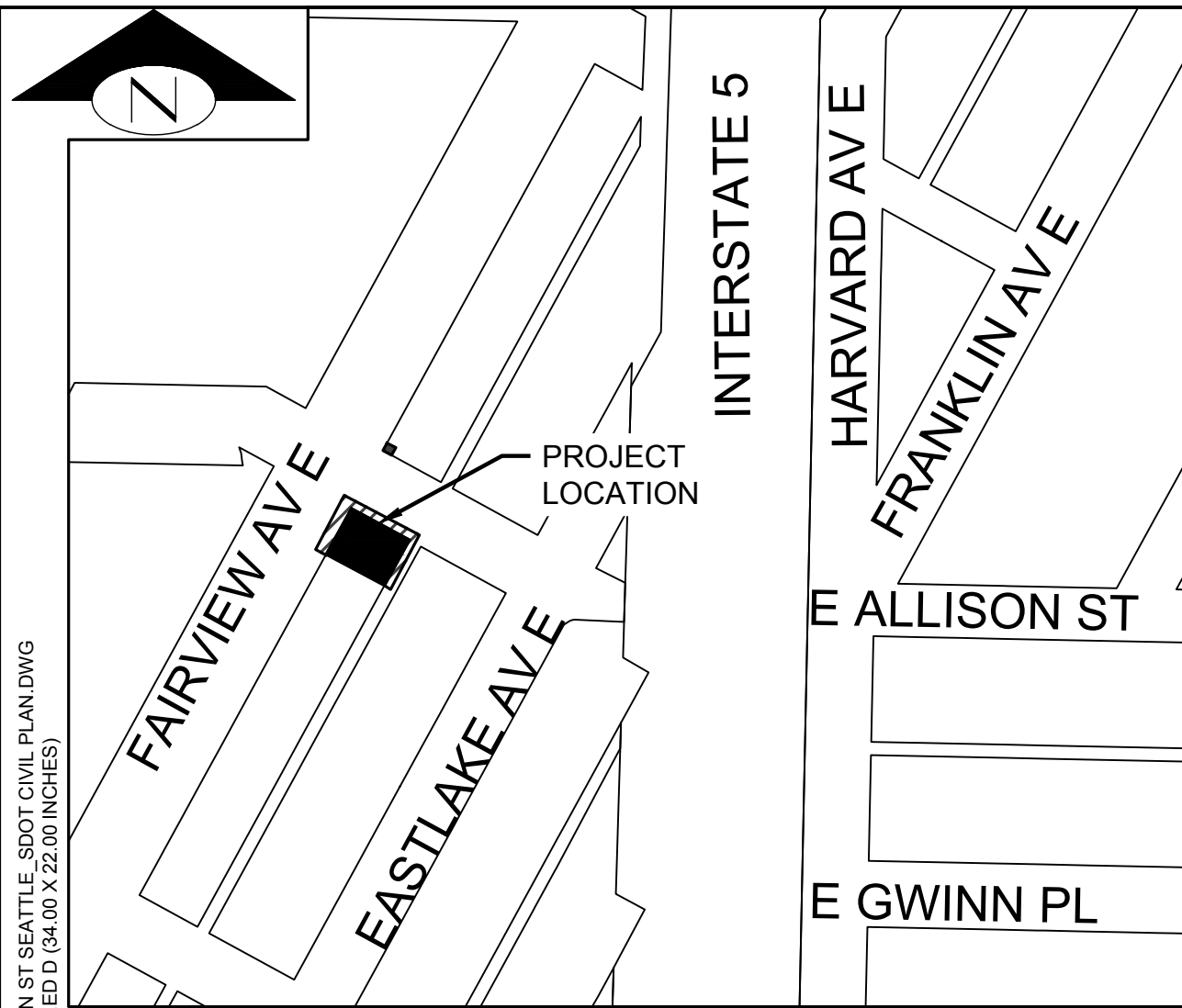
NO	REVISION	DATE
3	EDIT OVERHEAD POWER LINES	10/07/21
2	ADDED OVERHEAD TELEPHONE LINES	09/29/21
1	ADD SHORELINE ENVIRONMENTS PER GIS MAP	09/16/21

TOPOGRAPHIC & BOUNDARY SURVEY  
**HAJJANI**  
 101 & 117 E ALLISON ST  
 SEATTLE WA 98102

JOB NO.: **200578**  
 DATE: 08/11/21  
 DRAFTED BY: TGC  
 CHECKED BY: JGM  
 SCALE: 1" = 10'  
**3 OF 3**

# 60% COMPLETE STREET IMPROVEMENT PLAN

NOT FOR CONSTRUCTION



VICINITY MAP  
SCALE: 1" = 200'

SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	FRONTAGE PLAN
3	GRADING PLAN & PROFILE FAIRVIEW AVE N
4	GRADING PLAN & PROFILE E. ALLISON ST
5	GRADING PLAN & PROFILE ALLEY
6	DETAILS
7	SURVEY CONTROL PLAN
8	LANDSCAPE
9	LANDSCAPE

## DRAINAGE CB & INLET NOTES:

UNLESS OTHERWISE NOTED:

- CATCH BASIN CONNECTIONS AND INLET CONNECTIONS SHALL BE 8" DIAMETER. PIPE SHALL BE CEMENT MORTAR LINED DUCTILE IRON CLASS 50 (MIN) PER SPECIFICATION 9-05.2. FITTINGS SHALL BE CEMENT MORTAR LINED DUCTILE IRON. JOINTS SHALL BE RUBBER GASKET, PUSH-ON OR MECHANICAL.
- BEDDING SHALL BE CLASS D WITH SELECT NATIVE MATERIAL.
- CATCH BASIN CONNECTIONS SHALL BE PLACED AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 100% PER STANDARD PLAN NO. 261 AND SPECIFICATION 7-08.3(4).
- INLET CONNECTIONS SHALL BE PLACED AT A MINIMUM SLOPE OF 5% AND A MAXIMUM SLOPE OF 50% PER SPECIFICATION 7-08.3(5).
- CATCH BASINS AND INLETS SHALL BE LOCATED PER STANDARD PLAN NO. 260A AND 260B.
- TELEVISION INSPECTION OF CATCH BASIN CONNECTIONS SHALL BE PER SPECIFICATION 7-17.3(4).
- CONTRACTORS ARE NOT ALLOWED TO CORE INTO MAINS OR STRUCTURES WITHOUT PRIOR APPROVAL FROM SPU. TO SCHEDULE CORE TAPS, CONTACT SPU AT 206-615-0511 A MINIMUM OF 48 HOURS IN ADVANCE. SPU SHALL BE ON SITE PRIOR TO THE START OF CONTRACTOR PERFORMED CORE TAP. CONTRACTORS PERFORMING CORE TAPS SHALL PROVIDE THE COUPON OF REMOVED MATERIAL TO SPU.
- PROVIDE A WATERMAIN SUPPORT PLAN TO SPU PRIOR TO THE REMOVAL AND INSTALLATION OF THE NEW CATCH BASIN ADJACENT TO THE EX. WATERMAIN. CONTACT STEVE FRIEND FROM SPU AT 206-423-2610 48 HOURS PRIOR TO DEMO.

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.

CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

## CONTACTS:

**APPLICANT:**  
ROBERT HUTCHISON  
ARCHITECTURE  
4010 WHITMAN AVE NE  
SEATTLE, WA 98105  
ATTN. ROBERT HUTCHISON

**ENGINEER:**  
DAVIDO CONSULTING GROUP, INC.  
9706 4TH AVE NE, SUITE 300  
SEATTLE, WA 98115  
PHONE (206) 523-0024  
ATTN. TIM GABELEIN, P.E.

**SURVEYOR:**  
TERRANCE  
10801 MAIN STREET, SUITE 102  
BELLEVUE, WA 98004  
PHONE (425) 458-4488  
ATTN. JACOB MILLER, PLS

## ABBREVIATIONS:

AIC	AERIAL INTERCONNECT CABLE
BOC	BEGINNING OF CURB
BOW	BACK OF SIDEWALK
BM	BENCHMARK
CB	CATCH BASIN
CL	CENTER LINE
CONC	CONCRETE
COS	CITY OF SEATTLE
CW	CONCRETE WALK
DCI	DEPARTMENT OF CONSTRUCTION & INSPECTION
EG	EXISTING GRADE
EL/ELEV	ELEVATION
EOC	END OF CURB
EOP	EDGE OF PAVEMENT
ESC	EROSION & SEDIMENTATION CONTROL
EX	EXISTING
FF	FINISHED FLOOR, FILTER FENCE
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
FL	FLOWLINE
IE	INVERT ELEVATION
LSCAPE	LANDSCAPING
LT	LEFT
MIC	MONUMENT IN CASE/CONCRETE NUMBER
NO	NUMBER
PC	POINT OF CURVE
PT	POINT OF TANGENT
RT	RIGHT
SD	STORM DRAIN
SDFM	STORM DRAIN FORCE MAIN
SDOT	SEATTLE DEPARTMENT OF TRANSPORTATION
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSFM	SANITARY SEWER FORCE MAIN
SSMH	SANITARY SEWER MANHOLE
SSS	SANITARY SIDE SEWER
STA	STATION
STD	STANDARD
TOC	TOP OF CURB
TOEW	TOE OF WALL
TOP	TOP OF PAVEMENT
TOPW	TOP OF WALL
TYP	TYPICAL
UIC	UNDERGROUND INTERCONNECT CABLE
W	WATER
W/	WITH
WM	WATER METER

## GENERAL PSE NOTES:

- CONTACT MAPREQUEST@PSE.COM FOR UPDATED GAS MAPS OF AREA.
- MAINTAIN A MINIMUM 1' VERTICAL SEPARATION WHEN CROSSING GAS MAINS OR SERVICES.
- MAINTAIN A MINIMUM 3' HORIZONTAL SEPARATION WHEN RUNNING PARALLEL TO GAS MAINS OR SERVICES.
- IF HP IS ENCOUNTERED, PLEASE CONTACT PSE PI INSPECTOR BEFORE WORKING NEAR HP GAS MAINS: GLENN HUDEN, 206-396-4159, GLENN.HUDEN@PSE.COM
- COORDINATE WITH PSE CUSTOMER CONSTRUCTION SERVICES AT 1-888-321-7779 AND A PSE PROJECT MANAGER FOR RELOCATION OF GAS MAINS AND SERVICES AS NEEDED.
- LOCATE AND PROTECT ALL GAS FACILITIES IN THE FIELD.

## GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE 2020 EDITION OF CITY OF SEATTLE STANDARD SPECIFICATIONS, THE 2020 EDITION OF THE CITY OF SEATTLE STANDARD PLANS; AND SEATTLE DEPARTMENT OF TRANSPORTATION DIRECTOR'S RULE 01-2017 RIGHT-OF-WAY OPENING AND RESTORATION RULES. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION. A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ERRORS AND OMISSIONS ON THE PERMITTED PLANS MUST BE CORRECTED BY THE ENGINEER AND APPROVED BY THE CITY OF SEATTLE.
- ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF CONSTRUCTION WITHIN THE RIGHT OF WAY, THE PERMITTEE SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION.
- PERMITTEE SHALL CONTACT SEATTLE DEPARTMENT OF TRANSPORTATION, STREET USE INSPECTOR A MINIMUM OF 2 BUSINESS DAYS PRIOR TO NEEDING AN INSPECTION. ALL DAMAGE TO CITY INFRASTRUCTURE CAUSED BY THE CONSTRUCTION SHALL BE IMMEDIATELY REPORTED AND REPAIRED AS REQUIRED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION. TO REPORT DAMAGE TO SPU INFRASTRUCTURE, INCLUDING ANY SEWAGE RELEASE OR BLOCKAGE, CALL 206-386-1800.
- THE APPROVED PLANS SHALL SHOW THE APPROXIMATE AREA OF PAVEMENT RESTORATION BASED ON THE DEPTH OF UTILITY CUTS AND/OR THE AREA OF CURB AND/OR PAVEMENT TO BE REMOVED AND REPLACED. THE ACTUAL LIMITS OF THE PAVEMENT RESTORATION SHALL BE PER THE DIRECTOR'S RULE 01-2017, RIGHT-OF-WAY OPENING AND RESTORATION RULE AND WILL BE DETERMINED IN THE FIELD BY THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR PRIOR TO THE PAVEMENT RESTORATION. FOR SPU WATER SERVICES, APPLICANT MUST SHOW THE PAVEMENT RESTORATION LIMITS FOR THE PROPOSED AND THE EXISTING WATER SERVICES TO BE RETIRED, INCLUDING SERVICES THAT ARE OUTSIDE THE PROJECT AREA, BUT SERVE THE PARCEL.
- DATUM: NAVD 88 AND NAD 83(2011) EPOCH 2010
- SURVEYING AND STAKING OF ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED PRIOR TO CONSTRUCTION. PERMITTEE TO STAKE THE CURB AT THE CENTERLINE OF DRAINAGE GRATES PER STANDARD PLAN 260A. SURVEY GRADE SHEETS MUST BE SUBMITTED AND APPROVED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.
- IF AN EXISTING CURB IS TO BE REMOVED AND REPLACED IN THE SAME LOCATION THE PERMITTEE SHALL PROVIDE THE STREET USE INSPECTOR A PLAN WITH EXISTING FLOW LINE AND TOP OF CURB ELEVATIONS IDENTIFIED. PERMITTEE TO STAKE THE LOCATION OF THE EXISTING CURB PRIOR TO DEMOLITION.
- THE PERMITTEE MUST BE RESPONSIBLE FOR REFERENCING AND REPLACING ALL SURVEY MONUMENTS THAT MAY BE DISTURBED, DESTROYED, OR REMOVED BY THE PROJECT AND 2 WORKING DAYS PRIOR TO THE WORK, MUST FILE AN APPLICATION FOR PERMIT TO REMOVE OR DESTROY A SURVEY MONUMENT WITH THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, PURSUANT TO WAC 332-120. THE PERMITTEE MUST PROVIDE THE ENGINEER AND SPU LAND SURVEYOR WITH A COPY OF THE APPROVED PERMIT AND COMPLETION REPORT. SEE STANDARD SPECIFICATION 1-07.28 ITEM 17.
- THE PERMITTEE SHALL SUBMIT ALL APPLICABLE DOCUMENTS REQUIRED UNDER SECTION 1-05.3 OF THE STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION. A MATERIAL SOURCE FORM FOR ALL MATERIALS TO BE PLACED IN THE RIGHT OF WAY AND MIX DESIGNS FOR ALL ASPHALT, CONCRETE AND AGGREGATES TO BE PLACED IN THE RIGHT OF WAY MUST BE SUBMITTED TO THE SEATTLE DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL PRIOR TO BEGINNING CONSTRUCTION. A REVISED MATERIAL SOURCE FORM AND MIX DESIGNS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY SUBSTITUTE MATERIALS.
- THE PERMITTEE SHALL NOTIFY THE SEATTLE FIRE DEPARTMENT DISPATCHER (206-386-1495) AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE PERMITTEE SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, RELOCATED, OR ELIMINATED

HYDRANTS RESULTING FROM THIS WORK.

- THE PERMITTEE SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION.
- THE PERMITTEE SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (811) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE PERMITTEE TO VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE PERMITTEE SHALL ADJUST ALL EXISTING MAINTENANCE HOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
- THE PERMITTEE SHALL FOLLOW SPU CORE TAP PROCEDURES FOR ALL NEW CONNECTIONS TO EXISTING SEWER OR DRAINAGE MAINS OR STRUCTURES. CONTRACTORS ARE NOT ALLOWED TO CORE INTO MAINS OR STRUCTURES WITHOUT PRIOR APPROVAL FROM SPU-DWW. TO SCHEDULE CORE CUT CONTACT SPU-DWW AT 206-615-0511 A MINIMUM OF 2 BUSINESS DAYS IN ADVANCE.
- ALL UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN REQUIRE SEPARATE PERMITS.
- THE PERMITTEE SHALL PROVIDE FOR ALL TESTING AS REQUIRED BY THE STREET USE INSPECTOR.
- INSPECTION AND ACCEPTANCE OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY REPRESENTATIVES OF THE CITY OF SEATTLE. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS ALLOWING FOR PROPER ADVANCE NOTICE. THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR MAY REQUIRE REMOVAL AND RECONSTRUCTION OF ANY ITEMS PLACED IN THE RIGHT OF WAY THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT APPROPRIATE INSPECTIONS.
- THE PERMITTEE SHALL PROVIDE A PLAN FOR STORMWATER AND EROSION CONTROL AND INSTALL, MAINTAIN AND REMOVE TEMPORARY FACILITIES PER SECTION 8-01. AS CONSTRUCTION PROGRESSES AND CONDITIONS DICTATE, ADDITIONAL CONTROL FACILITIES MAY BE REQUIRED. DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THE PERMITTEE'S ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
- ALL DISTURBED SOILS MUST BE AMENDED PER STANDARD PLAN 142 AND SECTION 8-02 OF THE STANDARD SPECIFICATIONS UNLESS WITHIN ONE FOOT OF A CURB OR SIDEWALK, THREE FEET OF A UTILITY STRUCTURE (E.G. WATER METER, UTILITY POLE, HAND HOLE, ETC.), OR THE DRIPLINE OF AN EXISTING TREE.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE TRAFFIC CONTROL MANUAL FOR IN-STREET WORK. AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ALL ARTERIAL STREETS, HIGH IMPACT AREAS AND CONSTRUCTION HUBS PRIOR TO BEGINNING CONSTRUCTION.
- PERMITTEE SHALL NOTIFY KING COUNTY METRO AT 206-477-1140 FOURTEEN DAYS IN ADVANCE OF ANY IMPACT TO TRANSIT OPERATIONS. CALL 206-477-1150 FOR ANY COORDINATION RELATED TO KING COUNTY METRO TROLLEY (INCLUDING SLU AND FIRST HILL STREET CAR). CONTACT KING COUNTY METRO TWO MONTHS PRIOR FOR ANY TROLLEY DE-ENERGIZING REQUESTS.
- COORDINATE PARKING/LOADING SIGN(S) AND PAY STATION REMOVAL / RELOCATION AND INSTALLATION WITH SEATTLE DEPARTMENT OF TRANSPORTATION CURB SPACE MANAGEMENT AT 206-684-5370 WITH AT LEAST 10 BUSINESS DAYS' NOTICE. SIGNPOSTS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD PLANS 616, 620, 621A, 621B, 625, & 626.
- ALL STREET NAME SIGNS MUST BE INSTALLED BY SEATTLE DEPARTMENT OF TRANSPORTATION AT THE PERMITTEE'S EXPENSE.
- ALL WORK PERFORMED BY SEATTLE CITY LIGHT, SEATTLE PUBLIC UTILITIES, AND OTHER UTILITIES TO INSTALL, REPAIR, REMOVE OR RELOCATE UTILITIES SHALL BE DONE AT THE PERMITTEE'S EXPENSE.
- PERMITTEE MUST CONTACT THE SEATTLE DEPARTMENT OF PARKS AND RECREATION TO APPLY FOR A SEPARATE PERMIT IF WORKING WITHIN A DESIGNATED PARK BOULEVARD.
- CARE SHALL BE EXERCISED WHEN EXCAVATING OR REMOVING PAVEMENT NEAR EXISTING CHARGED WATER MAINS. CAST IRON WATER MAINS ARE KNOWN TO BE SENSITIVE TO EXCESSIVE VIBRATION. COORDINATE PROTECTION METHODS WITH SPU.

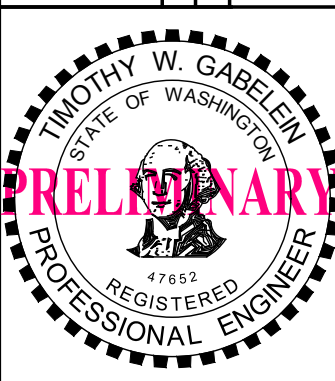
## SCL NOTE:

- EXCAVATING NEAR SEATTLE CITY LIGHT FACILITIES: ALL EXCAVATIONS ADJACENT TO SEATTLE CITY LIGHT POLES OR OTHER FACILITIES (VAULTS, HANDHOLES, ETC.) SHALL COMPLY WITH WAC 296-155, PART N, EXCAVATION, TRENCHING AND SHORING. POLE PROTECTION/SUPPORTING SYSTEMS USED WHILE EXCAVATING SHALL COMPLY WITH WAC 296-155-655. GENERAL PROTECTION REQUIREMENTS, ITEM (9) AND SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OF POLES WHILE THE SYSTEMS ARE IN PLACE OR AFTER THE SYSTEMS HAVE BEEN REMOVED.
- HIGH-VOLTAGE WORKING CLEARANCE: STATE LAW REQUIRES ALL CONSTRUCTION WORKERS, THEIR TOOLS, MACHINERY, TEMPORARY STRUCTURES, EQUIPMENT AND MATERIALS TO MAINTAIN A MINIMUM 10 FEET CLEARANCE FROM MANY TYPES OF POWER LINES (WAC 296 24 960). SEATTLE CITY LIGHT TRANSMISSION LINES REQUIRE EVEN GREATER CLEARANCE. IF THIS PROJECT REQUIRES WORK IN PROXIMITY TO ANY ENERGIZED LINES, WE MAY DE ENERGIZE AND GROUND THE LINES, OR RELOCATE THE LINES TEMPORARILY. THIS WORK WILL BE DONE AT THE CUSTOMER'S EXPENSE. THE COST MUST BE PAID IN ADVANCE OF ANY WORK. PERMANENT STRUCTURE CLEARANCES FROM HIGH-VOLTAGE LINES: SEE SCL D2-3 FOR ACCEPTABLE CLEARANCES. CHANGES TO SEATTLE CITY LIGHT'S SYSTEM TO MEET APPROPRIATE CLEARANCES WILL BE PERFORMED AT THE CUSTOMER'S EXPENSE. THE COST MUST BE PAID IN ADVANCE OF ANY WORK.
- SCL SERVICE POLE IS ON THE NW 65TH ST
- POLE MAY NEED TO TEST FOR TRANSFORMER UPGRADE
- CUSTOMER REQUIREMENTS FOR SECONDARY UNDERGROUND SERVICE, LOOPED RADIAL SYSTEM PER 0224.01

## STREET LIGHTING GENERAL NOTES:

- EXISTING STREET LIGHTING SYSTEM SHALL BE MAINTAINED DURING CONSTRUCTION.
- WORK MUST BE SCHEDULED SUCH THAT NO TWO (2) ADJACENT OR OPPOSITE STREETLIGHTS ARE DISABLED AT ANY ONE TIME.
- ANY EXCAVATION IN PROXIMITY TO AN EXISTING STREETLIGHT POLE MUST BE DONE WITHOUT UNDERMINING ITS STABILITY. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY STABILIZING SUPPORT.
- MAINTAIN MINIMUM HORIZONTAL & VERTICAL CLEARANCES BETWEEN SCL UNDERGROUND STRUCTURES AND VARIOUS OTHER UTILITY STRUCTURES PER SCL CONSTRUCTION STANDARD 0214.00.

DATE	MARK	NATURE	REVISIONS	MADE	CHKD	REVD

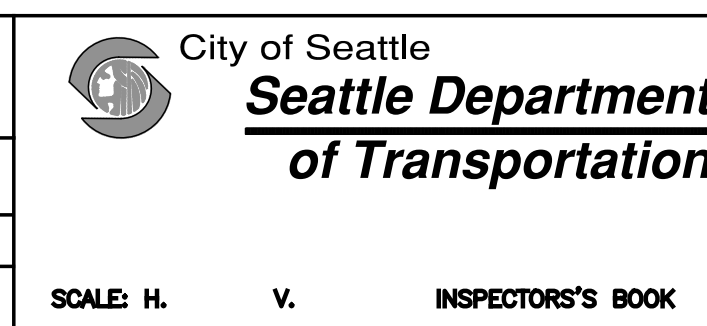


DAVIDO CONSULTING GROUP, INC.

