

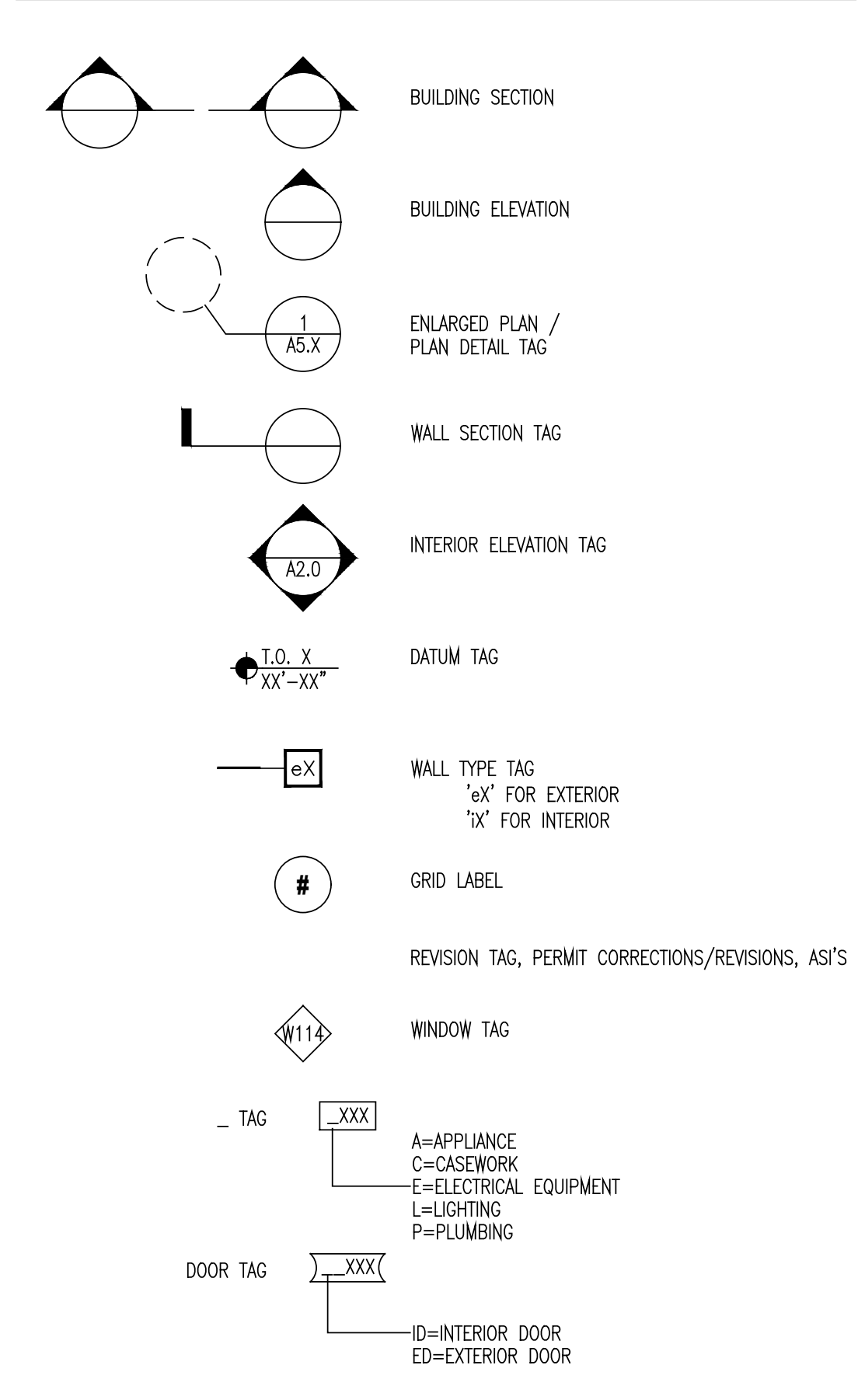
OVERVIEW



PROJECT INFORMATION

A	ADJUSTABLE	L	LAVATORY
ADJ	ADJUSTABLE	LL	LANDLORD
ADDL	ADDITIONAL	LOC	LOCATION
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ALT	ALTERNATE	LTG	LIGHTING
ARCH	ARCHITECT (URAL)	MANUF	MANUFACTURED, MANUFACTURER
AVE	AVENUE	MNTD	MOUNTED
B	BASE	MTL	MATERIAL
BA	BASE	MAX	MAXIMUM
B.I.	BUILT IN	MECH	MECHANICAL
BLDG	BUILDING	MET	METAL
C	CABINET	MIN	MINIMUM, MINUTE
CAB	CABINET	MISC	MISCELLANEOUS
CL	CENTERLINE, CLOSET	N	NORTH
CLG	CEILING	NA	NOT APPLICABLE
CLR	CLEAR	NIC	NOT IN CONTRACT
COL	COLUMN	NOM	NOMINAL
CONC	CONCRETE	NTS	NOT TO SCALE
COORD	COORDINATE	O	ON CENTER
CPT	CARPET (ED)	OC	OPPOSITE
D	DEMOLISH, DEMOLITION	P	PERMIT CORRECTION
DEMO	DEMOLISH, DEMOLITION	PERM	PERIMETER
DEF	DEFLECTION	PERP	PERPENDICULAR
DET	DETAIL	PLAM	PLASTIC LAMINATE
DIAM	DIAMETER	PLWD	PLYWOOD
DN	DOWN	POS	POINT OF SALE
DS	DOWN SPOUT	PRELM	PRELIMINARY
DTL	DETAIL	PROJ	PROJECT
DWG	DRAWING	PROP	PROPERTY
DWR	DRAWER	PSI	POUNDS PER SQUARE INCH
E	EAST	PT	PANT, PRESSURE TREATED
(E)	EXISTING	Q	QUANTITY