9706 4TH AVE NE, SUITE 300  
SEATTLE, WA 98115  
206.523.0024

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REVIEWED BY SPU/DRAINAGE	20.....
APPROVED BY SDOT STREET IMPROVEMENT PERMITTING	20.....

NAME OR INITIALS AND DATE DESIGNED .....	INITIALS AND DATE REVIEWED: .....
CHECKED .....	PROJECT MANAGER .....
DRAWN .....	REVISED AS-BUILT .....
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DESIGN REVIEW .....	.....



101 E ALLISON ST

SDCI PROJECT # 6846481-CN & 6846932-CN

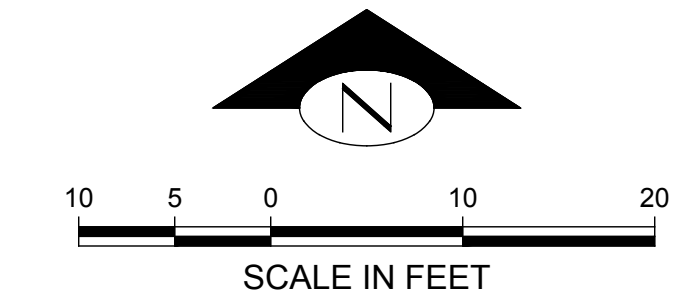
101 E. ALLISON ST  
CURB, CW, LANDSCAPE, PAVING, ETC.  
COVER SHEET

SDOT PROJECT NO. SUSIP0000308
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 1 OF 9

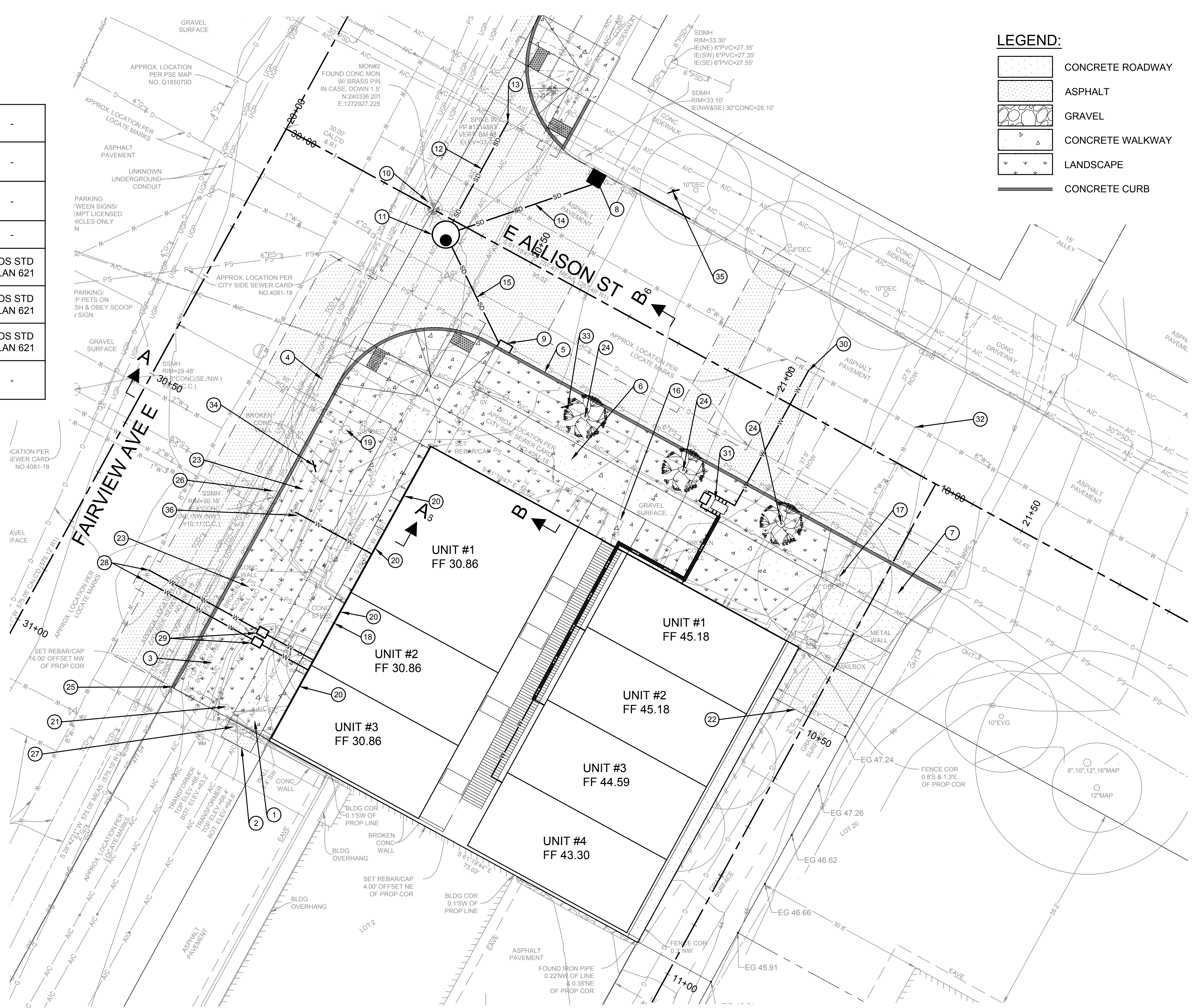
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 AUTOCAD VERSION: CIVIL 3D 2018

**KEY NOTES:**

KEY	NOTE:	DETAIL/SHEET
1	LANDSCAPING (TYP)	COS STD PLAN 142
2	HMA TRANSITION TO EX GRADE AT 1:12 MAX	-
3	TRANSITION CW AROUND EX SCL POWER POLE	-
4	SAWCUT 3' FROM FACE OF DESIGN CURB	-
5	6" CONC CURB	COS STD PLAN 410B
6	6' CONCRETE WALK (TYP)	COS STD PLAN 420
7	NEW CONC DRIVEWAY	COS STD PLAN 430A
8	COS TYPE 250A INLET RIM 32.99 8" IE (NW) 30.53	COS STD PLAN 252
9	COS TYPE 250A INLET RIM 32.81 8" IE (SW) 31.06	COS STD PLAN 250A
10	PROTECT EX MONUMENT, SEE GENERAL NOTE 12 ON SHEET 1 FOR ADDITIONAL REQUIREMENTS	-
11	CATCH BASIN TYPE 204A RIM 31.77 8" IE (SE) 27.77 8" IE (NE) 29.00 12" IE (N) 29.67	COS STD PLAN 204A
12	21 LF 8" SD @ 1.61%	-
13	CONNECT TO EX 30" SD 30" IE (SE, NW) 25.08± 8" IE (SW) 27.33	-
14	24 LF 8" DIP @ 6.38%	-
15	20 LF 8" DIP @ 16.45%	-
16	REUSE EX SSS FOR 117 E ALLISON ST	-
17	RELOCATE EX WM FOR REUSE	-
18	REUSE EX SSS FOR 101 E ALLISON ST	-
19	PROTECT EX HYDRANT INSTALL CONC SHEAR COLLAR	COS STD PLAN 310A
20	PRIMARY ENTRANCE	-
21	PROTECT EX SCL POWER POLE THROUGHOUT CONSTRUCTION	-
22	10' HMA TRANSITION TO EX ALLEY GRADE	-
23	FAIRVIEW AVE E - STREET TREES, SIZE AND TYPE TBD BY SDOT UF STA 30+55.12, 33.50' LT STA 30+75.12, 33.50' LT	COS STD PLAN 100A
24	E ALLISON ST - STREET TREES, SIZE AND TYPE TBD BY SDOT UF STA 20+71.62, 19.50' RT STA 20+91.62, 19.50' RT STA 21+11.62, 19.50' RT	COS STD PLAN 100A
25	TAPER CURB FROM 6" CURB TO FLUSH WITH EG OVER 2'	-
26	WARP CURB AROUND EX PS MH LID	-
27	PROPOSED ROW GRADES CREATE FLUSH CONDITION WITH ADJACENT PAVEMENT TO THE SOUTHWEST, REMOVE ROCKERY IN ROW	-
28	(2) NEW 1" WATER SERVICE CONNECTIONS BY SPU (UNDER SEPARATE PERMIT)	-



29	(2) NEW 1" METERS TO SERVE UNITS 2 AND 3 OF 101 E ALLISON ST	-
30	NEW 2" WATER SERVICE CONNECTION BY SPU (UNDER SEPARATE PERMIT)	-
31	NEW METER MANIFOLD (4) 1" METERS TO SERVE UNITS 1 - 4 OF 117 E ALLISON ST	-
32	SPU TO RETIRE EX SERVICE AT MAIN (UNDER SEPARATE PERMIT)	-
33	STA 20+68.00, 19.5' RT INSTALL R7-NPR FACING N ON TS-5	COS STD PLAN 621
34	STA 30+50.50, 33.5' LT INSTALL R7-NPL FACING SW ON TS-5	COS STD PLAN 621
35	STA 20+66.09, 23.5' ST INSTALL R7-NPL FACING SE ON TS-5	COS STD PLAN 621
36	EX WM TO BE RELOC AND REUSED FOR DOMESTIC SERVICE FOR 101 E ALLISON ST, UNIT 1	-



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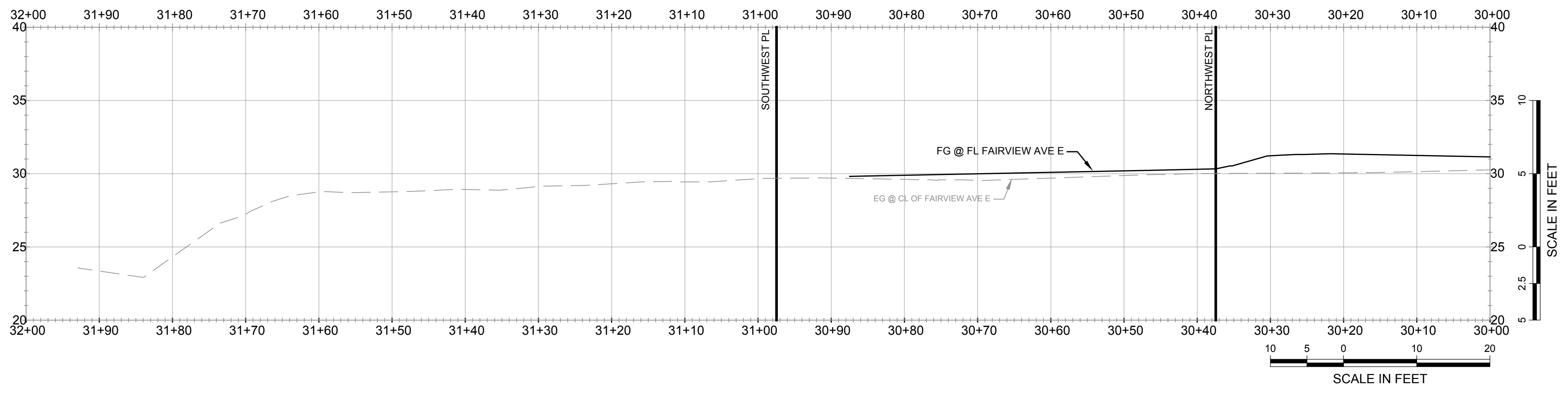
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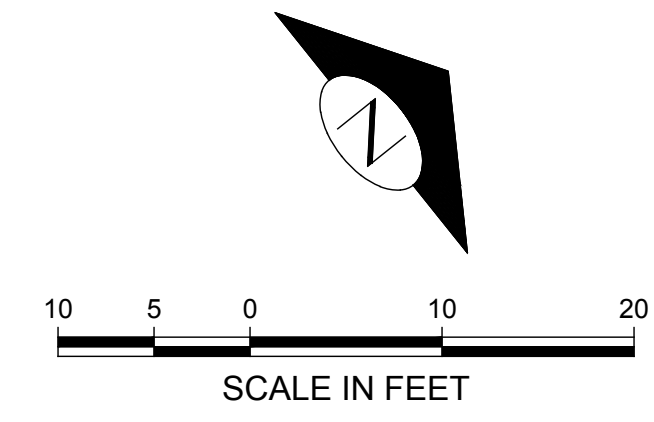
City of Seattle  
**Seattle Department of Transportation**  
 SCALE: H. 1"=10' V. INSPECTOR'S BOOK

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN  
**101 E. ALLISON ST**  
 CURB, CW, LANDSCAPE, PAVING, ETC.  
**FRONTAGE PLAN**  
 SDOT PROJECT NO. SUSIP0000308  
 VAULT PLAN NO.  
 VAULT SERIAL NO.  
 SHEET 2 OF 9

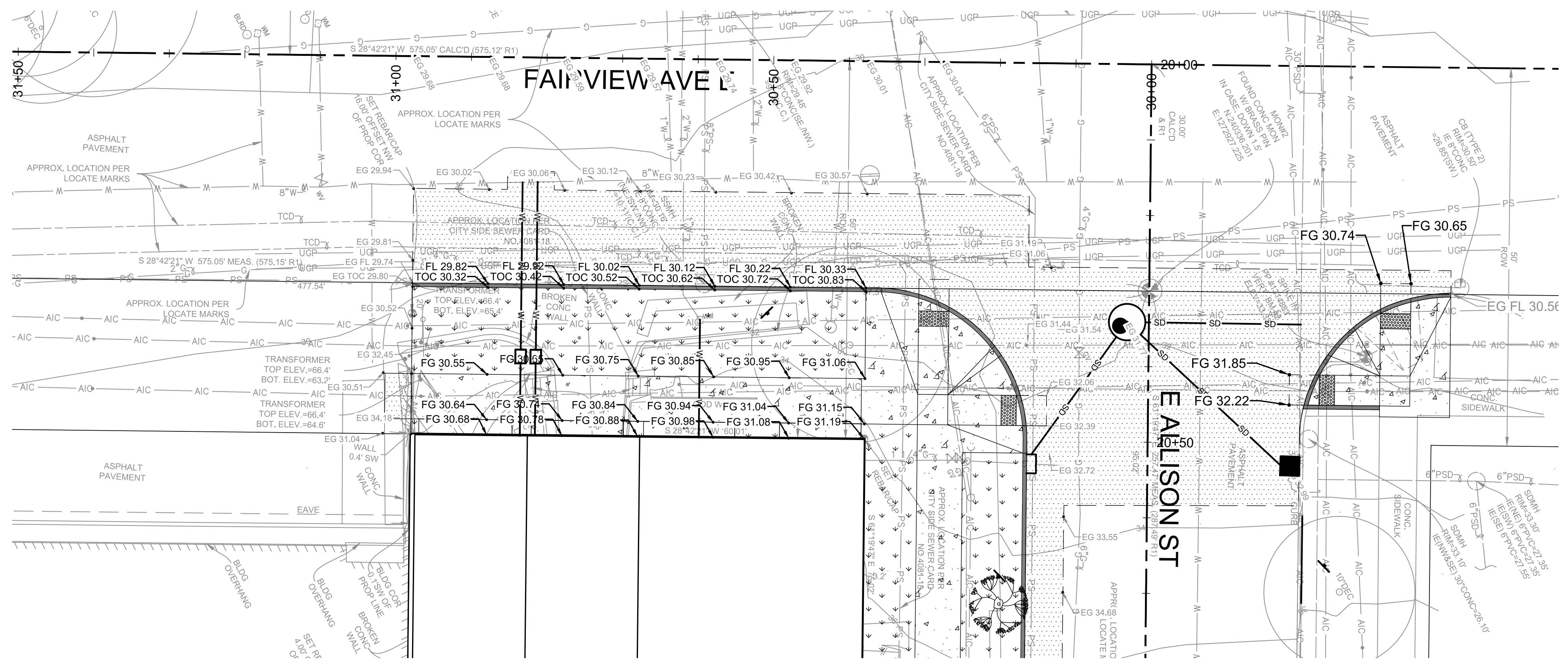
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**FAIRVIEW GRADING PROFILE**  
 SCALE: H.1"=10'; V.1"=5'



- LEGEND:**
- CONCRETE ROADWAY
  - ASPHALT
  - GRAVEL
  - CONCRETE WALKWAY
  - LANDSCAPE
  - CONCRETE CURB

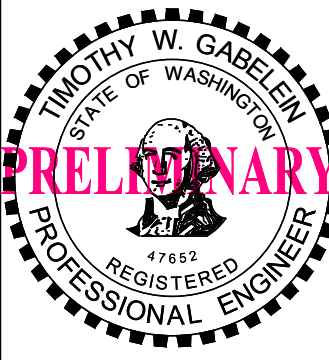


**GRADING PLAN**  
 SCALE AS SHOWN

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DRAWN .....	REVISED AS-BUILT .....
CHECKED .....	

City of Seattle  
**Seattle Department of Transportation**

SCALE: H. 1"=10' V. 1"=5' INSPECTOR'S BOOK

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN

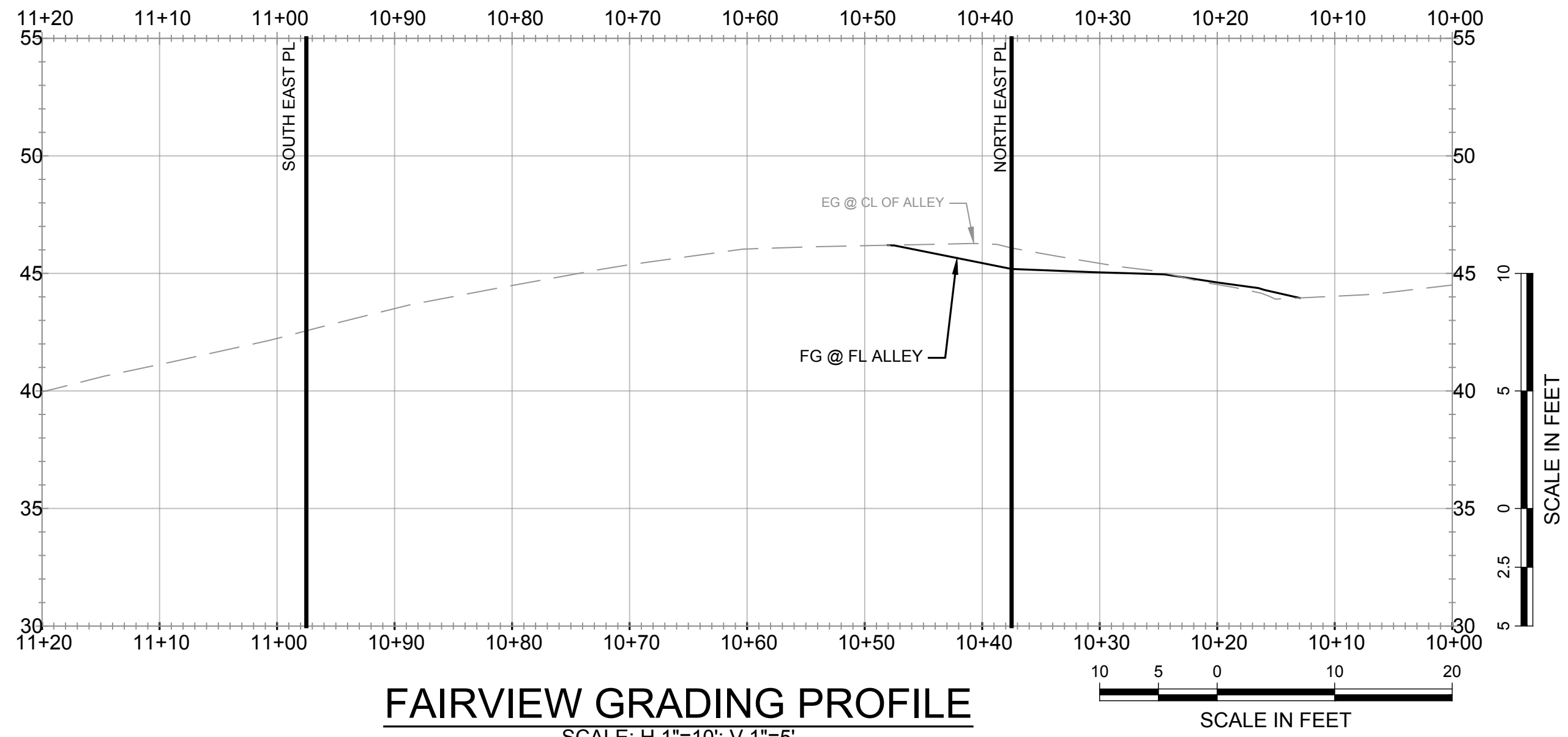
**101 E. ALLISON ST**  
 CURB, CW, LANDSCAPE, PAVING, ETC.  
 GRADING PLAN & PROFILE FAIRVIEW AVE N

SDOT PROJECT NO. SUSIP0000308
Vault Plan No.
Vault Serial No.
SHEET 3 OF 9

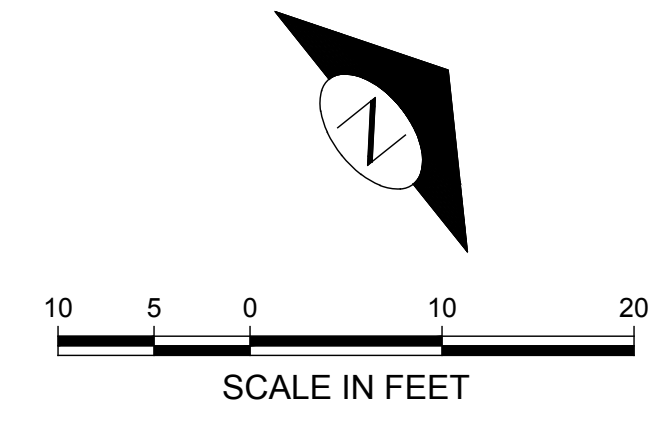




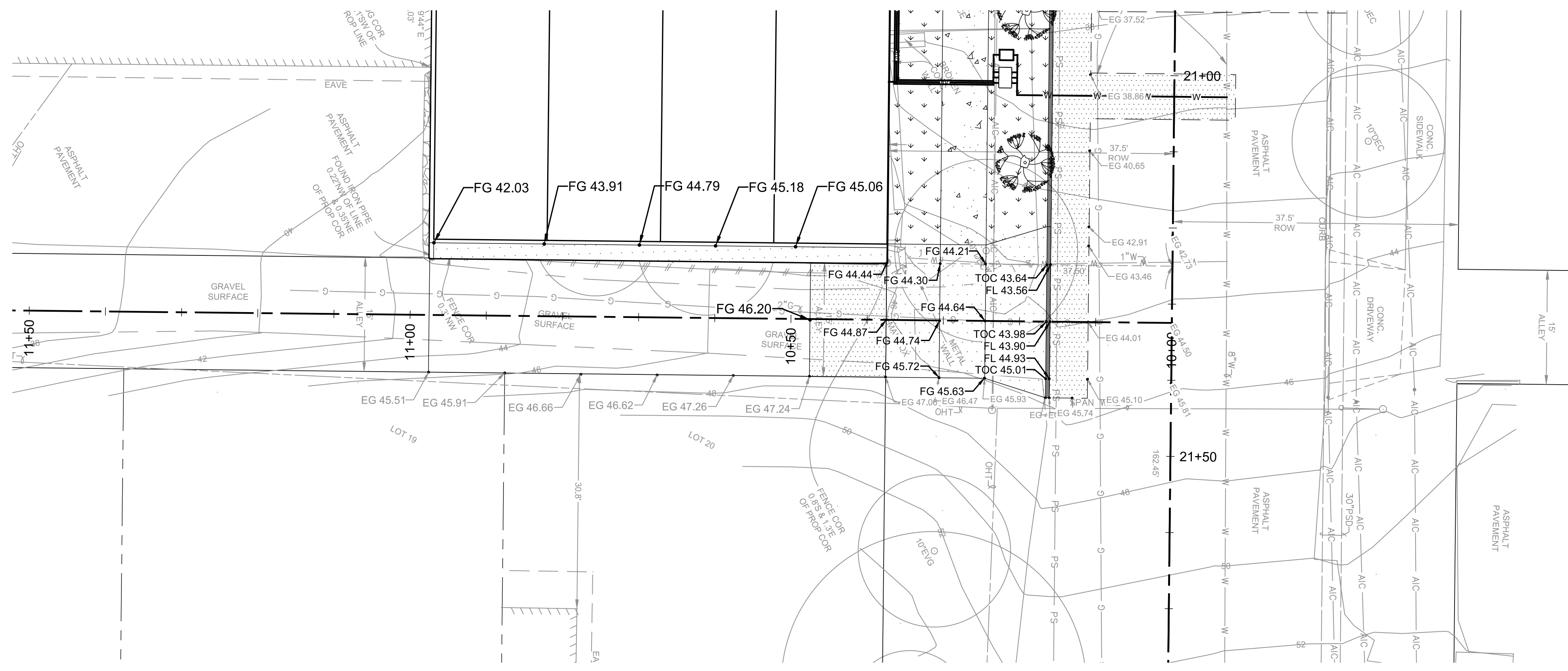
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 LAST MODIFIED BY: NICK - SAVE DATE: 3/10/2022 1:58 PM - SHEET SET: 101 E ALLISON ST SEATTLE\_SDOT CIVIL PLAN- ORIGINAL SHEET SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES)  
 AUTOCAD VERSION: CIVIL 3D 2018



**FAIRVIEW GRADING PROFILE**  
SCALE: H. 1"=10'; V. 1"=5'



- LEGEND:**
- CONCRETE ROADWAY
  - ASPHALT
  - GRAVEL
  - CONCRETE WALKWAY
  - LANDSCAPE
  - CONCRETE CURB



**GRADING PLAN**  
SCALE AS SHOWN

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION. (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

**CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG**

DATE	MARK	NATURE	REVISIONS
			MADE CHKD REVD



**DAVIDO CONSULTING GROUP, INC.**  
9706 4TH AVE NE, SUITE 300  
SEATTLE, WA 98115  
206.523.0024

REVIEWED BY SPU/WATER ENGINEERING	20.....
REVIEWED BY SPU/DRAINAGE	20.....
APPROVED BY SDOT STREET IMPROVEMENT PERMITTING	20.....

NAME OR INITIALS AND DATE	INITIALS AND DATE
DESIGNED .....	REVIEWED: .....
CHECKED .....	PROJECT MANAGER .....
DRAWN .....	REVISED AS-BUILT .....
CHECKED .....	

City of Seattle  
**Seattle Department of Transportation**

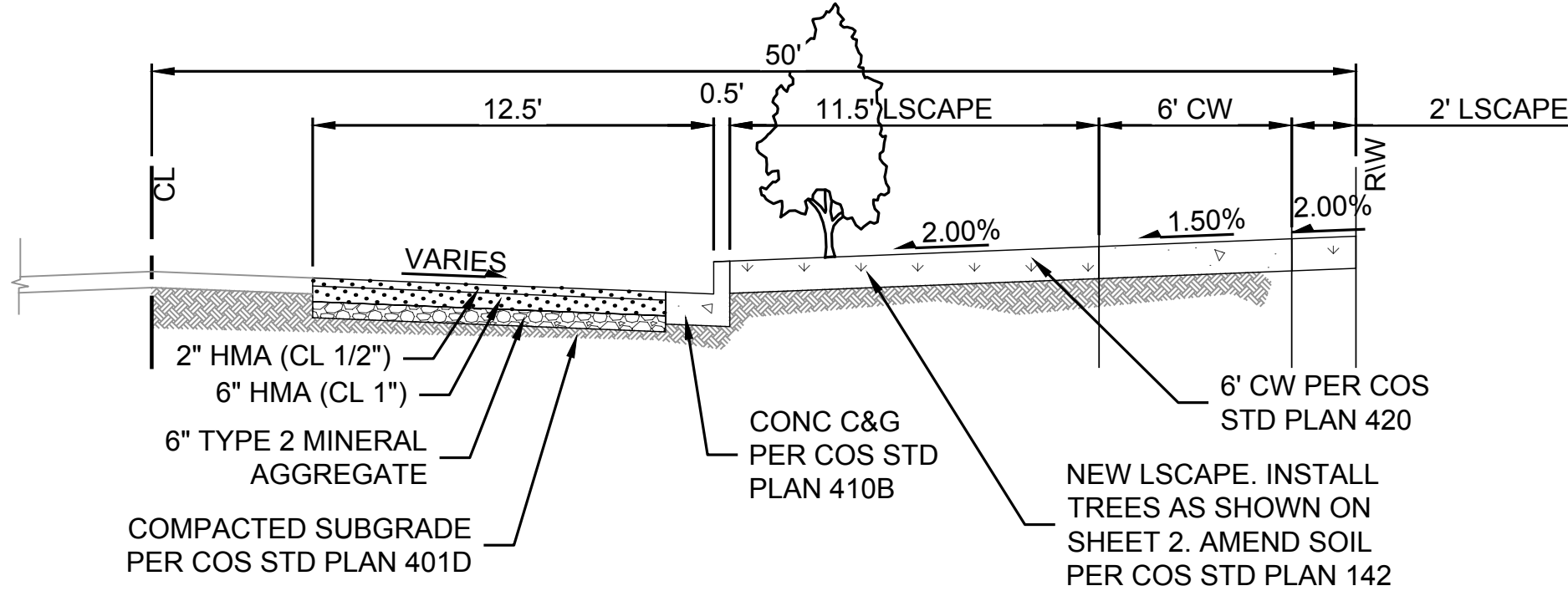
SCALE: H. 1"=10' V. 1"=5' INSPECTOR'S BOOK

**101 E. ALLISON ST**  
CURB, CW, LANDSCAPE, PAVING, ETC.  
**GRADING PLAN & PROFILE ALLEY**

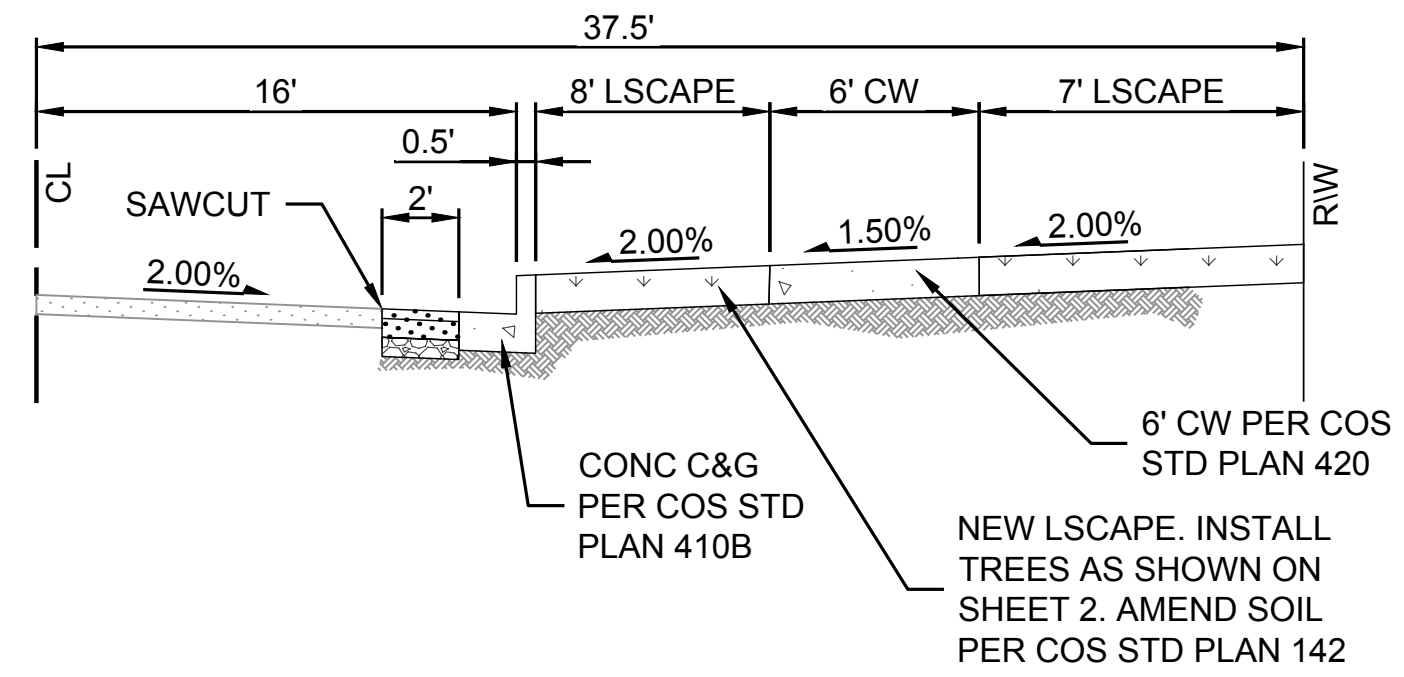
SDOT PROJECT NO. SUSIP0000308
Vault Plan No.
Vault Serial No.
SHEET 5 OF 9

**WATER SERVICE NOTES:**

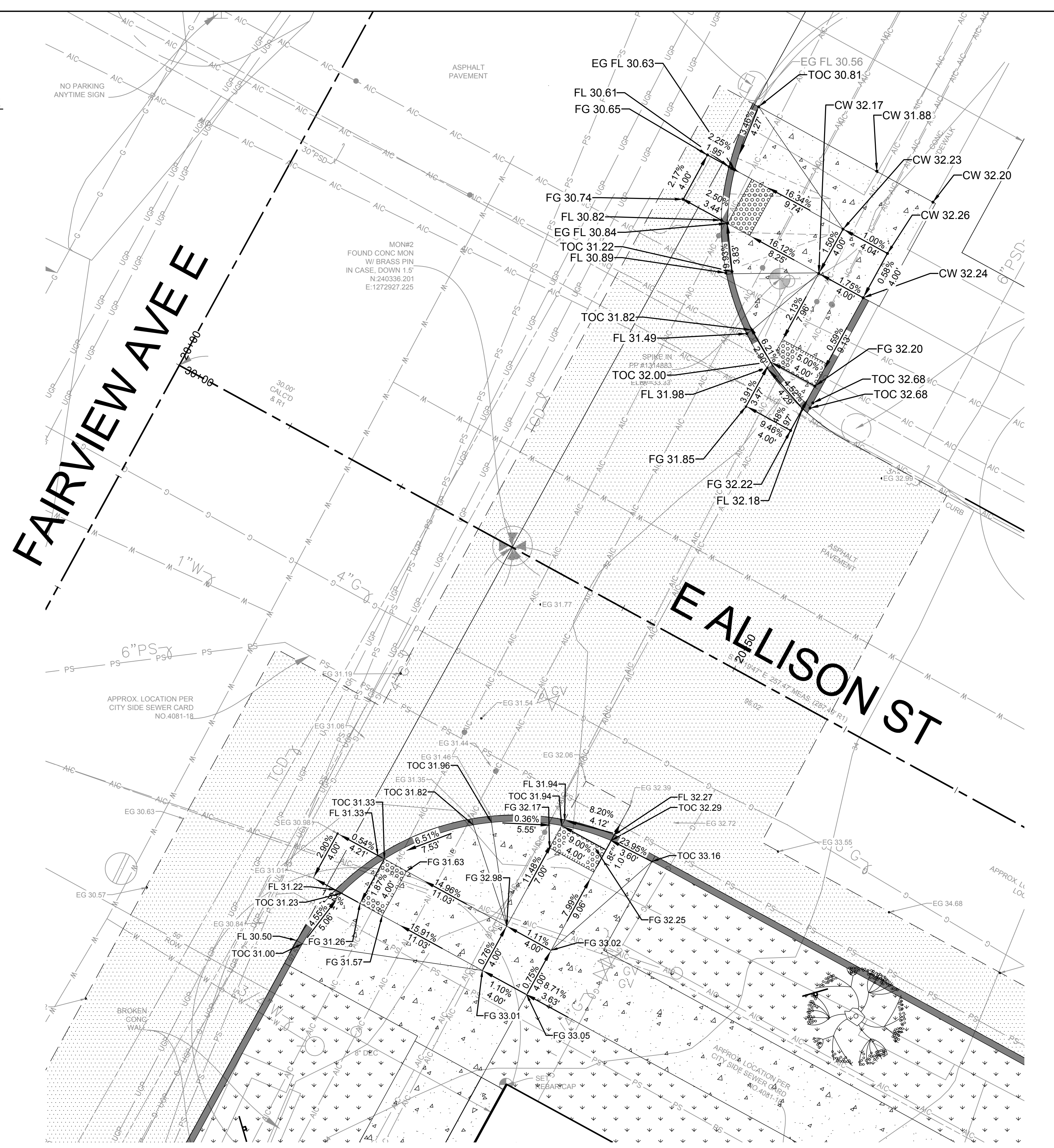
1. APPLICATION FOR A NEW METERED WATER SERVICE AND PAYMENT OF ALL FEES IS REQUIRED BEFORE SERVICE WILL BE AVAILABLE.
2. APPLICANT WILL NEED A WATER AVAILABILITY CERTIFICATE (WAC) AND LEGAL DESCRIPTION OF PROPERTY WHEN SUBMITTING THE APPLICATION. TO OBTAIN A WAC, PLEASE CONTACT THE DEVELOPMENT SERVICES OFFICE AT (206) 684-3333 OR SPUWATERAVAILABILITY@SEATTLE.GOV.
3. ALL WATER SERVICES SHALL BE LOCATED IN THE PUBLIC RIGHT OF WAY AND WITHIN THE FRONTAGE OF THE PARCEL BEING SERVED.
4. WATER SERVICES SERVING PARCELS WITHOUT FRONTAGE TO THE PUBLIC RIGHT OF WAY (SUCH AS UNIT LOT SUBDIVISIONS) OR LANDLOCKED PARCELS SHALL BE SERVED BY A PRIVATE WATER SERVICE EXTENDING FROM THE WATER METER TO THE PARCEL BEING SERVED. THE WATER SERVICE SHALL BE INSTALLED IN A DEDICATED EASEMENT. THE EASEMENT SHALL BE OBTAINED BY THE DEVELOPER, RECORDED, AND A COPY SHALL BE PROVIDED TO SEATTLE PUBLIC UTILITIES (SPU) AT THE TIME OF APPLICATION SUBMITTAL.
5. ALL WATER SERVICES PIPING ON PROPERTY MUST BE INSPECTED PRIOR TO BACKFILLING TRENCH. CONTACT (206) 684-5800 TO REQUEST AN INSPECTION.
6. CUSTOMERS ARE REQUIRED TO INSTALL AN APPROVED AIR GAP OR REDUCED-PRESSURE BACKFLOW ASSEMBLY (RPBA/RPDA) ON ALL WATER SERVICE CONNECTIONS POSING A HIGH HEALTH CROSS-CONNECTION HAZARD (PURSUANT TO WAC 246-290-490). BACKFLOW PREVENTION IS ALSO REQUIRED ON WATER SERVICE CONNECTIONS SUCH AS FIRE SERVICES, IRRIGATION SERVICES, BUILDINGS EXCEEDING THREE STORIES OR 30 FT. IN HEIGHT ABOVE THE METER (MEASURED TO THE HIGHEST WATER FIXTURE), AND MAY BE REQUIRED FOR OTHER WATER SERVICES. SPU AND KING COUNTY HEALTH DEPARTMENT (KCHD) ARE THE ADMINISTRATIVE AUTHORITIES ENGAGED IN A JOINT PROGRAM IDENTIFYING ACTUAL AND POTENTIAL CROSS-CONNECTIONS BETWEEN THE PUBLIC WATER SUPPLY AND POSSIBLE SOURCES OF CONTAMINATION. FOR ANSWERS TO SPECIFIC CROSS-CONNECTION CONTROL QUESTIONS OR TO REQUEST AN INSPECTION, PLEASE CALL (206) 684-3536.



ROAD CROSS SECTION - FAIRVIEW AVE E  
PER STD PLAN 401D  
NTS



ROAD CROSS SECTION - E ALLISON ST  
PER STD PLAN 401D  
NTS



ADA RAMP GRADE  
PLAN 401D  
1" = 5'

CAD FILE NUMBER: P:\CLIENTS-CIVIL\ROBERT HUTCHINSON ARCHITECTURE\101 E ALLISON ST AND 117 E ALLISON ST SEATTLE\DWG\DRAWING\101 E ALLISON ST SEATTLE\_SDOT\_CIVIL\_PLAN.DWG  
LAST MODIFIED BY: NICK - SAVE DATE: 3/10/2022 1:58 PM - SHEET SET: 101 E ALLISON ST SEATTLE\_SDOT\_CIVIL\_PLAN-ORIGINAL SHEET SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES)  
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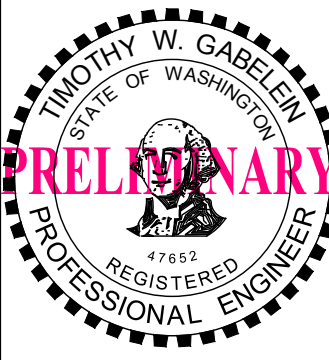
DATE	MARK	NATURE	REVISIONS
			MADE CHK'D REV'D

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

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9706 4TH AVE NE, SUITE 300  
SEATTLE, WA 98115  
206.523.0024



REVIEWED BY SPU/WATER ENGINEERING	20.....
REVIEWED BY SPU/DRAINAGE	20.....
APPROVED BY SDOT STREET IMPROVEMENT PERMITTING	20.....

NAME OR INITIALS AND DATE	INITIALS AND DATE
DESIGNED .....	REVIEWED: .....
CHECKED .....	PROJECT MANAGER .....
DRAWN .....	REVISED AS-BUILT .....
CHECKED .....	
DESIGN REVIEW .....	

City of Seattle  
**Seattle Department of Transportation**

SCALE: H. V. INSPECTOR'S BOOK

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN

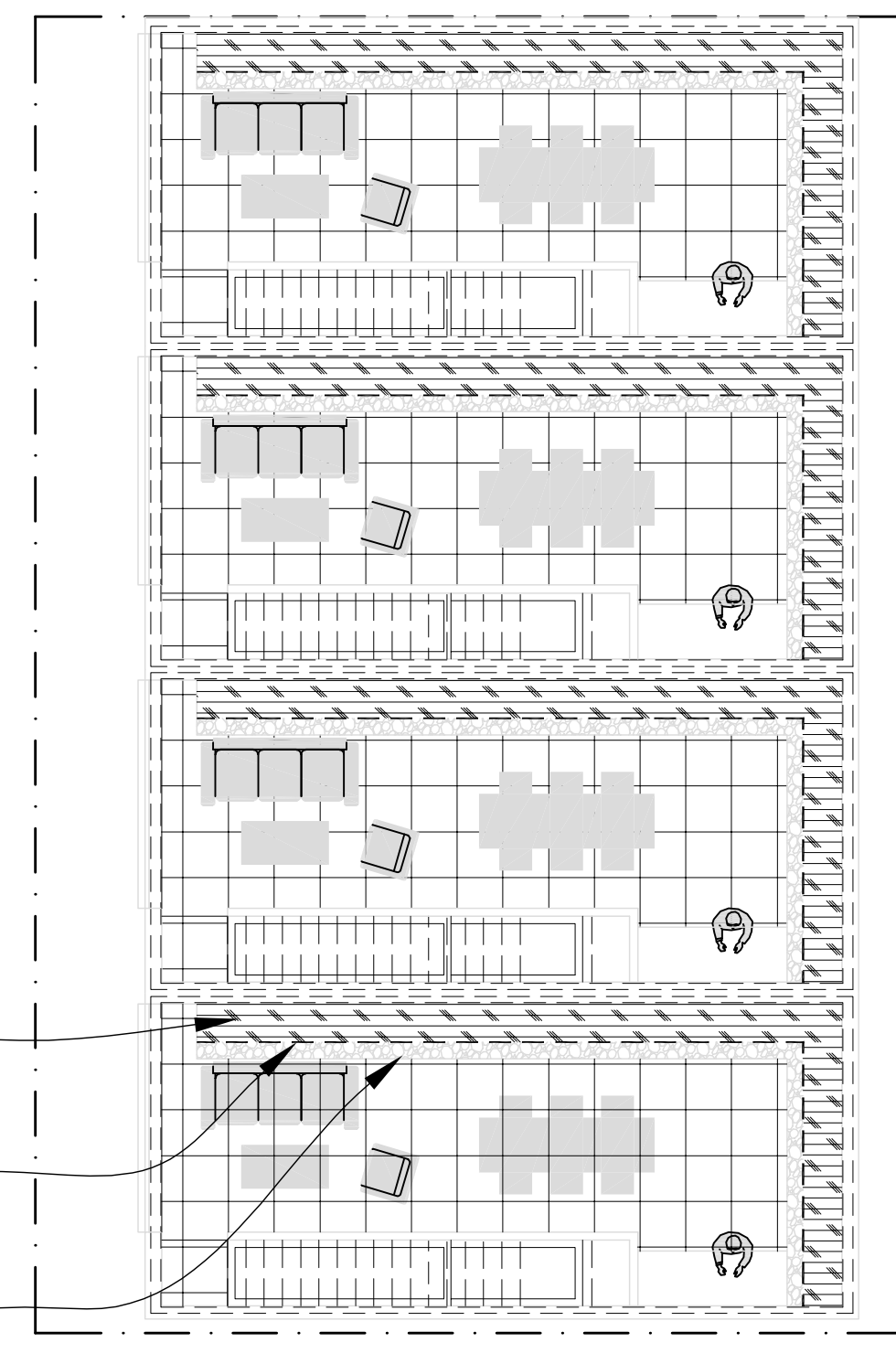
101 E. ALLISON ST  
CURB, CW, LANDSCAPE, PAVING, ETC.  
DETAILS

SDOT PROJECT NO. SUSIP0000308
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 6 OF 9

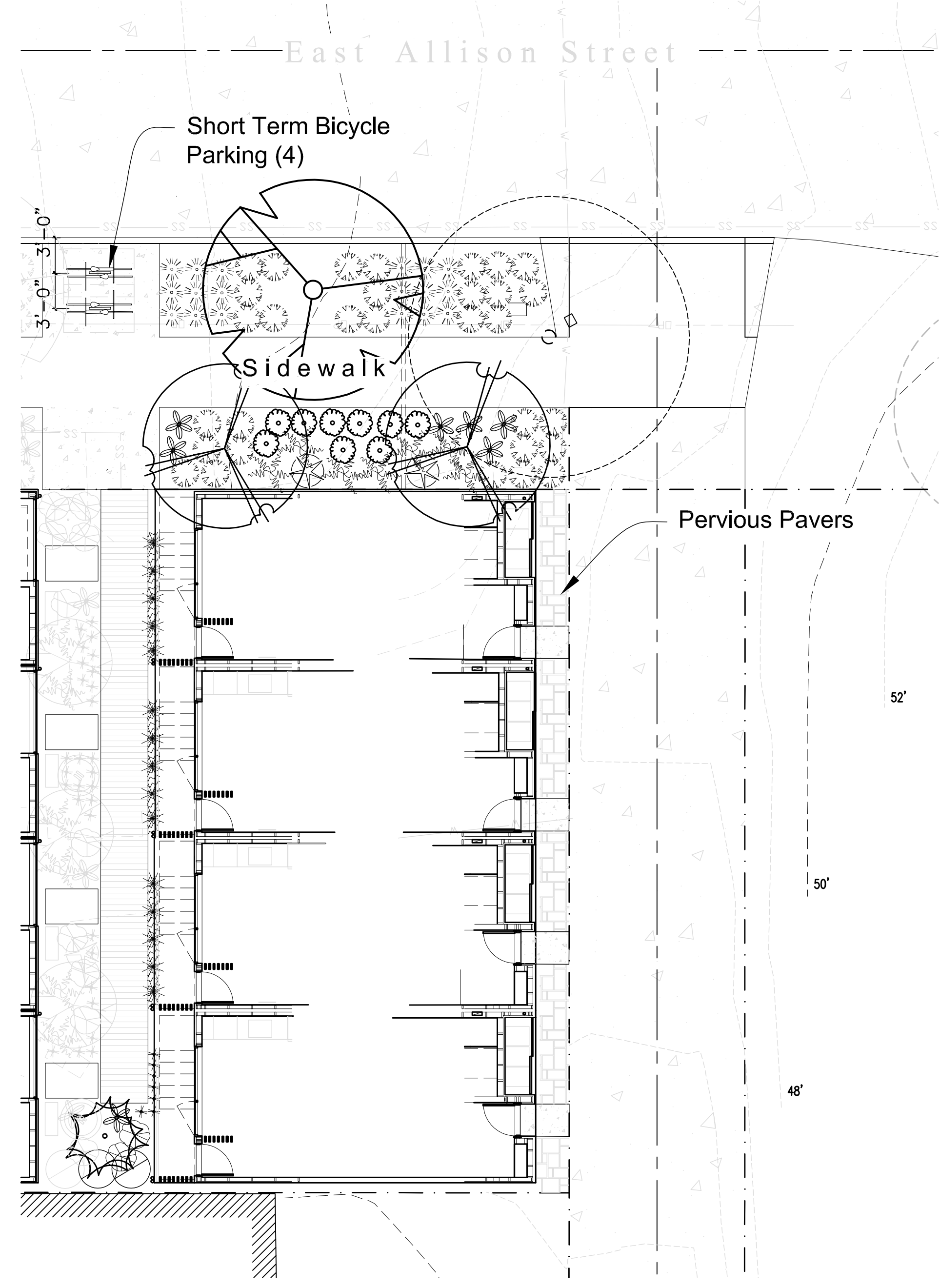
**PLANT SCHEDULE**

Qty.	Symbol	Botanical/ Common Name	Size/ Remarks
<b>TREES:</b>			
1		Betula n. 'BMNTF'/ DURA HEAT RIVER BIRCH (Medium-Small Tree)	min. 2-1/2" cal., Street Tree form
2		Rhamnus purshiana/ CASCARA (Small Tree)	min. 2-1/2" cal., Street Tree form
1		Sciadopitys verticillata/ UMBRELLA PINE (Medium-Small Tree)	min. 6'-0" hgt.
<b>SHRUBS/ PERENNIALS/ GROUNDCOVERS:</b>			
9		<i>Epimedium x versicolor 'Sulphureum' / NCN</i>	1 gal.
15		<i>Juncus patens 'Elk Blue' / CALIF. GREY RUSH</i>	1 gal.
7		<i>Hakonechola m. 'Aureola' / JAPAN FOREST GRASS</i>	1 gal.
7		<i>Liriope m. 'Big Blue' / LILY TURF</i>	1 gal.
2		Nandina d. 'Compacta' / HEAVENLY BAMBOO	min. 24" hgt.
18		Pennisetum 'Hamlyn' / DWARF FOUNTAIN GRASS	1 gal.
7		Polystichum munitum / WESTERN SWORDFERN	min. 5 fronds @ 12" ea.
31		<i>Prunus l. 'Mt. Vernon' / DWARF LAUREL</i>	min. 12 spr.
2		<i>Sarcococca humilis / FRAGRANT SARCOCOCCA</i>	min. 15" spr.
2		Vaccinium ovatum / EVERGREEN HUCKLEBERRY	min. 24" hgt.
48		<i>Ophiopogon j. 'Nanus' / DWARF MONDO GRASS</i>	4" pots @ 9" o.c.
		'Live Roof' Standard Modular Tray System (4-1/4" depth)	Pre-planted w/ 'Greenfeathers' Ever-Greenfeathers Sedum Mix (30%), Pacific Sunset Mix (30%), Olympic Mix (40%) @ 95% Module Coverage.