EA	EACH	R	RADIUS
ELEV	ELEVATION	RAD	RADIUS
ELEC	ELECTRIC (AL)	REC	RECEPTACLE
EQ	EQUAL	REF	REFER (ENCE)
EQUIP	EQUIPMENT	REQD	REQUIRED
EXT	EXTERIOR	REV	REVISION (S), REVISED
F	FLOOR DRAIN	RM	ROOM
FD	FLOOR DRAIN	RO	ROUGH OPENING
FF	FINISHED FLOOR	S	SOUTH
FF&E	FURNITURE FIXTURE(S) AND EQUIPMENT	SCHED	SCHEDULE
FIN	FINISH (ED)	SQ	SQUARE FOOT, STORE FRONT
FL	FLUORESCENT	SG	SAFETY GLAZING
FLR	FLOOR	SIM	SIMILAR
F.O.	FACE OF	SPEC	SPECIFICATION
FOF	FACE OF FINISH	ST	STREET, STONE
FOIC	FURNISHED BY OWNER;	STC	SOUND TRANSMISSION CLASS
FOID	FURNISHED BY OWNER;	T	TEMPORARY
FR	FRAMING	TEMP	TEMPERED
G	GENERAL CONTRACTOR	TOP OF CONCRETE	
GC	GENERAL CONTRACTOR	TOP OF SLAB	
GEN	GENERAL	T.O.S.	TOP OF WALL
GL	GLASS	T.O.W.	TOP OF WALL
GYP	GYPSON	TS	TUBE STEEL
GWB	GYPSON WALL BOARD	TYP	TYPICAL
H	HARDWARE	U	UNLESS NOTED OTHERWISE
HDWR	HARDWARE	UNO	
HORIZ	HORIZONTAL	V	VERIFY IN FIELD
HTR	HEATER	W	WEST
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	WD	WOOD
IBC	INTERNATIONAL BUILDING CODE		
INCL	INCLUDING		
INSUL	INSULATION		
INT	INTERIOR		