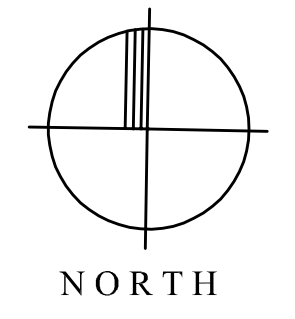
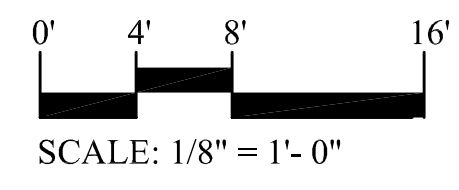
\* Plant names shown in 'bold' are native/ drought tolerant.  
 \* Plant names shown in 'italics' are < 24" in height.  
 \* If plant quantity shown on schedule conflicts with what is represented by symbol on Plan, the quantity represented by symbol shall be used.  
 \* Plant sizes are specified per the American Standard for Nursery Stock, Publication- May 2, 1986 sponsored by the American Association of Nurserymen, Inc.  
 \* Prior to any Tree/ Shrub Planting in City Right of Way, coordinate with SDOT Urban Forester (DOT\_LA@Seattle.Gov) soil preparation inspection and exact placement of tree.



**ROOF LEVEL**



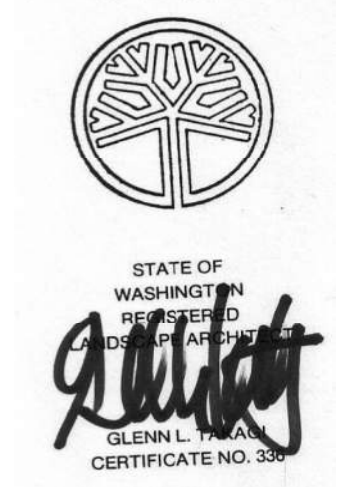
**GRADE LEVEL**



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**LLLLLC**  
 117 East Allison St.  
 Seattle, WA 98102

#3038366-LU



Glenn Takagi  
 Landscape Architect  
 18550 Firlands Way N.  
 Suite #102  
 Shoreline, WA 98133  
 (206) 542-6100  
 glenco1029@earthlink.net

**Planting Plan**

Project No.: \_\_\_\_\_  
 Drawn: GT  
 Checked: GT

Drawing Issue:  
 3.11.22 MUP

Revisions:  
 \_\_\_\_\_  
 \_\_\_\_\_

**Green Factor Scoresheet PAGE 1** SEATTLE *green factor*

Project title: \_\_\_\_\_ Enter sq ft of parcel: **2,400** SCORE: **0.518458**

Landscape Elements**	Parcel size	Totals calculate automatically from Green Factor Worksheet	Factor	Total
<b>A Planted areas</b>		586	0.6	352
1 Planted areas with a soil depth of 24" or greater		586 square feet		
2 Bioretention facilities		0 square feet	1	0
<b>B Plantings (credit for plants in landscaped areas from Section A)</b>		358	0.1	36
1 Mulch, ground covers, or other plants less than 2" tall at maturity		358 square feet		
2 Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	25 plants	225	0.3	68
3 Large shrubs or perennials 4'+ at maturity - calculated at 35 sq ft per plant (typically planted no closer than 24" on center)	4 plants	144	0.3	43
4 Small Trees	2 trees	150	0.3	45
Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree				
5 Small/Medium Trees	2 trees	300	0.5	150
Tree canopy for "Small/Medium Trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree				
6 Medium/Large Trees	0 trees	0	0.7	0
Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree				
7 Large Trees	0 trees	0	0.9	0
Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree				
8 Preserved Trees	0 inches	0	1	0
Tree canopy for preservation of existing trees with trunks 6"+ DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter				

REVISIED 07-07-2020

**Green Factor Scoresheet PAGE 2** SEATTLE *green factor*

**C Green roofs**

1 Green roofs over at least 2" and less than 4" of growth medium	0 square feet	0.4	0
2 Green roofs 4" - 8" of growth medium	292 square feet	0.6	175
3 Green roofs 8"+ of growth medium	0 square feet	0.8	0

**D Vegetated walls**  
NC, C, SM, and South Downtown zones only

	0 square feet	0.4	0
--	---------------	-----	---

**E Permeable paving**

1 Permeable paving over at least 6" and less than 24" of soil or gravel	0 square feet	0.2	0
2 Permeable paving over at least 24" of soil or gravel	120 square feet	0.5	60

**F Structural soil systems**

	0 square feet	0.5	0
--	---------------	-----	---

sub-total of sq ft = 2,175

**G Bonuses**

1 Landscaping that consists of drought-tolerant and/or native plant species	1502 square feet	0.1	150
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater	0 square feet	0.2	0
3 Vegetation visible to passersby from adjacent public right of way or public open spaces	829 square feet	0.2	166
4 Landscaping in food cultivation	0 square feet	0.1	0

Green Factor numerator = 1,244

REVISIED 07-07-2020

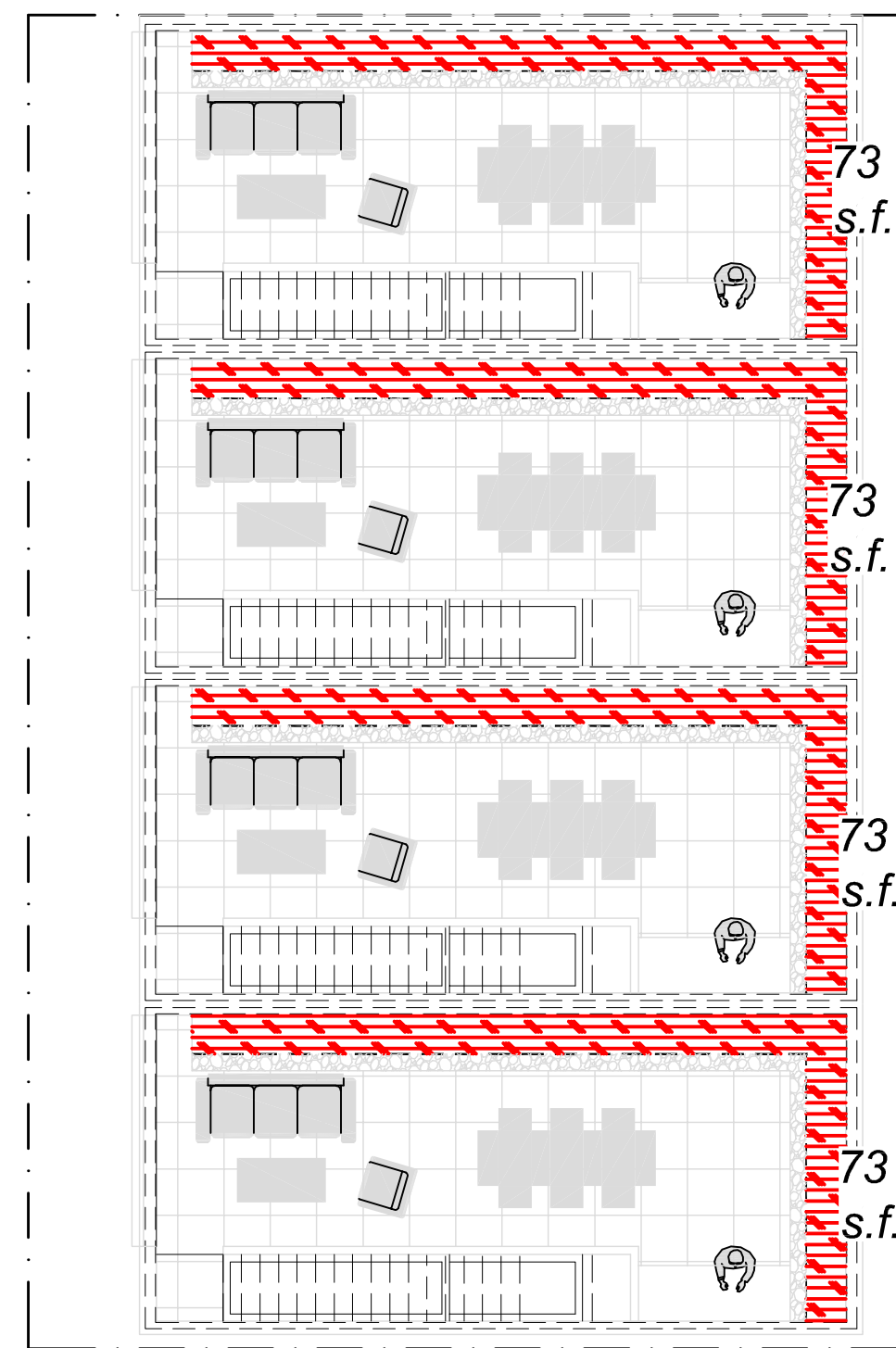
**Green Factor Worksheet** SEATTLE *green factor*

Project title: \_\_\_\_\_

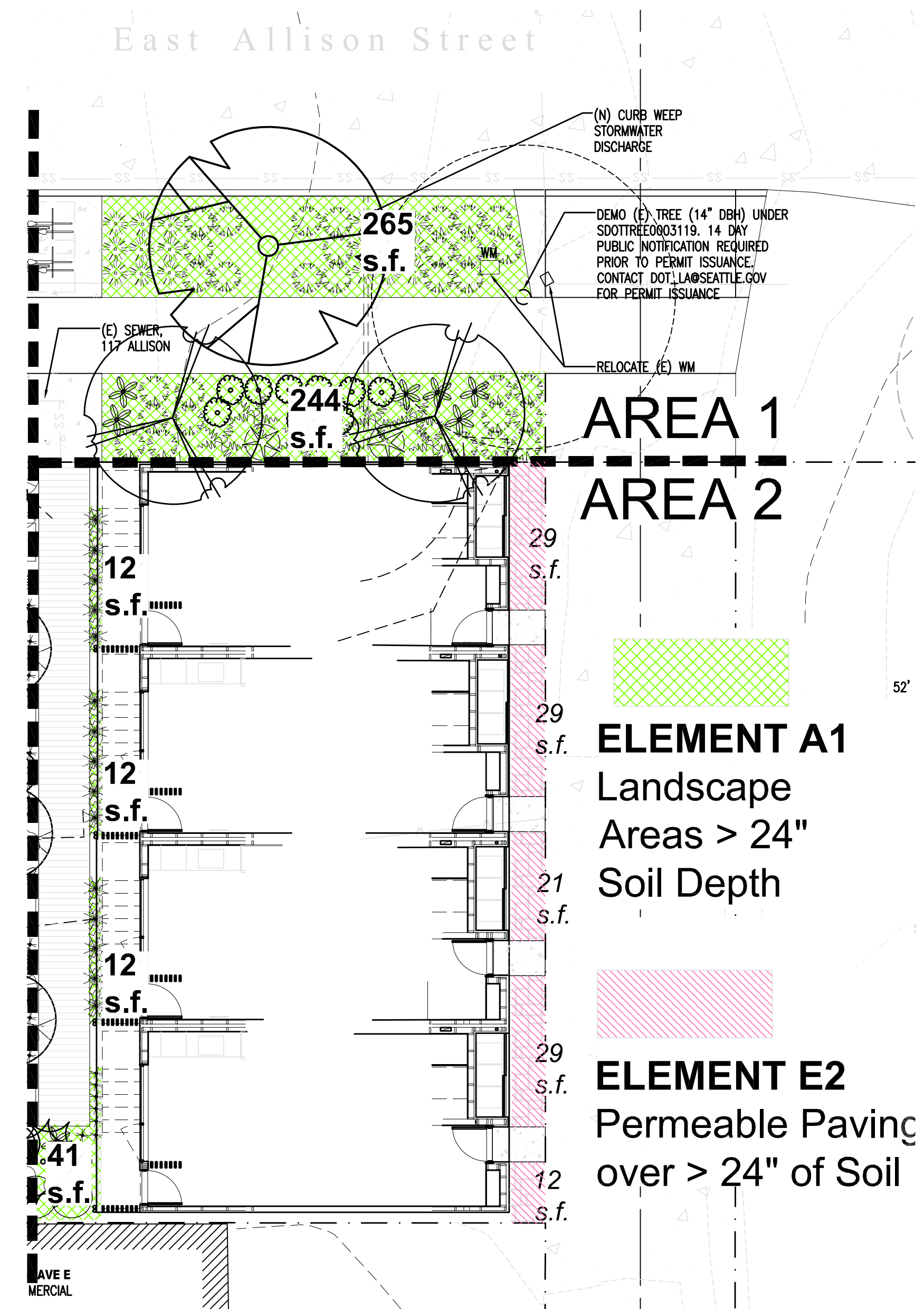
Landscape Elements	Measurement	Planting Area							Total
		1	2	3	4	5	6	7	
A1	square feet	509	77						586
A2	square feet								0
B1	square feet	298	60						358
B2	# of plants	25							25
B3	# of plants	2	2						4
B4	# of trees	2							2
B5	# of trees	1	1						2
B6	# of trees								0
B7	# of trees								0
B8	Inches DBH								0
C1	square feet								0
C2	square feet			292					292
C3	square feet								0
D	square feet								0
E1	square feet								0
E2	square feet		120						120
F	square feet								0
G1	square feet	918	292	292					1502
G2	square feet								0
G3	square feet	829							829
G4	square feet								0

REVISIED 07-07-2020

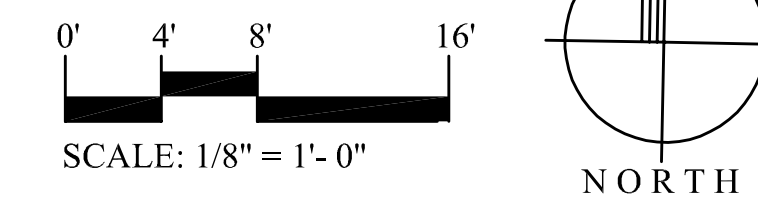
**ELEMENT C2**  
Green Roofs 4-8"  
Growth Medium



**AREA 3**  
ROOF LEVEL



**GRADE LEVEL**



LLLLL  
117 East Allison St.  
Seattle, WA 98102

#3038366-LU



STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT  
GLENN TAKAGI  
CERTIFICATE NO. 338

Glenn Takagi  
Landscape Architect  
18550 Firlands Way N.  
Suite #102  
Shoreline, WA 98133  
(206) 542-6100  
glenco1029@earthlink.net

**Green Factor**  
**Elements**

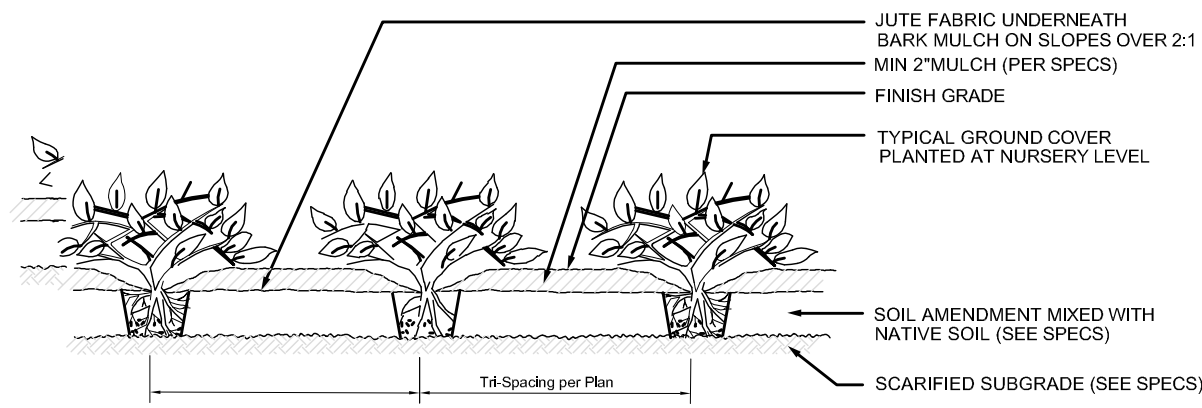
Project No.: \_\_\_\_\_  
Drawn: GT  
Checked: GT

Drawing Issue:  
3.11.22 MUP

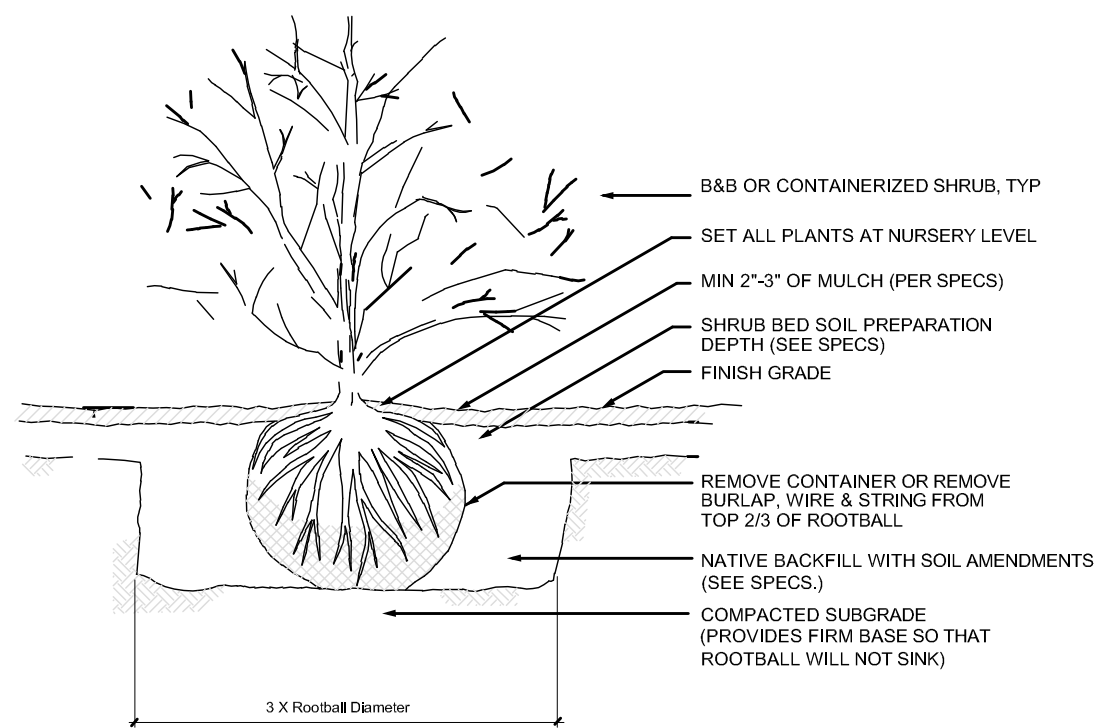
Revisions:

Sheet  
**L2**  
2 of 4

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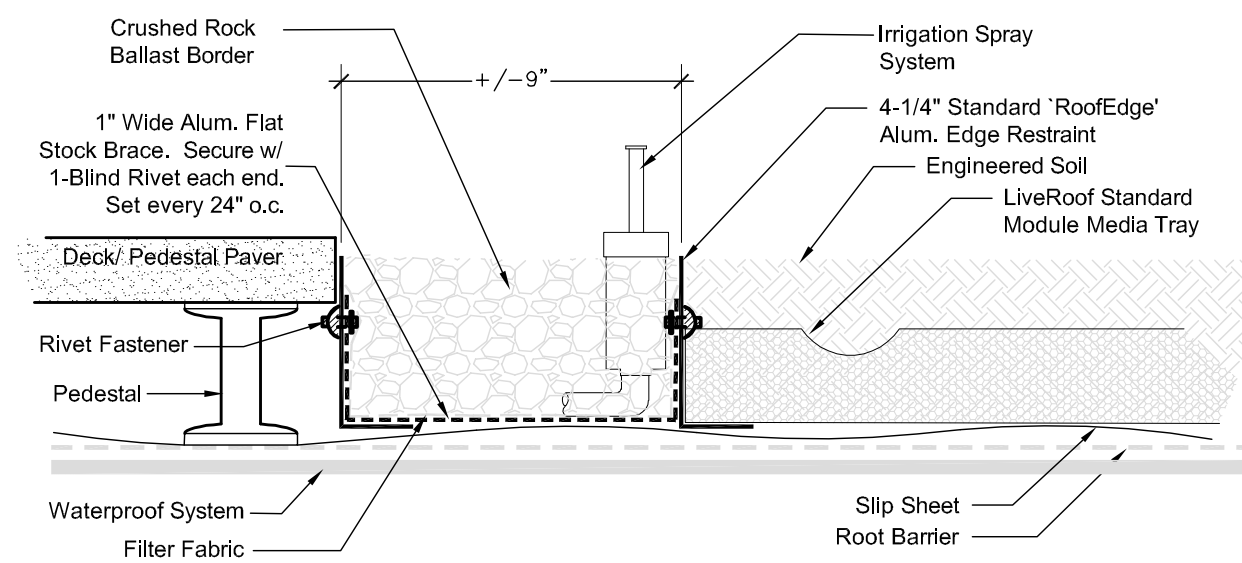
1 GROUND COVER PLANTING  
NOT TO SCALE



2 SHRUB PLANTING  
NOT TO SCALE

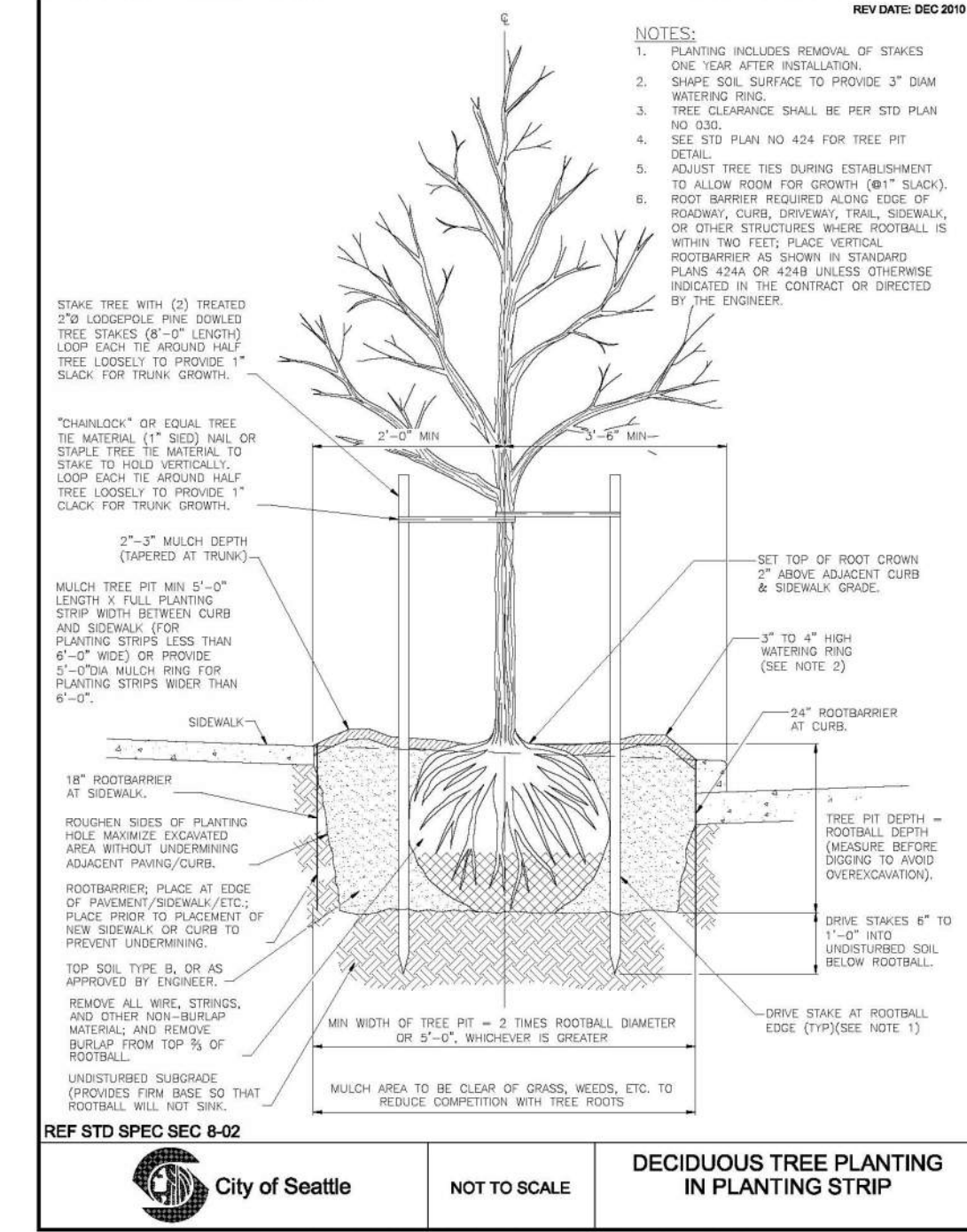
**GENERAL NOTES:**

1. Coordinate work with other trades as required. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Coordinate with Utilities Underground Location Center and Owner for locations of existing underground utilities, etc. servicing or routed through the site.
2. Provide protection of all property, persons, work in progress, structures, utilities, walls, walks, curbs and paved surfaces from damages incurred arising from this work. The Contractor shall pay for any such damage at no additional cost to the Owner.
3. During construction, keep pavements, building clean. Protect site and adjacent properties from damage due to construction operations, operations by other Contractors/trades and trespassers. Unfinished and completed work shall be protected from damage by erosion or trespassing, and proper safeguards shall be erected to protect the Public.
4. Staking and Layout: Immediately notify Landscape Architect in writing of any variance between plans and actual site. Landscape Architect has the right to adjust the location of elements. Verify layout with Landscape Architect prior to any installation work.
5. Verify installation conditions as satisfactory to receive work. Do not install any site elements until any unsatisfactory conditions are corrected. Beginning of work constitutes acceptance of conditions as satisfactory. When conditions detrimental to plant growth/ constructed elements, are encountered such as rubble fill, adverse conditions, or obstructions, notify Landscape Architect.
6. All New Planting Areas shall be served by a 'Bidder Design' Automatic Irrigation System. Roof Top 'Green Roof' shall be fitted with an automatic spray system. Coordinate with General Contractor to ensure that irrigation system pressure line (to roof) has a minimum 35 psi available. Design and Install per latest Irrigation Association Standards and local Codes/ Ordinances. Use Waterwise 'Smart Controller', sensors and nozzles. Provide neat and legible color coded 'As Built' Plans and Equipment Manuals to Owner prior to Project Completion. Any pipe exposed to sunlight shall be Type K Copper pipe and be protected with an UV stable insulating cover. PVC (if used) under pavers shall be UV resistant compound and be protected with an UV stable insulating cover..
7. Pervious Paver material, color, size and pattern TBD. Installation shall meet the City of Seattle Standards for Permeable Pavement Surfaces. Wherever edge of paving does not abut to a solid concrete surface (wall or adjacent pavement), use proper edge restraint.



A 'GREEN ROOF' PLANTING  
NOT TO SCALE

100 LANDSCAPE PLANTING STANDARD PLAN NO 100a



**PLANTING NOTES:**

1. Soil Preparation: On-Grade Planting Beds- See COS Std Plan Detail No.142. 'Tray Planting'- Roof Level 'Green Roof' shall be 'Live Roof Standard' Hybrid System as manufactured by LiveRoof (www.liveroof.com). Install per Manufacturer's Details and Specifications by LiveRoof Certified Installer personnel. Provide full-pre-planted trays from the following LiveRoof Licensed Grower: GreenFeathers Living Roof Plant and Systems, Cornelius, OR. tel no. 503.207.0261
2. Prior to any Right of Way Planting, coordinate location, soil preparation and planting operations of Street Trees/ Shrubs with SDOT Urban Forester (206.684.5693), Project Arborist and Landscape Architect.
3. Fertilize all installed plants during backfill operations with 4-2-2 Agro Transplanter as recommended by Manufacturer.
4. Substitutions or changes in materials and placement shall be made only on the written change orders as agreed between Contractor, Landscape Architect, City and Owner. \*Green Factor Note- All plantings and landscape elements required as part of this Building Permit must be maintained for the life of the project. If alterations or failures reduce landscape features to a level below the minimum required planting area or Green Factor Score, new features must be added to compensate. This requirement also applies to landscape improvements in the right-of-way if used to meet Green Factor requirements.
5. Mulch all ornamental beds with a minimum 2 inch (2") depth of approved coarse shredded bark 'mulch'. Provide Samples for all proposed Mulches. Finish grade of mulch shall be 1" below adjacent hard surfaces/ walls.
6. Stake trees per detail and as directed by Landscape Architect. Trees in Right of Way shall be installed with Root Barriers along Curb and Sidewalk sides
7. Maintenance: Provide landscape maintenance immediately after planting. Work shall include but not limited to pruning, resetting of plants, restoring eroded areas, adjustments to staking and removal of weeds/debris as required for healthy growth of plants. Maintain until Final Acceptance, but in no case less than 30 days (including a min. of two lawn mowings if applicable).

STANDARD PLAN NO 134

	TREES IN PLANTING STRIPS	TREES IN TREE PITS
ROOT PROTECTION	ALL NON-PAVED PLANTING STRIP SURFACES SUBJECT TO IMPACT (CONSTRUCTION BY CONSTRUCTION ACTIVITY) SHALL BE PROTECTED WITH 4\"/>	REPAIR EXISTING PAVING DURING CONSTRUCTION SCHEDULE PAVEMENT REPLACEMENT TO MINIMIZE EXPOSURE OF SURFACE ROOTS TO DRIPPING EQUIPMENT DAMAGE, COMPACTION, ETC. EXPOSURE FOR LONGER THAN 48 HOURS REQUIRES MULCH APPLICATION
HEAVY EQUIPMENT OPERATION	PROHIBIT WOOD PLANTING OR STEEL PILES UNDER BRANCHES IN THE PLANTING STRIP (1-107.16(2))	NO STORAGE OF MATERIALS OR EQUIPMENT IN THE PLANTING STRIP SHALL BE ALLOWED WITHOUT PROPER SURFACE PROTECTION AND WRITTEN AUTHORIZATION FROM THE ENGINEER
CANOPY PROTECTION	OVERHEAD BRANCHING LIKELY TO BE DAMAGED BY EQUIPMENT OPERATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER WITH PREVENTIVE MEASURES (PRUNING OR TIE-BACK OF BRANCHES) APPROVED BY THE ENGINEER AND PROPERLY EXECUTED BEFORE COMMENCEMENT OF THE WORK.	
TRUNK PROTECTION	PROVIDE CHAIN LINK CONSTRUCTION FENCE IN PLANTING STRIP OR INSTALLATION FOR EACH TREE OR THE LENGTH OF THE PLANTING STRIP	PROVIDE 6\"/>
SIDEWALK RECONSTRUCTION	ROOT PRUNE ONLY AS APPROVED BY THE ENGINEER	PROVIDE 6\"/>
TRENCH OR TUNNELING	SEE STD PLAN NO 133	

REF STD SPEC SEC 1-07.16(2)



NOT TO SCALE

CONSTRUCTION AROUND EXISTING TREES

LLLLLL  
117 East Allison St.  
Seattle, WA 98102

#3038366-LU



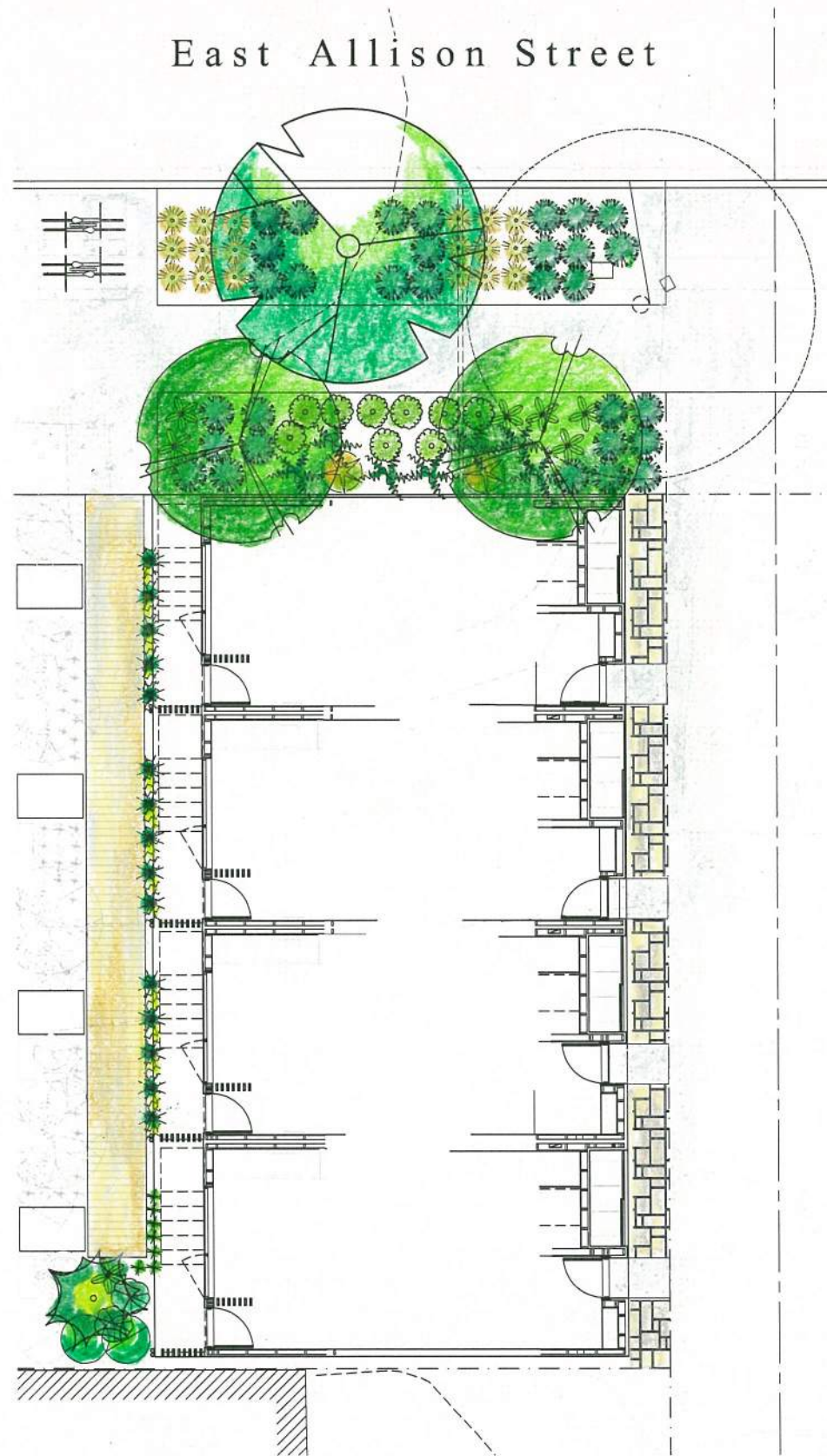
Glenn Takagi  
Landscape Architect  
18550 Firlands Way N.  
Suite #102  
Shoreline, WA 98133  
(206) 542-6100  
glenco1029@earthlink.net

Notes/ Details

Project No.: \_\_\_\_\_  
Drawn: GT  
Checked: GT  
Drawing Issue: 3.11.22 LU  
Revisions: \_\_\_\_\_



ROOF LEVEL



GRADE LEVEL



LLLLL  
 117 East Allison St.  
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#3038366-LU



STATE OF  
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Colored  
 Landscape Plan

Project No.: \_\_\_\_\_  
 Drawn: GT  
 Checked: GT

Drawing Issue:  
 3.11.22 LU

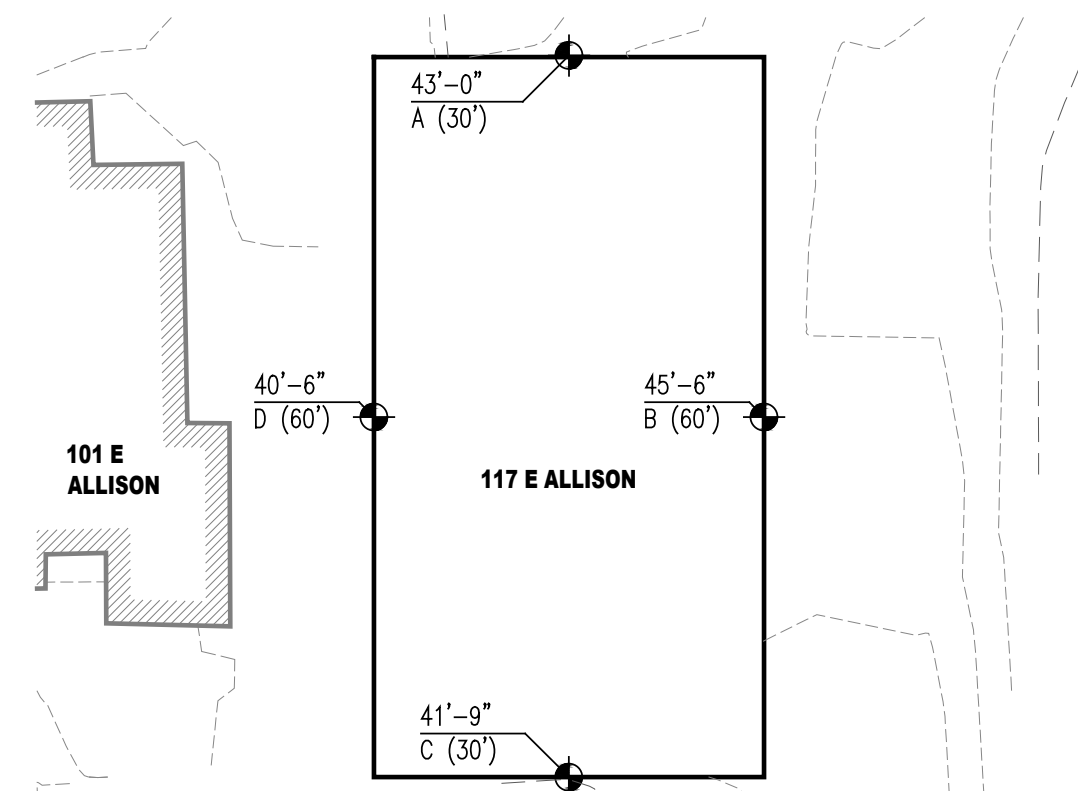
Revisions:  
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**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"



**2 AVERAGE GRADE DIAGRAM**  
SCALE: 1/16" = 1'-0"

**LAND USE NOTES**

**ZONING**  
NC2-55(M)  
RESIDENTIAL URBAN VILLAGE  
FREQUENT TRANSIT  
ZONING MAP BOOK: 77

**FAR**  
REF TO.1 FOR FAR & MHA CALCULATIONS AND DIAGRAMS  
LOT SIZE: 2,400 SF  
MAX FAR: 3.75  
MAX ALLOWABLE GROSS SF: 9,000 SF  
PROPOSED GROSS SF: 4,904 SF < 9,000 OK

**SETBACKS**  
NONE

**CRITICAL HAZARD AREAS**  
ECAS-LIQUEFACTION PRONE AREA

**USE**  
EXISTING: SINGLE FAMILY RESIDENTIAL  
PROPOSED: (4) RESIDENTIAL TOWNHOUSE UNITS

**SHORELINE UC ENVIRONMENT**  
URBAN COMMERCIAL UPLAND LOT  
30' HEIGHT LIMIT

**AVERAGE GRADE CALC AND MAXIMUM HEIGHT**  
REF: SITE PLAN

SIDE	ELEVATION	LENGTH
SIDE A	43.00'	30.00'
SIDE B	45.50'	60.00'
SIDE C	41.75'	30.00'
SIDE D	40.50'	60.00'
TOTAL LENGTH		180.00'

AVG GRADE =  $[(43.00' \times 30.00') + (45.50' \times 60.00') + (41.75' \times 30.00') + (40.50' \times 60.00')] / 180.00'$   
AVG GRADE = 42.79'

MAX HEIGHT =  $42.79' + 30.00' = 72.79'$

**SHORELINE SITE DEVELOPMENT PLAN NOTES**

(A) THE BOUNDARY OF THE PARCEL(S) OF LAND UPON WHICH THE DEVELOPMENT IS PROPOSED. **SITE PLAN COMPLIES**

(B) THE ORDINARY HIGH WATER MARK OF ALL WATER BODIES LOCATED ADJACENT TO OR WITHIN THE BOUNDARY OF THE PROJECT. YOU MAY APPROXIMATE THE LOCATION, UNLESS WE REQUIRE THE PRECISE LOCATION TO DETERMINE THAT THE DEVELOPMENT COMPLIES WITH OUR REGULATIONS. YOU WILL NEED TO ALSO GIVE US YOUR SUPPORTING TECHNICAL RATIONALE FOR THE PRECISE LOCATION OF THE ORDINARY HIGH WATER MARK. WHERE THE ORDINARY HIGH WATER MARK IS NEITHER ADJACENT TO OR WITHIN THE BOUNDARY OF THE PROJECT, THE PLAN SHALL INDICATE THE DISTANCE AND DIRECTION TO THE NEAREST ORDINARY HIGH WATER MARK OF A SHORELINE. **NOTE OHWM IS GREATER THAN 160' FROM THE PROPERTY LINE. PROPERTY IS ONLY PARTIALLY WITHIN SHORELINE BOUNDARY. REF SITE PLAN AND SURVEY.**

(C) EXISTING AND PROPOSED LAND CONTOURS. THE CONTOURS SHALL BE AT INTERVALS SUFFICIENT TO ACCURATELY DETERMINE THE EXISTING CHARACTER OF THE PROPERTY AND THE EXTENT OF PROPOSED CHANGE TO THE LAND THAT IS NECESSARY FOR THE DEVELOPMENT. IF THERE ARE AREAS WITHIN THE BOUNDARY THAT WILL NOT BE ALTERED BY THE DEVELOPMENT, YOU MAY INDICATE AS SUCH AND APPROXIMATE CONTOURS FOR THAT AREA. **SITE PLAN COMPLIES**

(D) A DELINEATION OF ALL WETLAND AREAS THAT WILL BE ALTERED OR USED AS A PART OF THE DEVELOPMENT. **NOT APPLICABLE**

(E) A GENERAL INDICATION OF THE CHARACTER OF VEGETATION FOUND ON THE SITE.