SYMBOLS



APPLICABLE CODES

BUILDING:	2018 SEATTLE BUILDING CODE (SBC)
	2018 SEATTLE RESIDENTIAL CODE (SRC)
ENERGY:	2018 SEATTLE ENERGY CODE (SEC)
ELECTRICAL:	2018 SEATTLE ELECTRICAL CODE
MECHANICAL:	2018 SEATTLE MECHANICAL CODE (SMC)
LAND USE/ZONING:	SEATTLE MUNICIPAL CODE

VICINITY MAP



PROJECT INFORMATION

DESCRIPTION
 DEMO (E) SINGLE FAMILY HOME, CONSTRUCT (2) 3-STORY RESIDENTIAL UNITS WITH BASEMENTS, & (1) GROUND FLOOR COMMERCIAL UNIT OFF FAIRVIEW

LEGAL DESCRIPTION
 DENNY FUHRMAN UNREC W BLK 35 NLY 60 FT LESS ELY 40 FT AKA LOT 1 LESS ELY 40 FT

PARCEL #
 1967200005

SDCI PROJECT NUMBER
 3038365-LU LAND USE
 6846481-CN CONSTRUCTION
 6846482-DM DEMOLITION

PREVIOUS PERMIT RECORDS
 3036461-EG

DRAWING INDEX

TITLE	T0.0 TITLE SHEET SURVEY
CIVIL	C1 COVER SHEET C2 FRONTAGE PLAN C3 GRADING PLAN & PROFILE FAIRVIEW AVE N C4 GRADING PLAN & PROFILE E ALLISON ST C5 GRADING PLAN & PROFILE ALLEY C6 DETAILS
LANDSCAPE	L1 PLANTING PLAN L2 GREEN FACTOR ELEMENTS L3 NOTES/DETAILS L4 COLORED LANDSCAPE PLAN
ARCHITECTURAL	A0.0 SITE PLAN A0.1 LAND USE NOTES A0.2 LAND USE NOTES A0.3 SOLID WASTE PLAN A1.1 FLOOR PLANS A1.2 FLOOR PLANS A1.3 FLOOR PLANS A2.0 BUILDING ELEVATIONS A2.1 BUILDING ELEVATIONS A2.2 BUILDING ELEVATIONS A2.3 BUILDING SECTIONS A2.4 BUILDING SECTIONS A2.5 BUILDING SECTIONS

PROJECT DIRECTORY

OWNER	LITTLE LAKE LLC CONTACT: GABRIEL HAJANI 117 E ALLISON ST. SEATTLE, WA 98102 E: gabe@gabahajani.com
ARCHITECT	ROBERT HUTCHISON ARCHITECTURE LLC 4010 WHITMAN AVENUE N SEATTLE WA 98103 CONTACT: SCOTT CLAASSEN P: (206)414.7226 E: scott@robhutcharch.com
STRUCTURAL ENGINEER	BYKONEN CARTER QUINN 2033 SIXTH AVE, SUITE 995 SEATTLE, WA 98121 CONTACT: NATOSHA NORLIN P: (206)264.7784 x208 E: NLN@bcq-se.com
GEOTECHNICAL ENGINEER	PanGEO, INC. 3213 EASTLAKE AVE. E, SUITE B SEATTLE, WA 98102 CONTACT: JOHNNY C. CHEN P: 206.262.0370 E: JChen@pangeoinc.com
CIVIL ENGINEER	DAVIDO CONSULTING GROUP, INC. 9706 4TH AVE NE #300 SEATTLE, WA 98115 CONTACT: NICK ALEXANDER P: (206)523.0024 x128 E: nick@dcegengr.com
LANDSCAPE ARCHITECT	GLENN TAKAGI 18550 FIRLANDS WAY NORTH #102 SHORELINE, WA 98133 P: (206)542.6100 E: glenco1029@earthlink.net
MECHANICAL	DESIGN-BUILD
ELECTRICAL	DESIGN-BUILD
PLUMBING	DESIGN-BUILD