(F) THE DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED STRUCTURES AND IMPROVEMENTS INCLUDING BUT NOT LIMITED TO: BUILDINGS, PAVED OR GRAVELED AREAS, ROADS, UTILITIES, SEPTIC TANKS AND DRAINFIELDS, MATERIAL STOCK-PILES OR SURCHARGE, AND STORMWATER MANAGEMENT FACILITIES. **SITE PLAN COMPLIES**

(G) WHERE APPLICABLE, A LANDSCAPING PLAN FOR THE PROJECT. **REF LANDSCAPING PLANS FOR COMPREHENSIVE LANDSCAPING NOTES. DIAGRAMMATIC LANDSCAPING IS PROVIDED ON THIS SHORELINE SITE DEVELOPMENT PLAN.**

(H) WHERE APPLICABLE, YOU SHOULD INCLUDE PLANS FOR DEVELOPMENT OF AREAS ON OR OFF THE SITE AS MITIGATION FOR IMPACTS ASSOCIATED WITH YOUR PROPOSED PROJECT AND THOSE PLANS SHOULD CONTAIN INFORMATION CONSISTENT WITH THE REQUIREMENTS OF THIS SECTION. **REF CIVIL AND LANDSCAPING PLANS**

(I) QUANTITY, SOURCE, AND COMPOSITION OF ANY FILL MATERIAL THAT YOU PLACE ON THE SITE, WHETHER TEMPORARY OR PERMANENT. **NOT APPLICABLE**

(J) QUANTITY, COMPOSITION, AND DESTINATION OF ANY EXCAVATED OR DREDGED MATERIAL. **NOT APPLICABLE**

(K) A VICINITY MAP SHOWING THE RELATIONSHIP OF THE PROPERTY AND YOUR PROPOSED DEVELOPMENT OR USE TO ROADS, UTILITIES, EXISTING DEVELOPMENTS, AND USES ON ADJACENT PROPERTIES. **SITE PLAN COMPLIES. REF TO.0 FOR ADDITIONAL VICINITY PLAN.**

(L) WHERE APPLICABLE, A DEPICTION OF THE IMPACTS TO VIEWS FROM EXISTING RESIDENTIAL USES AND PUBLIC AREAS. **REF 3038366-LU FOR NEIGHBORING DEVELOPMENT.**

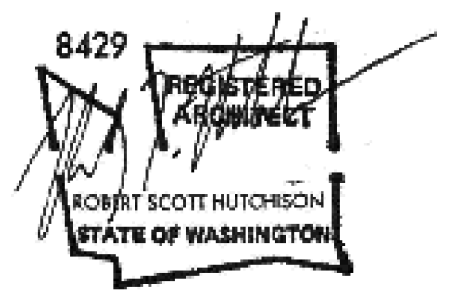
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**PERMIT DOCUMENTS**

04.14.2021	Pre-Application Site Plan
08.19.2021	Pre-Sub Conference: LU
02.08.2022	ECA Relief
04.05.2022	MUP Submission

**LAND USE NOTES**



SEATTLE MUNICIPAL CODE		117 E ALLISON ST.	
21.36.080	PLACEMENT OF CONTAINERS	A. ALL CONTAINERS FOR BACKYARD COLLECTION SHALL BE PLACED BY THE OCCUPANT IN A CONVENIENT, ACCESSIBLE LOCATION AS NEAR AS PRACTICABLE TO THE APPROXIMATE REAR OF THE BUILDING OR NEAR THE ALLEY, UPON THE GROUND LEVEL OR GROUND FLOOR, OR IN A STURDY RACK NOT OVER FOURTEEN (14) INCHES ABOVE SUCH LEVEL OR FLOOR, EXCEPT THAT SUNKEN CANS MAY BE BELOW THE GROUND LEVEL, WHERE NO OTHER SUITABLE AREA IS AVAILABLE. CONTAINERS MAY BE PLACED AT A LOCATION SELECTED BY THE CUSTOMER AND THE DIRECTOR OF SEATTLE PUBLIC UTILITIES. CONTAINERS FOR CURBSIDE/ALLEY COLLECTION SHALL BE PLACED AS FOLLOWS: 1. FROM PROPERTIES WITH LEVEL PLANTING STRIPS, IN THE PLANTING STRIP OR DRIVEWAY WITHIN ONE (1) YARD OF THE CURB; 2. FROM PROPERTIES WITH ALLEYS OF SUFFICIENT WIDTH, IN THE ALLEY OR WITHIN ONE (1) YARD OF THE ALLEY GATE IF THE GATE IS WITHIN ONE (1) YARD OF THE ALLEY; 3. FROM PROPERTIES WITH SIDEWALKS BUT NOT PLANTING STRIPS, ON THE OWNERS' PROPERTY, WITHIN ONE (1) YARD OF THE SIDEWALK, IF LEVEL; 4. WHEN THE FOREGOING LOCATION SLOPES AT A GRADE MAKING PLACEMENT OF A CONTAINER DIFFICULT, THE NEAREST REASONABLE LEVEL AREA; AND 5. IF THE PREMISES HAS NO SIDEWALK OR PLANTING STRIP, DENSE SHRUBBERY OR EXTRAORDINARY CIRCUMSTANCES PRECLUDE SUCH A LOCATION, FROM A PLACEMENT SUITABLE TO THE CUSTOMER AND CONVENIENT TO THE COLLECTION CONTRACTOR. B. CONTAINERS SHALL NOT BE PLACED ON THE SIDEWALK OR IN THE PLANTING STRIP OR THE ALLEY FOR COLLECTION UNTIL A REASONABLE TIME PRIOR TO COLLECTION. CONTAINERS SHALL BE REMOVED WITHIN A REASONABLE TIME THEREAFTER. C. DETACHABLE CONTAINERS MAY BE STORED WITHIN A BUILDING BUT SHALL BE READILY ACCESSIBLE FOR SERVICING WITHOUT UNNECESSARY DELAY OR SPECIAL COLLECTION EQUIPMENT.	COMPLIES, REF A0.3
23.47A.004 TABLE A	USE IN COMMERCIAL ZONES	J.1. RESIDENTIAL USES NOT LISTED BELOW (9) DWELLING UNITS	
23.47A.008.A2	BLANK FACADES	A. FOR PURPOSES OF THIS SECTION 23.47A.008, FACADE SEGMENTS ARE CONSIDERED BLANK IF THEY DO NOT INCLUDE AT LEAST ONE OF THE FOLLOWING:  1)WINDOWS; 2)ENTRYWAYS OR DOORWAYS; 3)STAIRS, STOOPS, OR PORTICOS; 4)DECKS OR BALCONIES; OR 5)SCREENING AND LANDSCAPING ON THE FACADE ITSELF. B. BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. C. THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40 PERCENT OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET.	ALONG E ALLISON, LANDSCAPE SCREENING IS PROVIDED  REF BLANK FACADE COMPLIANCE DIAGRAMS ON A0.2
23.47A.008.B2	TRANSPARENCY (NON-RESIDENTIAL STREET USE)	A. SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT. FOR PURPOSES OF CALCULATING THE 60 PERCENT OF A STRUCTURE'S STREET-FACING FACADE, THE WIDTH OF A DRIVEWAY AT STREET LEVEL, NOT TO EXCEED 22 FEET, MAY BE SUBTRACTED FROM THE WIDTH OF THE STREET-FACING FACADE IF THE ACCESS CANNOT BE PROVIDED FROM AN ALLEY OR FROM A STREET THAT IS NOT A DESIGNATED PRINCIPAL PEDESTRIAN STREET. B. TRANSPARENT AREAS OF FACADES SHALL BE DESIGNED AND MAINTAINED TO PROVIDE VIEWS INTO AND OUT OF THE STRUCTURE, EXCEPT FOR INSTITUTIONAL USES, NO PERMANENT SIGNAGE, WINDOW TINTING OR TREATMENTS, SHELVING, OTHER FURNISHINGS, FIXTURES, EQUIPMENT, OR STORED ITEMS SHALL COMPLETELY BLOCK VIEWS INTO AND OUT OF THE STRUCTURE BETWEEN 4 FEET AND 7 FEET ABOVE ADJACENT GRADE. THE INSTALLATION OF TEMPORARY SIGNS OR DISPLAYS THAT COMPLETELY BLOCK VIEWS MAY BE ALLOWED IF SUCH TEMPORARY SIGN COMPLIES WITH SUBSECTION 23.55.012.B.	
23.47A.008.B3	DEPTH PROVISIONS	A. NON-RESIDENTIAL USES GREATER THAN 600 SQUARE FEET SHALL EXTEND AN AVERAGE DEPTH OF AT LEAST 30 FEET AND A MINIMUM DEPTH OF 15 FEET FROM THE STREET-LEVEL, STREET-FACING FACADE.	NOT APPLICABLE
23.47A.008.B4	STREET LEVEL DEVELOPMENT STANDARDS: NON-RESIDENTIAL - HEIGHT	HEIGHT PROVISIONS FOR NEW STRUCTURES OR NEW ADDITIONS TO EXISTING STRUCTURES. NON-RESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FLOOR-TO-FLOOR HEIGHT OF AT LEAST 13 FEET.	NOT APPLICABLE
23.47A.008.D	STREET LEVEL DEVELOPMENT STANDARDS: RESIDENTIAL	WHERE RESIDENTIAL USES ARE LOCATED ALONG A STREET-LEVEL, STREET-FACING FACADE, THE FOLLOWING REQUIREMENTS APPLY UNLESS EXEMPTED BY SUBSECTION 23.47A.008.G:  1. AT LEAST ONE OF THE STREET-LEVEL, STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY; AND 2. THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL, STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK. AN EXCEPTION TO THE STANDARDS OF THIS SUBSECTION 23.44.008.D.2 MAY BE GRANTED AS A TYPE I DECISION IF THE FOLLOWING CRITERIA ARE MET:  A. AN ACCESSIBLE ROUTE TO THE UNIT IS NOT ACHIEVABLE IF THE STANDARD IS APPLIED OR EXISTING SITE CONDITIONS SUCH AS TOPOGRAPHY MAKE ACCESS IMPRACTICAL IF THE STANDARD IS APPLIED; B. THE FLOOR IS AT LEAST 18 INCHES ABOVE AVERAGE SIDEWALK GRADE OR 4 FEET BELOW SIDEWALK GRADE, OR IS SET BACK AT LEAST 10 FEET FROM THE SIDEWALK; AND C. THE VISUALLY PROMINENT PEDESTRIAN ENTRY IS MAINTAINED.  SIGNS OR DISPLAYS THAT COMPLETELY BLOCK VIEWS MAY BE ALLOWED IF SUCH TEMPORARY SIGN COMPLIES WITH SUBSECTION 23.55.012.B.	VISUALLY PROMINENT PEDESTRIAN COURTYARD ENTRANCE IS PROVIDED RESIDENTIAL UNIT IS GREATER THAN 4'-0" ABOVE SIDEWALK AT THAT LOCATION

23.47A.008.F		F. THE DIRECTOR MAY ALLOW EXCEPTIONS TO THE STREET-LEVEL REQUIREMENTS OF THIS SECTION 23.47A.008, AS A TYPE I DECISION, FOR PROJECTS THAT ARE NOT SUBJECT TO THE DESIGN REVIEW PROCESS, EXCEPT THAT IN A PEDESTRIAN-DESIGNATED ZONE EXCEPTIONS MAY NOT BE GRANTED FOR REQUIREMENTS FOR RESIDENTIAL USES AT STREET LEVEL, TRANSPARENCY REQUIREMENTS, OR FLOOR-TO-FLOOR HEIGHT REQUIREMENTS AS DESCRIBED IN SUBSECTION 23.41.012.B. EXCEPTIONS MAY BE GRANTED IF THE DIRECTOR DETERMINES THAT THE PROJECT WILL MAINTAIN THE SAFETY AND AESTHETICS OF THE STREETScape FOR PEDESTRIANS AND WILL: 4. MAINTAIN THE PRIVACY OF RESIDENTIAL USES; OR MAX FAR 3.75 B. THE FOLLOWING GROSS FLOOR AREA IS NOT COUNTED TOWARD FAR: 1. ALL UNDERGROUND STORIES OR PORTIONS OF STORIES; 2. ALL PORTIONS OF A STORY THAT EXTEND NO MORE THAN 4 FEET ABOVE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, EXCLUDING ACCESS;	
23.47A.013	FAR		COMPLIES, REF A0.0 & A0.2
23.47A.013	SETBACKS		NOT APPLICABLE
23.47A.015	VIEW CORRIDORS	A. ON LOTS THAT ARE PARTIALLY WITHIN THE SHORELINE DISTRICT, A VIEW CORRIDOR SHALL BE REQUIRED FOR THE ENTIRE LOT IF THE PORTION OF THE LOT IN THE SHORELINE DISTRICT IS REQUIRED TO PROVIDE A VIEW CORRIDOR UNDER THE SEATTLE SHORELINE MASTER PROGRAM. B. MEASUREMENT AND MODIFICATION OF THE VIEW CORRIDOR REQUIREMENT MUST BE ACCORDING TO THE SHORELINE DISTRICT MEASUREMENT REGULATIONS.	RE SHORELINE COMPLIANCE NOTES, BELOW
23.47A.016.A	LANDSCAPING	2. LANDSCAPING THAT ACHIEVES A GREEN FACTOR SCORE OF 0.3 OR GREATER, PURSUANT TO SECTION 23.86.019, IS REQUIRED FOR ANY LOT WITH A DEVELOPMENT CONTAINING MORE THAN FOUR NEW DWELLING UNITS OR A CONGRUATE RESIDENCE...	COMPLIES, REF LANDSCAPE PLANS
23.47A.016.B	STREET TREE REQUIREMENTS	3. WHEN AN EXISTING STRUCTURE IS PROPOSED TO BE EXPANDED BY MORE THAN 1,000 SQUARE FEET, ONE STREET TREE IS REQUIRED FOR EACH 500 SQUARE FEET OVER THE FIRST 1,000 SQUARE FEET OF ADDITIONAL STRUCTURE, UP TO THE MAXIMUM NUMBER OF TREES THAT WOULD BE REQUIRED FOR NEW CONSTRUCTION. 4. IF IT IS NOT FEASIBLE TO PLANT TREE TREES IN A RIGHT-OF-WAY PLANTING STRIP, A 5-FOOT SETBACK OR LANDSCAPED PLANTING STRIP SHALL BE PROVIDED IN THE PLANTING STRIP, SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION. IF, ACCORDING TO THE DIRECTOR OF TRANSPORTATION, A 5-FOOT SETBACK OR LANDSCAPED PLANTING STRIP IS NOT FEASIBLE, THE DIRECTOR OF THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS MAY REDUCE OR WAIVE THIS REQUIREMENT. 4. IF IT IS NOT FEASIBLE TO PLANT STREET TREES IN A RIGHT-OF-WAY PLANTING STRIP, A 5-FOOT SETBACK SHALL BE PLANTED WITH STREET TREES ALONG THE STREET PROPERTY LINE OR LANDSCAPING OTHER THAN TREES SHALL BE PROVIDED IN THE PLANTING STRIP, SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION. IF, ACCORDING TO THE DIRECTOR OF TRANSPORTATION, A 5-FOOT SETBACK OR LANDSCAPED PLANTING STRIP IS NOT FEASIBLE, THE DIRECTOR OF THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS MAY REDUCE OR WAIVE THIS REQUIREMENT.	COMPLIES, REF LANDSCAPE PLANS
23.47A.024	AMENITY AREA	A. AMENITY AREAS ARE REQUIRED IN AN AMOUNT EQUAL TO 5 PERCENT OF THE TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE, EXCEPT AS OTHERWISE SPECIFICALLY PROVIDED IN THIS CHAPTER 23.47A, GROSS FLOOR AREA, FOR THE PURPOSES OF THIS SUBSECTION 23.47A.024.A, EXCLUDES AREAS USED FOR MECHANICAL EQUIPMENT AND ACCESSORY PARKING. FOR THE PURPOSES OF THIS SUBSECTION 23.47A.024.A, BIORETENTION FACILITIES QUALIFY AS AMENITY AREAS. B. REQUIRED AMENITY AREAS SHALL MEET THE FOLLOWING STANDARDS, AS APPLICABLE: 1. ALL RESIDENTS SHALL HAVE ACCESS TO AT LEAST ONE COMMON OR PRIVATE AMENITY AREA. 2. AMENITY AREAS SHALL NOT BE ENCLOSED. 3. PARKING AREAS, VEHICULAR ACCESS EASEMENTS, AND DRIVEWAYS DO NOT QUALIFY AS AMENITY AREAS, EXCEPT THAT A WOONERF MAY PROVIDE A MAXIMUM OF 50 PERCENT OF THE AMENITY AREA IF THE DESIGN OF THE WOONERF IS APPROVED THROUGH A DESIGN REVIEW PROCESS PURSUANT TO CHAPTER 23.41. 4. COMMON AMENITY AREAS SHALL HAVE A MINIMUM HORIZONTAL DIMENSION OF 10 FEET, AND NO COMMON AMENITY AREA SHALL BE LESS THAN 250 SQUARE FEET IN SIZE. 5. PRIVATE BALCONIES AND DECKS SHALL HAVE A MINIMUM AREA OF 60 SQUARE FEET, AND NO HORIZONTAL DIMENSION SHALL BE LESS THAN 6 FEET. 6. ROOFTOP AREAS EXCLUDED BECAUSE THEY ARE NEAR MINOR COMMUNICATION UTILITIES AND ACCESSORY COMMUNICATION DEVICES, PURSUANT TO SUBSECTION 23.57.012.C.1.D, DO NOT QUALIFY AS AMENITY AREAS. EATING AND DRINKING: 1 SPACE FOR 250 SQUARE FEET	PRIVATE BALCONY AND SHARED COURTYARD PROVIDED, REF A0.2
23.54.015	REQUIRED PARKING-COMMERCIAL	II. K NON-RESIDENTIAL USES IN URBAN VILLAGES THAT ARE NOT WITHIN AN URBAN CENTER OR THE STATION AREA OVERLAY DISTRICT, IF THE NON-RESIDENTIAL USE IS LOCATED WITHIN A FREQUENT TRANSIT SERVICE AREA	NOT APPLICABLE
23.54.015	REQUIRED PARKING-RESIDENTIAL	MULTI-FAMILY RESIDENTIAL: 1 SPACE PER UNIT	CAR PARKING REQ: 0 CAR PARKING PROVIDED: 0
23.54.015.K	BICYCLE PARKING		NONE REQUIRED (2) SHORT TERM PARKING SPACES PROVIDED. LONG TERM BIKE PARKING FEASIBLE IN EACH DWELLING UNIT.
23.54.040	SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS	URBAN CENTER VILLAGE: NO MINIMUM REQ A. EXCEPT AS PROVIDED IN SUBSECTION 23.54.040.I, IN RSL, DOWNTOWN, MULTIFAMILY, MASTER PLANNED COMMUNITY, AND COMMERCIAL ZONES, STORAGE SPACE FOR SOLID WASTE AND RECYCLABLE MATERIALS CONTAINERS SHALL BE PROVIDED AS SHOWN IN TABLE A FOR 23.54.040 FOR ALL NEW STRUCTURES, AND FOR EXISTING STRUCTURES TO WHICH TWO OR MORE DWELLING UNITS ARE ADDED. 1. RESIDENTIAL USES PROPOSED TO BE LOCATED ON SEPARATE PLATTED LOTS, FOR WHICH EACH DWELLING UNIT WILL BE BILLED SEPARATELY FOR UTILITIES, SHALL PROVIDE ONE STORAGE AREA PER DWELLING UNIT THAT HAS MINIMUM DIMENSIONS OF 2 FEET BY 6 FEET. E. THE LOCATION OF ALL STORAGE SPACES SHALL MEET THE FOLLOWING REQUIREMENTS:	COMPLIES, REF A0.3

23.60A.190	STANDARDS FOR VEGETATION AND IMPERVIOUS SURFACE MANAGEMENT	A. PLANTING, DISTURBING OR REMOVING VEGETATION AND ADDING, ALTERING OR REMOVING IMPERVIOUS SURFACE SHALL COMPLY WITH THE PROVISIONS OF THIS CHAPTER 23.60A, INCLUDING SECTIONS 23.60A.156, 23.60A.158, AND 23.60A.172, UNLESS PROVIDED OTHERWISE IN THIS SECTION 23.60A.190.	REF CIVIL & LANDSCAPE PLANS FOR VEGETATION AND IMPERVIOUS SURFACE NOTES
23.60A.380	APPLICABLE STANDARDS IN THE UC ENVIRONMENT	ALL USES AND DEVELOPMENTS IN THE UC ENVIRONMENT, INCLUDING SHORELINE MODIFICATIONS, ARE SUBJECT TO THE STANDARDS SET OUT IN SUBCHAPTER III OF THIS CHAPTER 23.60A AND TO THE STANDARDS FOR THE UC ENVIRONMENT.	
23.60A.383	USES ALLOWED ON UPLAND LOTS IN THE UC ENVIRONMENT		RESIDENTIAL USE PERMITTED
23.60A.386.A	HEIGHT IN THE UC ENVIRONMENT - MAXIMUM	1. THE MAXIMUM HEIGHT IS 30 FEET IN ALL LOCATIONS...	PROJECT COMPLIES WITH 30' MAXIMUM HEIGHT LIMIT, REF A2.3
23.60A.386.D	HEIGHT IN THE UC ENVIRONMENT - ROOFTOP FEATURES	2. CLERESTORIES, FIREWALLS, GREEN ROOFS, GREENHOUSES, MONITORS, OPEN RAILINGS, PARAPETS, PLANTERS, SKYLIGHTS AND SOLAR COLLECTORS MAY EXTEND UP TO 4 FEET ABOVE THE MAXIMUM HEIGHT LIMIT WITH UNLIMITED ROOFTOP COVERAGE, WHERE ALLOWED IN THE UNDERLYING ZONE OR SPECIAL DISTRICT, EXCEPT WHERE THE WIDTH OF SUCH FEATURES OBSTRUCTS THE VIEW OF THE SHORELINE FROM A SUBSTANTIAL NUMBER OF RESIDENCES WITHIN OR ADJOINING THE SHORELINE DISTRICT, IN WHICH CASE THE DIRECTOR MAY REDUCE THE HEIGHT ALLOWED. 4. STRUCTURES MAY EXTEND 18 INCHES ABOVE THE MAXIMUM HEIGHT LIMIT IF THE ROOF INSULATION EXCEEDS THE ENERGY CODE REQUIREMENTS IN EFFECT WHEN THE STRUCTURE IS CONSTRUCTED.	OPEN RAILINGS AND PARAPETS EXTEND NO MORE THAN 4 FEET ABOVE LIMIT
23.60A.394	VIEW CORRIDORS IN THE UC ENVIRONMENT	A. A VIEW CORRIDOR OR CORRIDORS OF NOT LESS THAN 35 PERCENT OF THE WIDTH OF THE LOT SHALL BE PROVIDED AND MAINTAINED ON ALL WATERFRONT LOTS AND ON ANY UPLAND THROUGH LOT DESIGNATED UC SEPARATED FROM THE WATER BY A STREET, RAILROAD RIGHT-OF-WAY, OR A WATERFRONT LOT DESIGNATED CM, CR, CP OR CN, EXCEPT AS PROVIDED IN SUBSECTION 23.60A.394.D.	COMPLIES, R-38 ROOF INSULATION IS REQUIRED, ROOF INSULATION GREATER THAN R-38 SHALL BE PROVIDED
23.60A.052	AVERAGE GRADE CALC IN SHORELINE ENV	HEIGHT OF STRUCTURES SHALL BE DETERMINED BY MEASURING FROM THE AVERAGE GRADE OF THE LOT IMMEDIATELY PRIOR TO THE PROPOSED DEVELOPMENT TO THE HIGHEST POINT OF THE STRUCTURE NOT OTHERWISE EXCEPTED FROM THE HEIGHT LIMITS. CALCULATION OF THE AVERAGE GRADE LEVEL SHALL BE MADE BY AVERAGING THE ELEVATIONS AT THE CENTER OF ALL EXTERIOR WALLS OF THE PROPOSED BUILDING OR STRUCTURE. IN THE CASE OF STRUCTURES TO BE BUILT OVER WATER, AVERAGE GRADE LEVEL SHALL BE THE ELEVATION OF ORDINARY HIGH WATER.	NOT APPLICABLE. LOT IS AN UPLAND LOT, NOT AN UPLAND THROUGH LOT.  REF AVERAGE GRADE CALC AND AVERAGE GRADE DIAGRAM ON A0.0

1. THE STORAGE SPACE SHALL BE LOCATED ON THE LOT OF THE STRUCTURE IT SERVES AND, IF LOCATED OUTDOORS, SHALL NOT BE LOCATED BETWEEN A STREET-FACING FACADE OF THE STRUCTURE AND THE STREET;	COMPLIES, REF A0.3
2. THE STORAGE SPACE SHALL NOT BE LOCATED IN ANY REQUIRED DRIVEWAYS, PARKING AISLES, OR PARKING SPACES;	NOT APPLICABLE
3. THE STORAGE SPACE SHALL NOT BLOCK OR IMPEDE ANY FIRE EXITS, ANY PUBLIC RIGHTS-OF-WAY, OR ANY PEDESTRIAN OR VEHICULAR ACCESS;	COMPLIES, REF A0.3
4. THE STORAGE SPACE SHALL BE LOCATED TO MINIMIZE NOISE AND ODOR IMPACTS ON BUILDING OCCUPANTS AND BEYOND THE LOT LINES OF THE LOT;	COMPLIES, REF A0.3
5. THE STORAGE SPACE SHALL MEET THE CONTRACTOR SAFETY STANDARDS PROMULGATED BY THE DIRECTOR OF SEATTLE PUBLIC UTILITIES; AND	COMPLIES
6. THE STORAGE SPACE SHALL NOT BE USED FOR PURPOSES OTHER THAN SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS.	COMPLIES, REF A0.3
F. ACCESS FOR SERVICE PROVIDERS TO THE STORAGE SPACE FROM THE COLLECTION LOCATION SHALL MEET THE FOLLOWING REQUIREMENTS: 1. FOR CONTAINERS 2 CUBIC YARDS OR SMALLER: A. CONTAINERS TO BE MANUALLY PULLED SHALL BE PLACED NO MORE THAN 50 FEET FROM A CURB CUT OR COLLECTION LOCATION; B. COLLECTION LOCATION SHALL NOT BE WITHIN A BUS STOP OR WITHIN THE RIGHT-OF-WAY AREA ADJUTTING A VEHICULAR LANE DESIGNATED AS A SOLE TRAVEL LANE FOR A BUS; C. ACCESS RAMP TO THE STORAGE SPACE AND COLLECTION LOCATION SHALL NOT EXCEED A GRADE OF SIX PERCENT; AND D. ANY GATES OR ACCESS ROUTES FOR TRUCKS SHALL BE A MINIMUM OF 10 FEET WIDE. G. ACCESS FOR OCCUPANTS TO THE STORAGE SPACE FROM THE COLLECTION LOCATION SHALL MEET THE FOLLOWING REQUIREMENTS: 1. DIRECT ACCESS SHALL BE PROVIDED FROM THE ALLEY OR STREET TO THE CONTAINERS; 2. A PICK-UP LOCATION WITHIN 50 FEET OF A CURB CUT OR COLLECTION LOCATION SHALL BE DESIGNATED THAT MINIMIZES ANY BLOCKAGE OF PEDESTRIAN MOVEMENT ALONG A SIDEWALK OR OTHER RIGHT-OF-WAY; 3. IF A PLANTING STRIP IS DESIGNATED AS A PICK-UP LOCATION, ANY REQUIRED LANDSCAPING SHALL BE DESIGNED TO ACCOMMODATE THE SOLID WASTE AND RECYCLABLE CONTAINERS WITHIN THIS AREA.	COMPLIES, REF A0.1 & A0.3 COMPLIES, REF A0.1 & A0.3 NOT APPLICABLE



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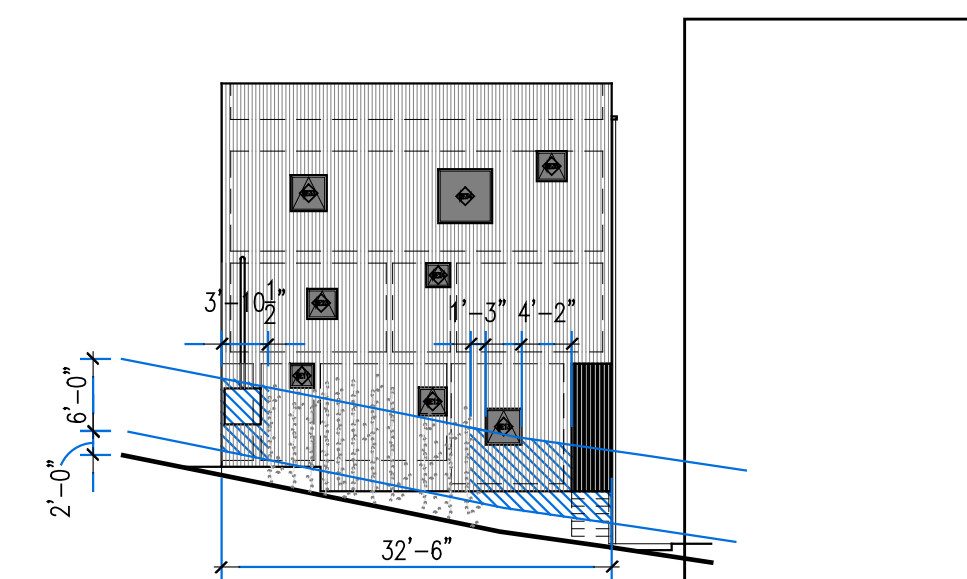
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**LANDSCAPE ARCHITECT**  
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SMC 23.47A.008.A.2.b BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. **MAX BLANK LENGTH = 4'-2"**

SMC 23.47A.008.A.2.c THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40 PERCENT OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET. **TOTAL OF ALL BLANK FACADES = 9'-3 1/2", WHICH IS 28.5% OF TOTAL FACADE LENGTH**

**1 BLANK FACADE DIAGRAM - E ALLISON**  
SCALE: 1/16" = 1'-0"

LAND USE NOTES



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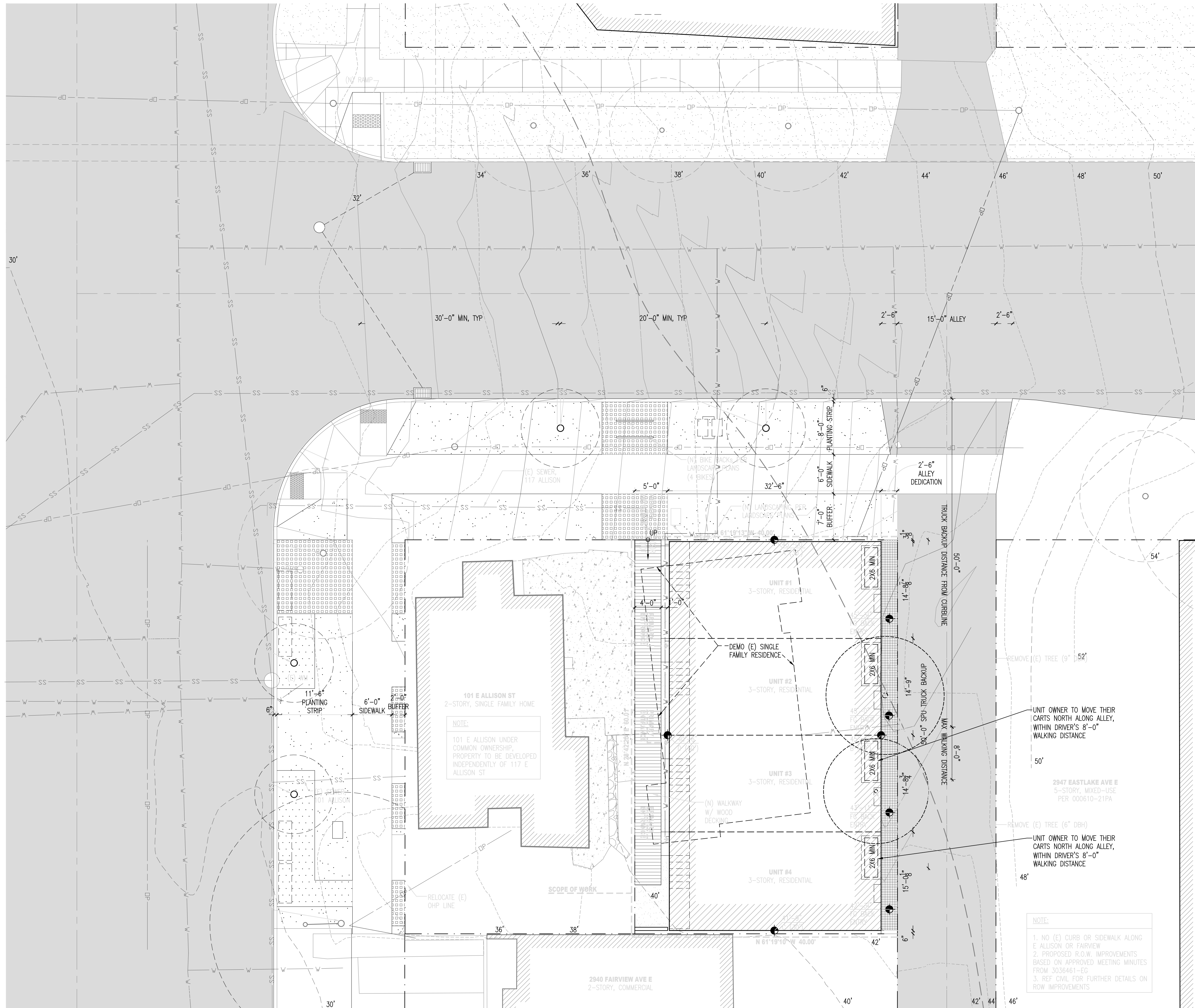
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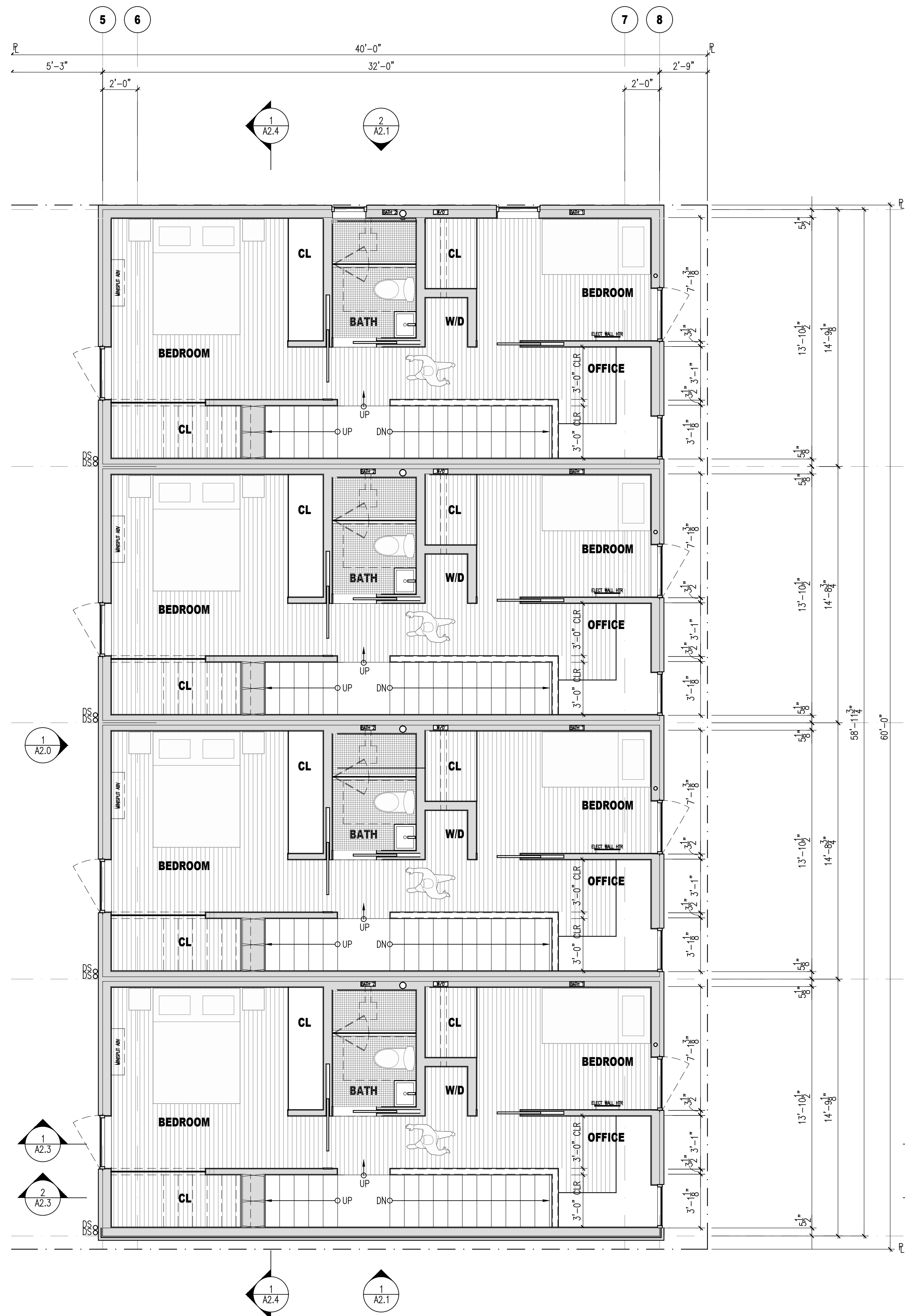


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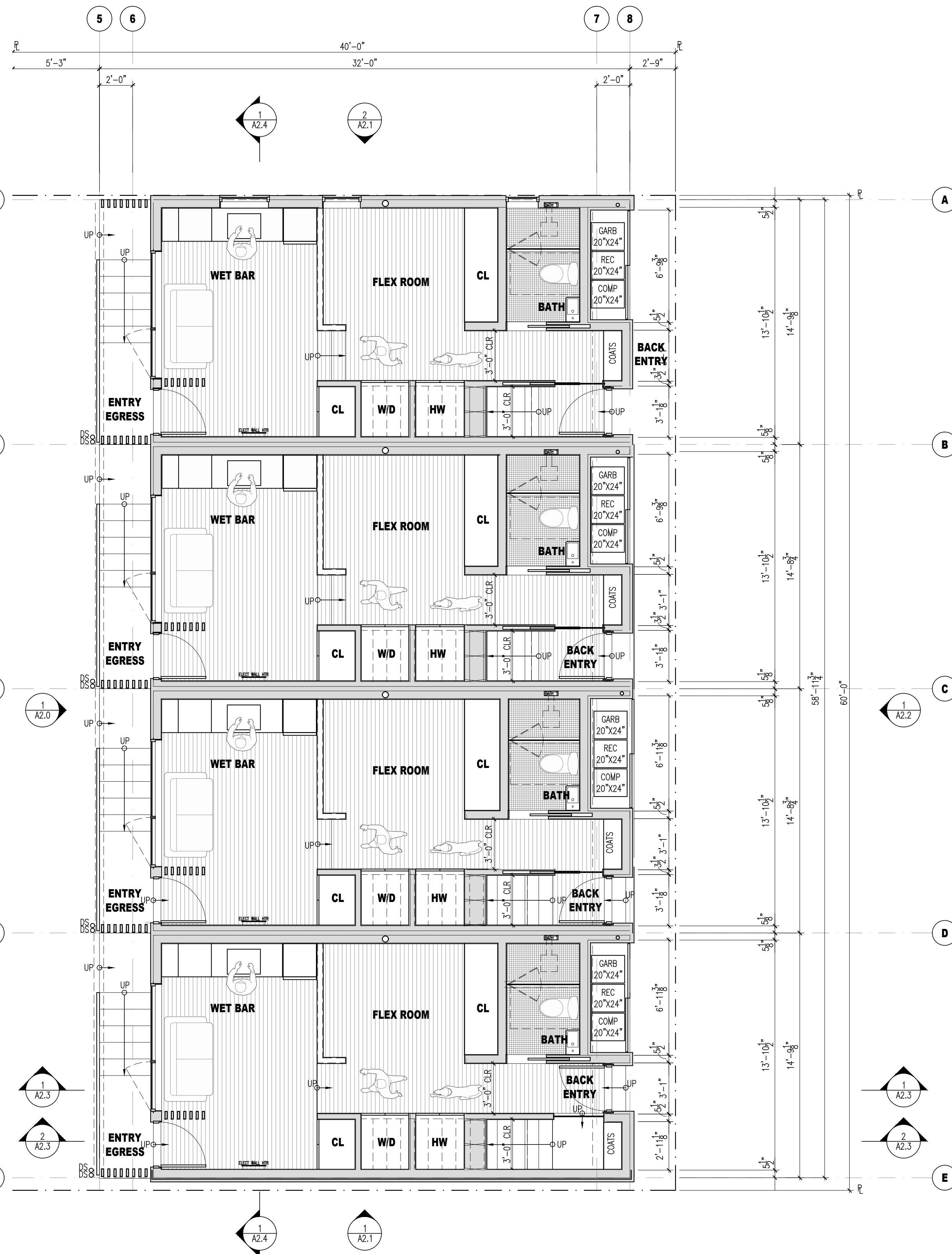
SOLID WASTE PLAN



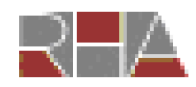
1 SITE PLAN  
SCALE: 1/8" = 1'-0"



PROJECT NORTH NORTH  
**117 - SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



PROJECT NORTH NORTH  
**117 - FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



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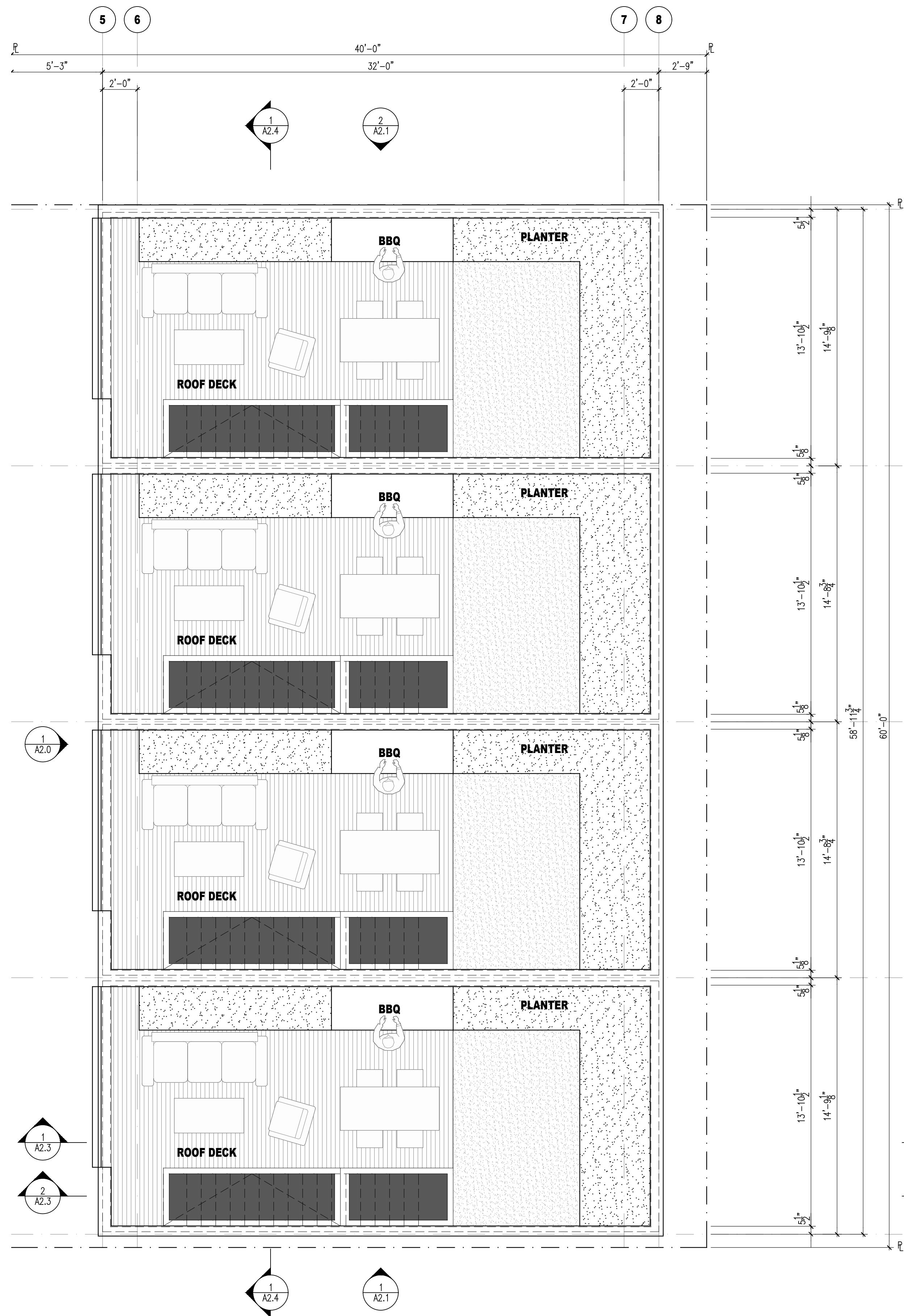
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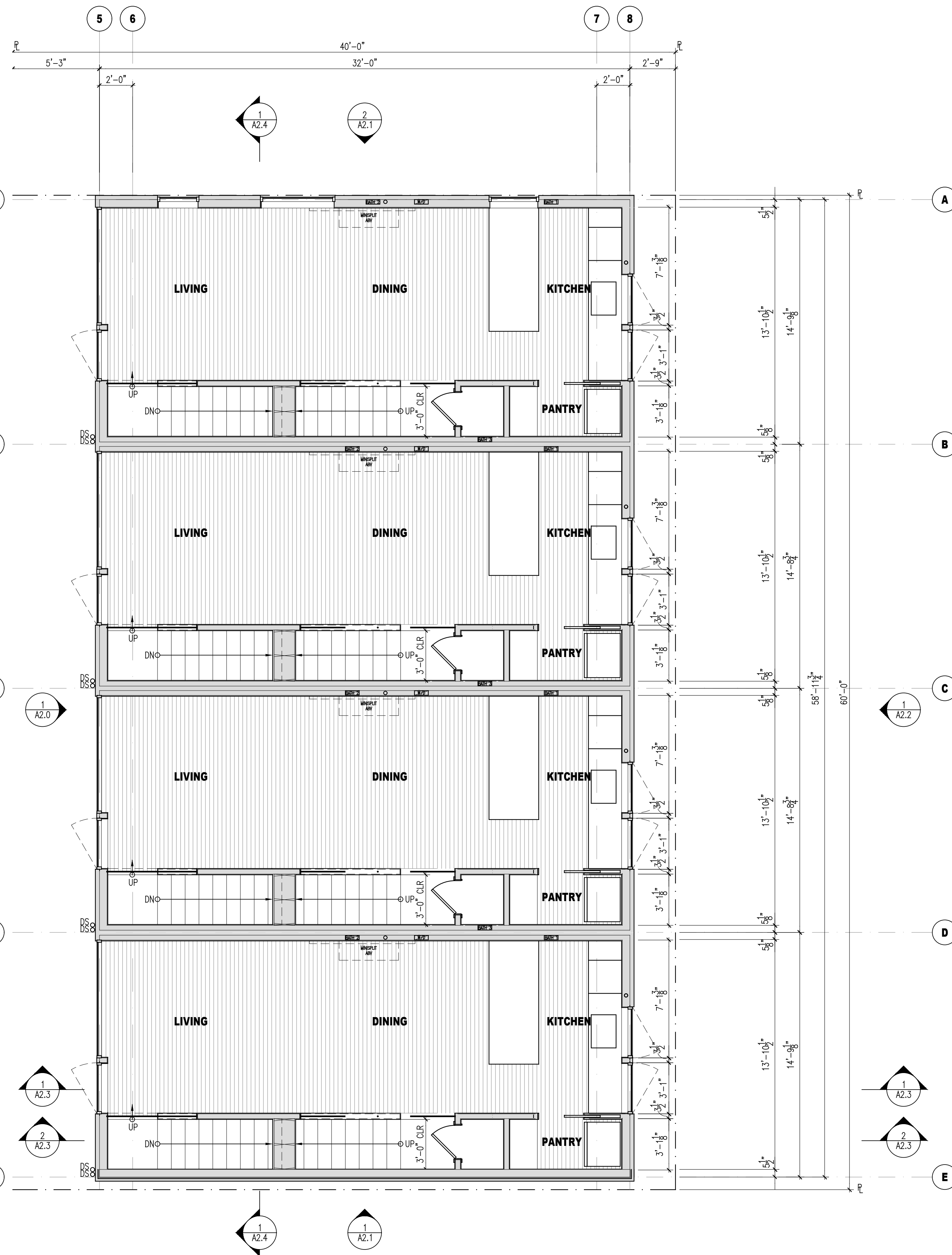


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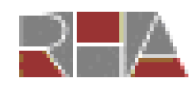
FLOOR PLANS



PROJECT NORTH NORTH  
**117 - ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



PROJECT NORTH NORTH  
**117 - THIRD FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



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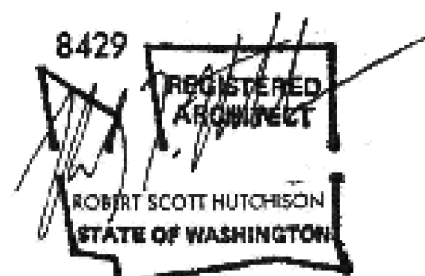
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FLOOR PLANS