LITTLE LAKE LANDING LLC
 101 E ALLISON ST
 Seattle, WA 98102

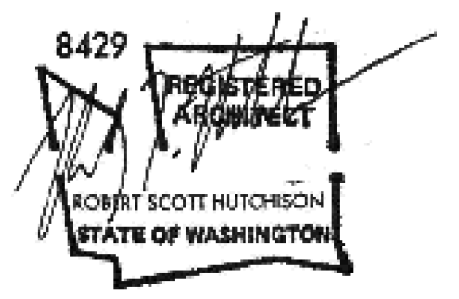
ARCHITECT
 ROBERT HUTCHISON
 ARCHITECTURE LLC
 4010 WHITMAN AVENUE N
 SEATTLE WA 98103
 (206) 414.7226

STRUCTURAL ENGINEER
 BYKONEN CARTER QUINN
 2033 SIXTH AVE. SUITE 995
 SEATTLE, WA 98121
 (206) 264.7784 x208

GEOTECHNICAL ENGINEER
 PanGEO, INC.
 3213 EASTLAKE AVE. E, SUITE B
 SEATTLE, WA 98102
 (206) 262.0370

CIVIL ENGINEER
 DAVIDO CONSULTING GROUP
 9706 4TH AVE NE #300
 SEATTLE, WA 98115
 (206) 523.0024 x128

LANDSCAPE ARCHITECT
 GLENN TAKAGI
 18550 FIRLANDS WAY NORTH
 SHORELINE, WA 98133
 (206) 542.6100



PERMIT DOCUMENTS

04.14.2021	Pre-Application Site Plan
08.19.2021	Pre-Sub Conference: LU
12.14.2021	Pre-Sub Conference: BLDG
02.08.2022	ECA Relief
03.14.2022	MUP Submission

LEGAL DESCRIPTION

HORIZONTAL DATUM - NAD 83 (2011) EPOCH 2010.00

(PER STATUARY WARRANTY DEED RECODING# 199511021004)

THAT PART OF THE UNDIVIDED PART BLOCK 35, DENNY-FUHRMAN ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 34, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF ALLISON STREET (FORMERLY FILLMORE STREET) AND THE SOUTHEASTERLY LINE OF FAIRVIEW AVENUE NORTH AS CONDEMNED BY ORDINANCE NUMBER 30503;

THENCE SOUTH 62°26'31" EAST ALONG THE SOUTHEASTERLY LINE OF SAID ALLISON STREET 75.05 FEET TO THE NORTHWESTERLY LINE OF ALLEY;

THENCE SOUTH 27°33'37.04" WEST 60 FEET

THENCE NORTH 62°26'31" WEST 75.04 FEET TO FAIRVIEW AVENUE;

THENCE NORTH 27°33'37.04" EAST 60 FEET TO THE SOUTHWESTERLY LINE OF SAID ALLISON STREET AND THE TRUE POINT OF BEGINNING;

EXCEPT THE SOUTHEASTERLY 40 FEET THEREOF;

MONUMENT #1
OWNER: CITY OF SEATTLE
ID: N/A
DESCRIPTION: CONC MON W/ BRASS PIN IN CASE
LOCATION: 30'SE OF INTX E SHELBY ST & FAIRVIEW AVE E
N: 239831.715
E: 1272651.000

MONUMENT #2
OWNER: CITY OF SEATTLE
ID: N/A
DESCRIPTION: CONC MON W/ BRASS PIN IN CASE
LOCATION: 30'SE OF INTX E ALLISON ST & FAIRVIEW AVE E
N: 240336.201
E: 1272927.225

MONUMENT #3
OWNER: CITY OF SEATTLE
ID: N/A
DESCRIPTION: CONC MON W/ BRASS PIN IN CASE
LOCATION: INTX OF E ALLISON ST & EASTLAKE AVE E
N: 240212.565
E: 1273153.128

VERTICAL DATUM - NAVD 88

(PER QUIT CLAIM DEED RECODING# 199705090231)

THAT PART OF THE UNDIVIDED PART OF BLOCK 35, DENNY-FUHRMAN ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 34, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF ALLISON STREET (FORMERLY FILLMORE STREET) AND THE SOUTHEASTERLY LINE OF FAIRVIEW AVENUE NORTH AS CONDEMNED BY ORDINANCE NUMBER 30503;

THENCE SOUTH 62°26'31" EAST ALONG THE SOUTHEASTERLY LINE OF SAID ALLISON STREET 75.05 FEET TO THE NORTHWESTERLY LINE OF ALLEY AND THE TRUE POINT OF TRACT HEREIN DESCRIBED;

THENCE SOUTH 27°33'37.04" WEST 60 FEET;

THENCE NORTH 62°26'31" WEST 40 FEET;

THENCE NORTH 27°33'37.04" EAST 60 FEET TO THE SOUTHWESTERLY LINE OF SAID ALLISON STREET;

THENCE SOUTH 62°26'31" EAST ALONG THE SOUTHWESTERLY LINE OF SAID ALLISON STREET 40 FEET TO THE TRUE POINT OF BEGINNING;

(BEING KNOWN AS THE SOUTHEASTERLY 40 FEET OF LOT 1, BLOCK 35, REPLAT OF BLOCKS 30 AND 31, LAKE UNION SHORE LANDS AND REPLAT OF UNDIVIDED PART OF BLOCKS 4, 19, 20, 35, 36, 44 AND 45, DENNY-FUHRMAN ADDITION, ACCORDING TO THE UNRECORDED PLAT THEREOF).

VERTICAL BENCHMARK #1
SOURCE: CITY OF SEATTLE
ID: SNV-5093
DESCRIPTION: 2IN BRASS CAP
LOCATION: SET 0.5FT S & 0.5FT E OF THE INT BK CW IN THE NW COR INT EASTLAKE AVE E AND E HAMLIN ST
ELEVATION: 72.870

VERTICAL BENCHMARK #2
SOURCE: TERRANE
ID: N/A
DESCRIPTION: SPIKE IN PP #1314883
LOCATION: NE COR OF E ALLISON ST & FAIRVIEW AVE E
ELEVATION: 33.33'

REFERENCES

- R1. RECORD OF SURVEY, BOOK 45 OF SURVEYS, PAGE 279, RECORDS OF KING COUNTY, WASHINGTON.
- R2. DENNY-FUHRMAN ADDITION, VOLUME 7 OF PLATS, PAGE 34, RECORDS OF KING COUNTY, WASHINGTON.
- R3. UNRECORDED REPLAT OF DENNY-FUHRMAN W. BLOCK 35