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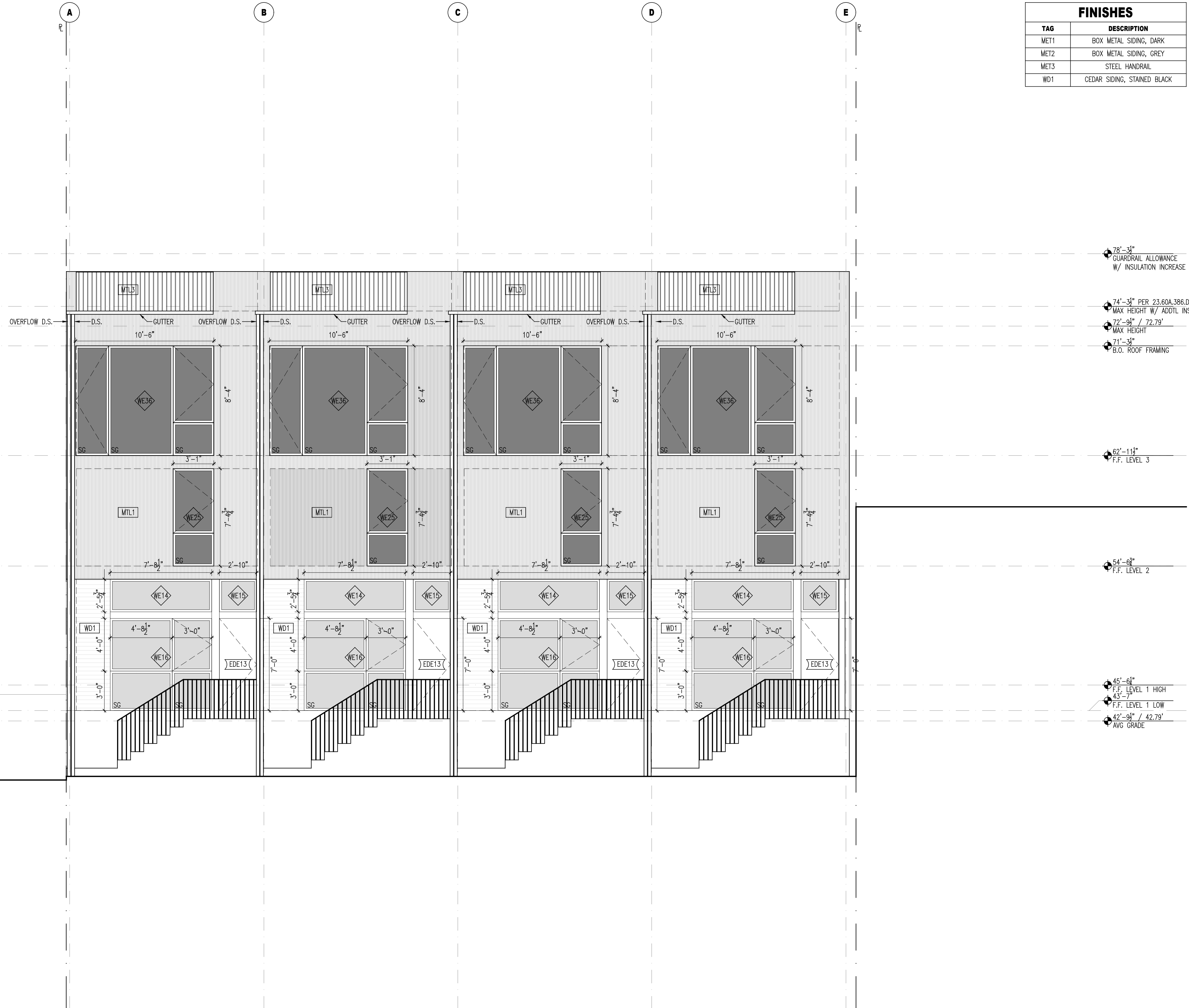
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LANDSCAPE ARCHITECT  
GLENN TAKAGI  
18550 FIRLANDS WAY NORTH  
SHORELINE, WA 98133  
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FINISHES	
TAG	DESCRIPTION
MET1	BOX METAL SIDING, DARK
MET2	BOX METAL SIDING, GREY
MET3	STEEL HANDRAIL
WD1	CEDAR SIDING, STAINED BLACK



1 WEST ELEVATION - 117  
SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS

A2.0 117

PERMIT DOCUMENTS

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LANDSCAPE ARCHITECT  
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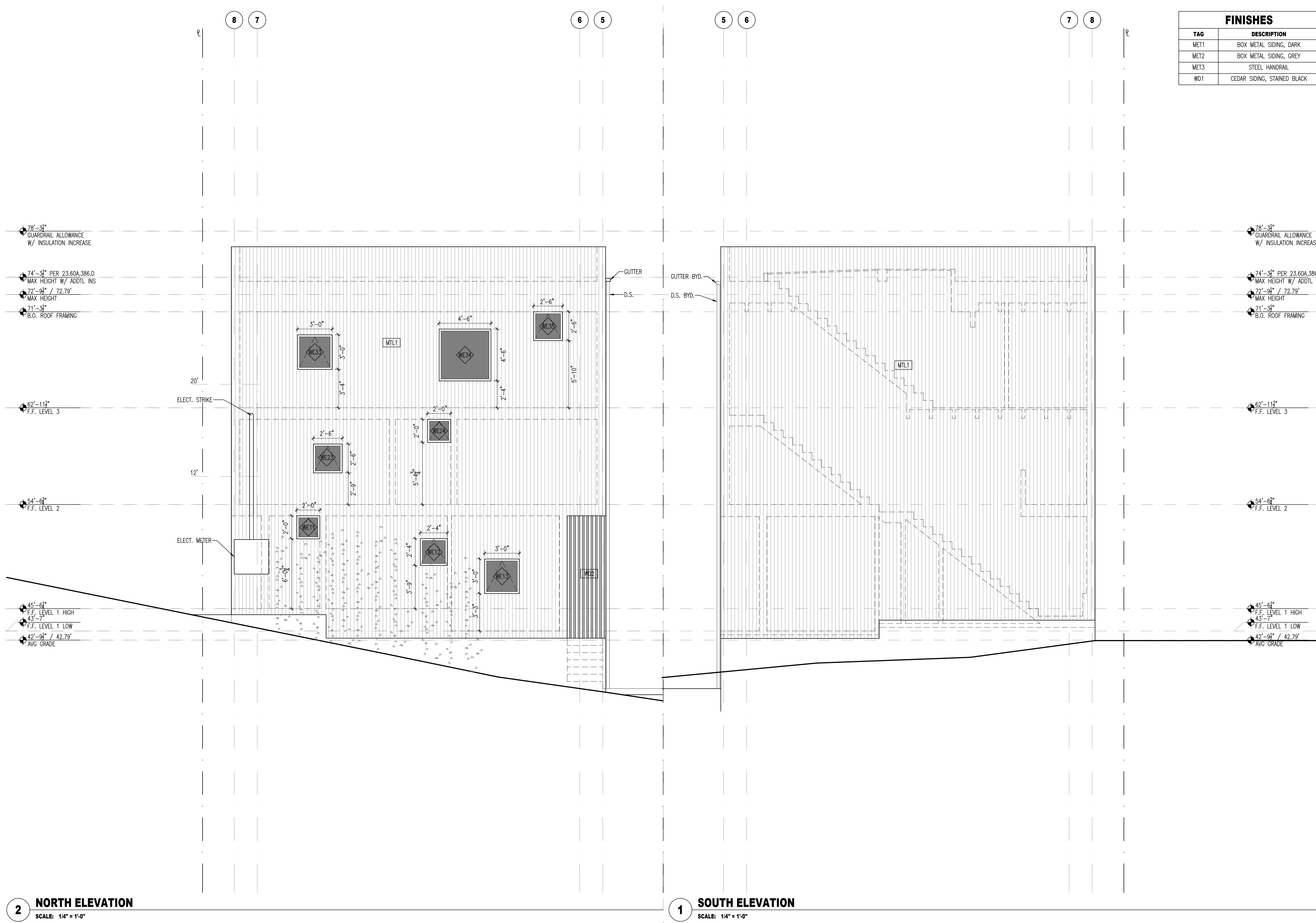


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BUILDING ELEVATIONS

A2.1 117

FINISHES	
TAG	DESCRIPTION
MET1	BOX METAL SIDING, DARK
MET2	BOX METAL SIDING, GREY
MET3	STEEL HANDRAIL
WD1	CEDAR SIDING, STAINED BLACK



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



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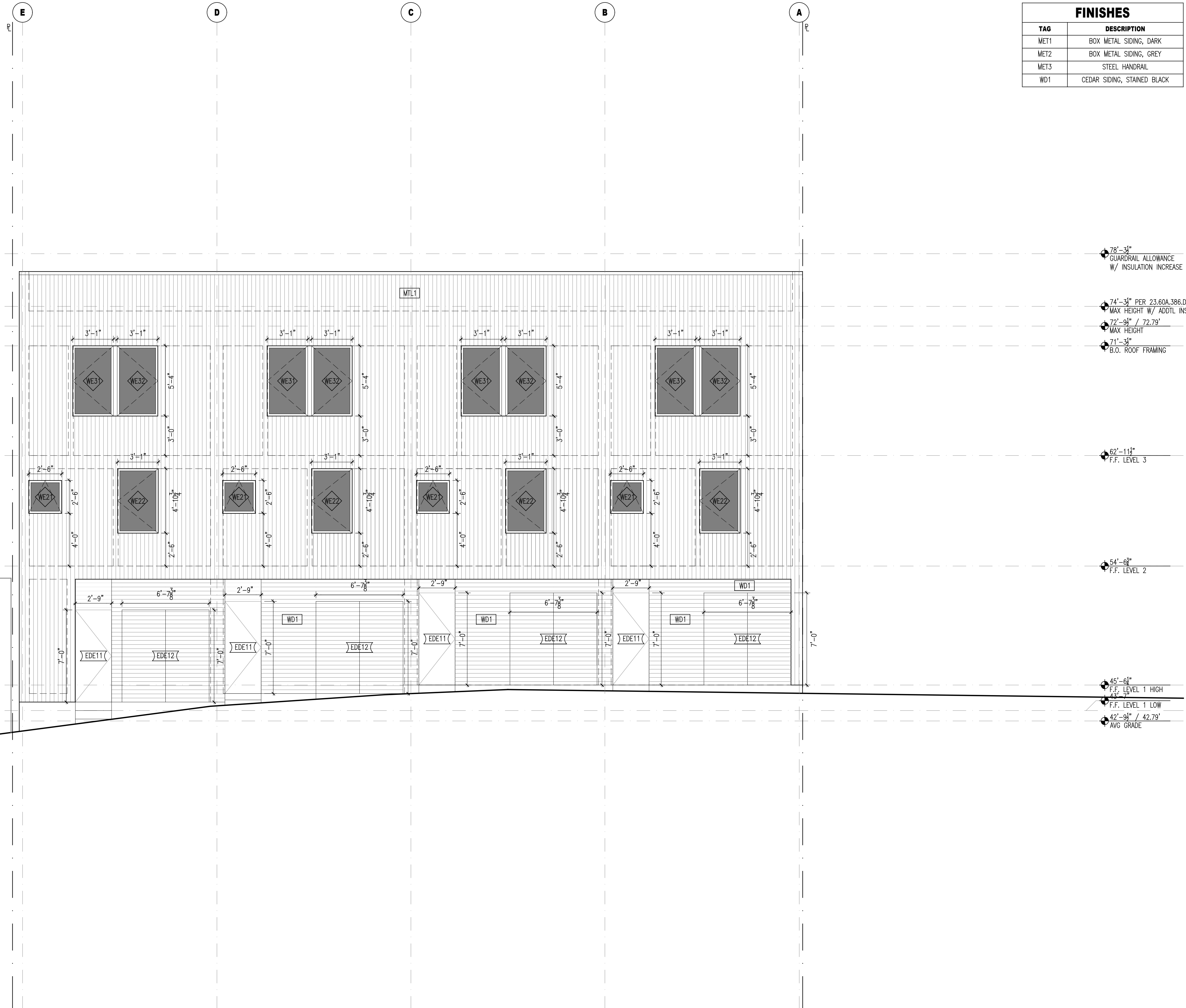
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LANDSCAPE ARCHITECT  
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FINISHES	
TAG	DESCRIPTION
MET1	BOX METAL SIDING, DARK
MET2	BOX METAL SIDING, GREY
MET3	STEEL HANDRAIL
WD1	CEDAR SIDING, STAINED BLACK



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS

A2.2 117

PERMIT DOCUMENTS

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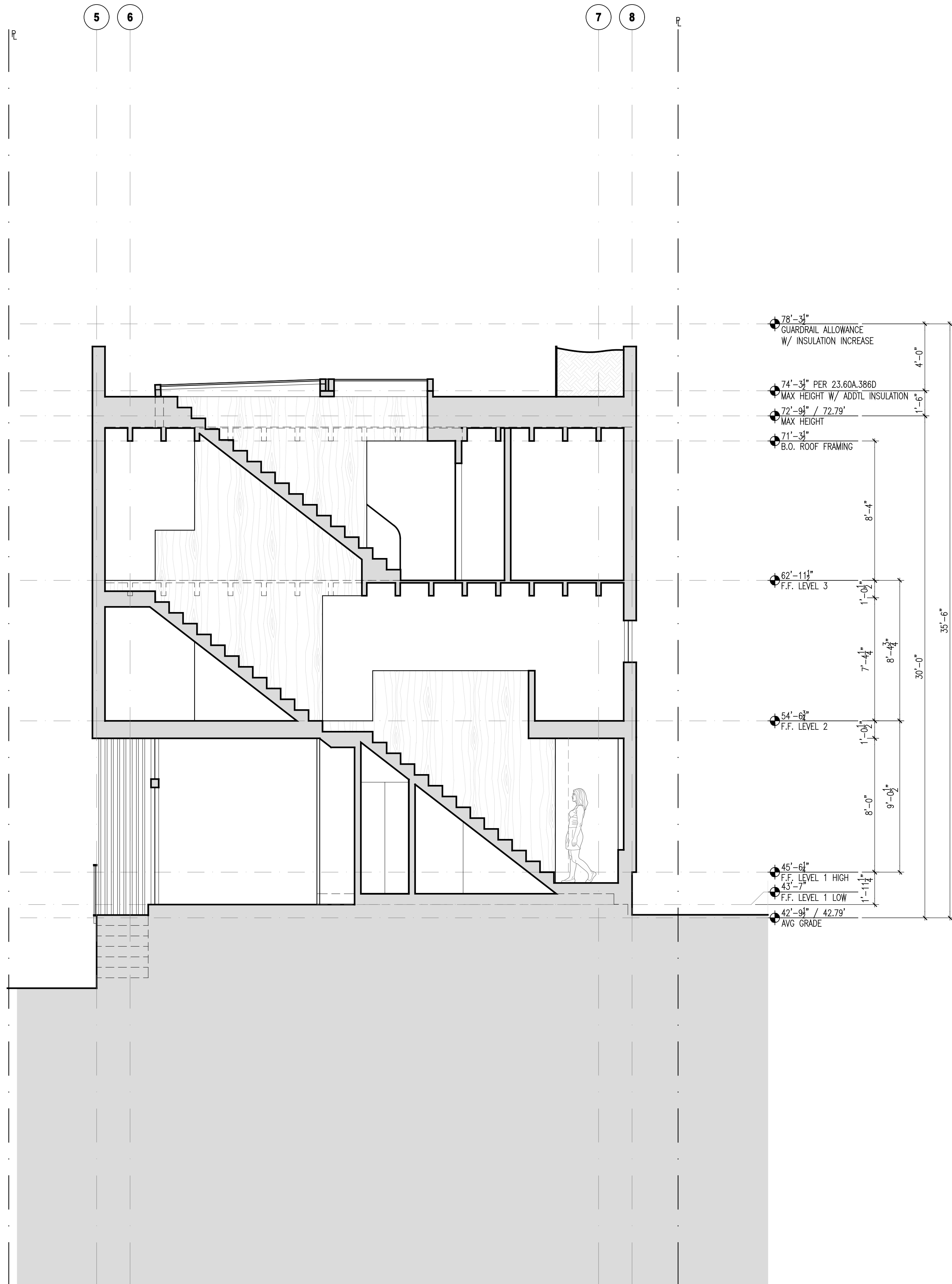
LANDSCAPE ARCHITECT  
GLENN TAKAGI  
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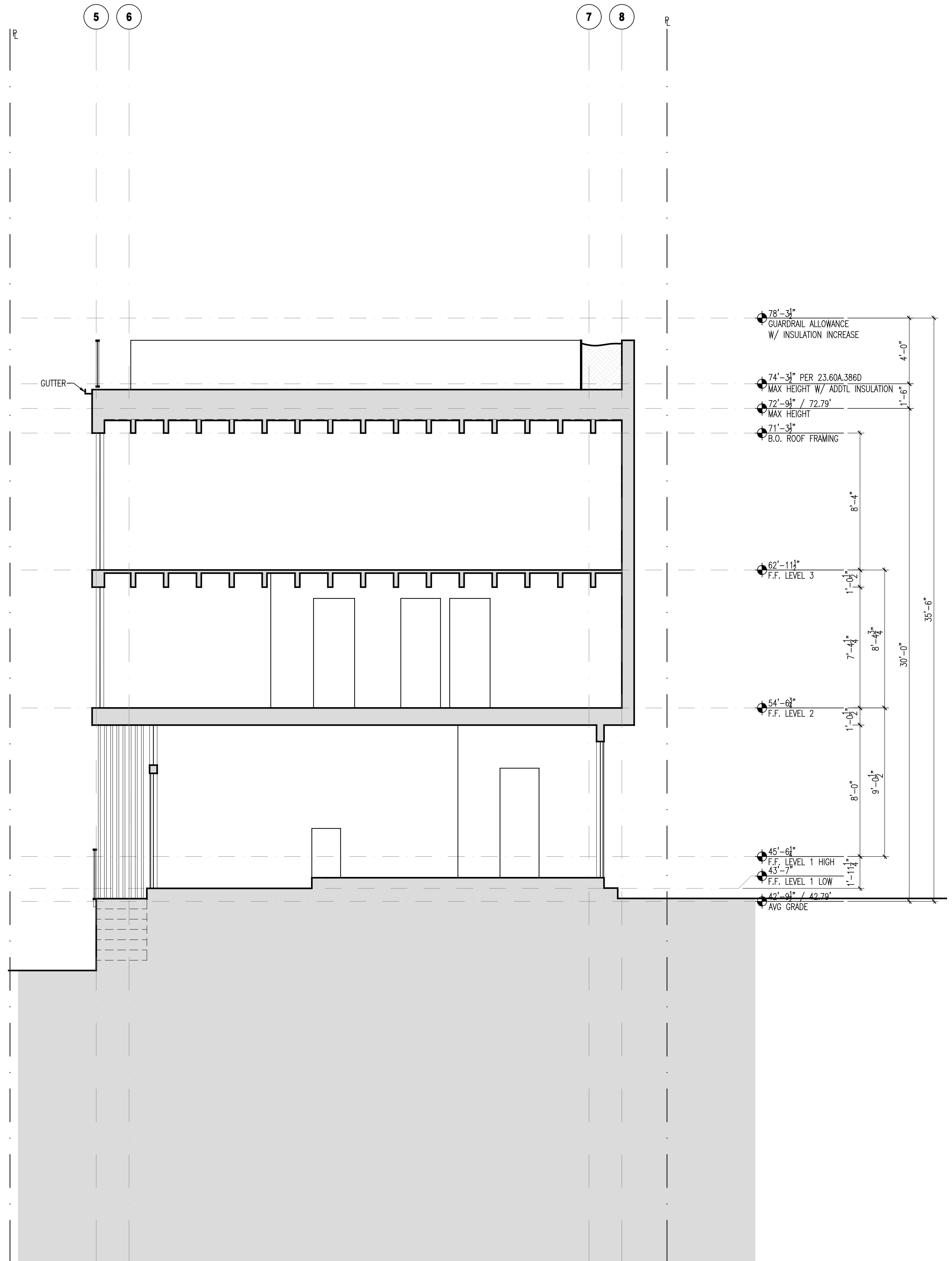
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BUILDING SECTIONS

A2.3 117



2 SECTION LOOKING NORTH  
SCALE: 1/4" = 1'-0"



1 SECTION LOOKING NORTH  
SCALE: 1/4" = 1'-0"



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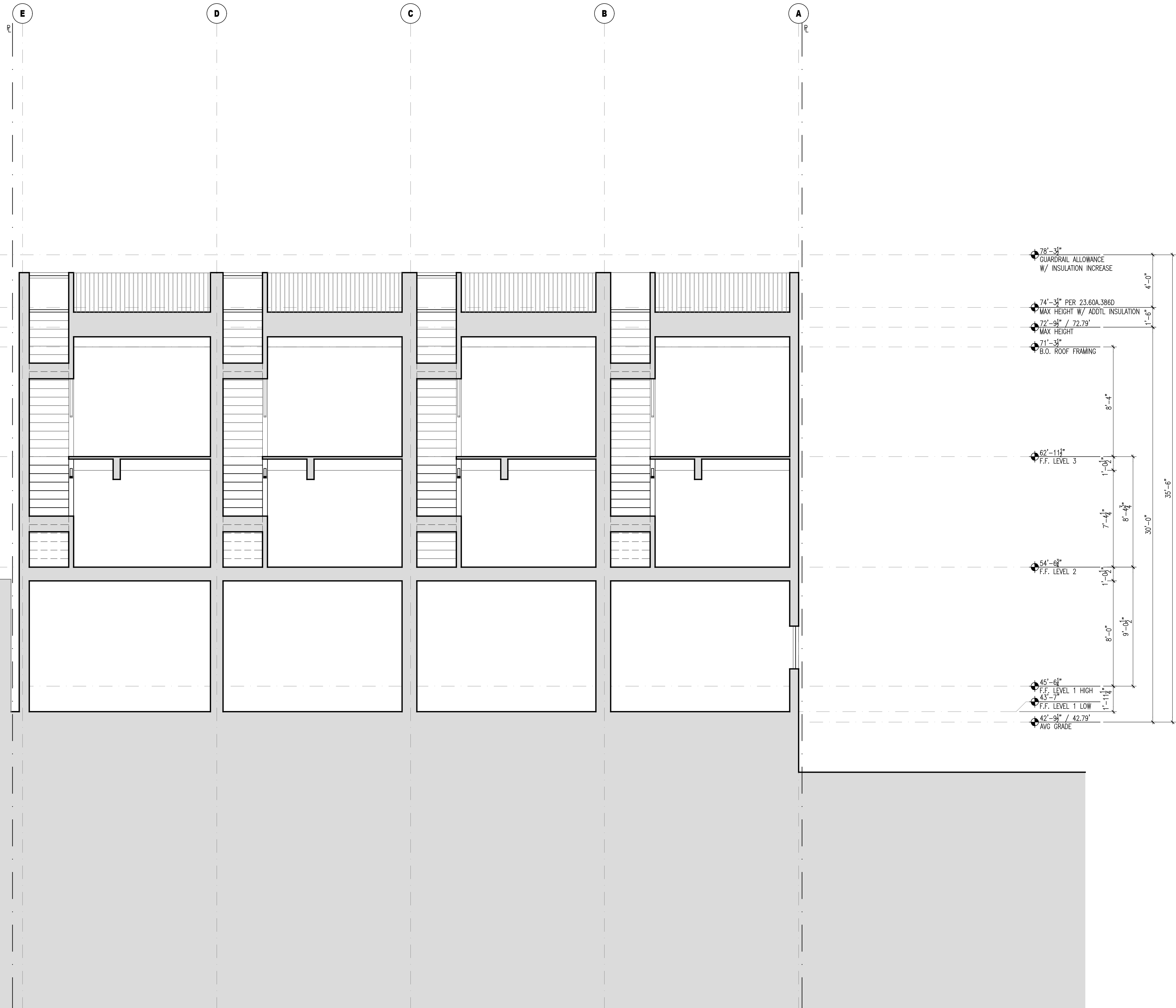
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BUILDING SECTIONS

**A2.4** 117



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"