LEGEND

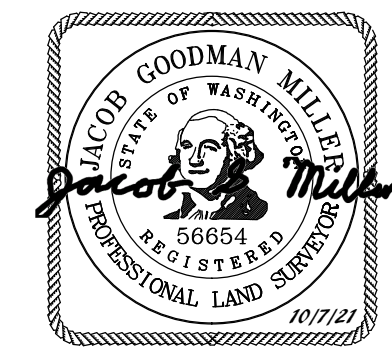
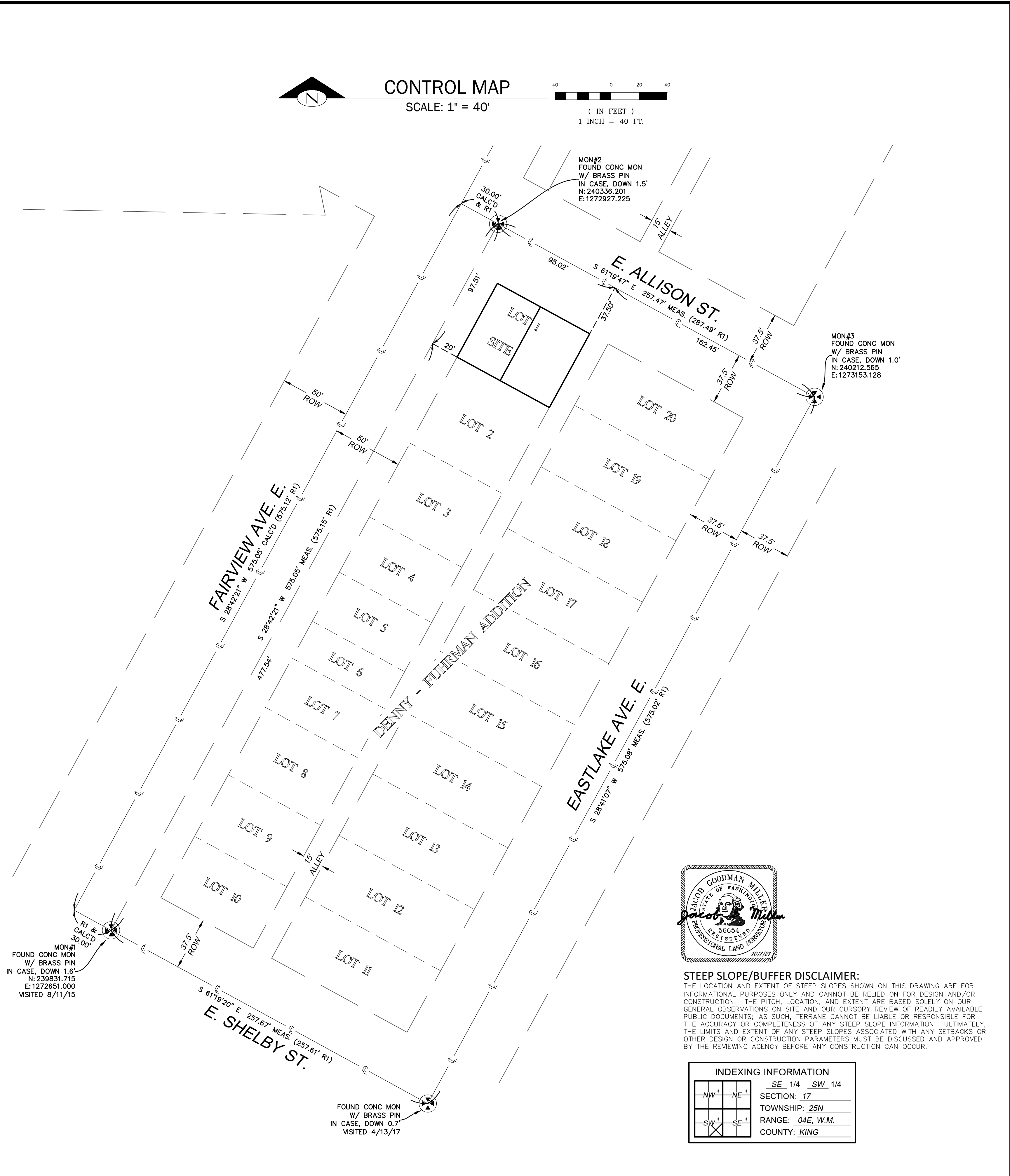
	BENCHMARK		POWER (OVERHEAD)
	ASPHALT SURFACE		POWER (UNDERGROUND)
	BRICK SURFACE		POWER POLE
	BOLLARD		POWER POLE W/ LIGHT
	BUILDING		PRIVATE INLET
	CENTERLINE ROW		REBAR & CAP
	CATCH BASIN (TYPE 1)		ROOKERY
	CONCRETE SURFACE		SEWER LINE
	RETAINING WALL		SEWER MANHOLE
	FENCE LINE (WOOD)		SIGN (AS NOTED)
	FIRE DEPT CONNECTION		STORM MANHOLE
	FIRE HYDRANT		STORM DRAIN LINE
	GAS LINE		TELEPHONE (OVERHEAD)
	GAS METER		TREE (AS NOTED)
	GAS VALVE		UTILITY LINE
	GRAVEL SURFACE		WATER GATE VALVE
	GUY ANCHOR		WATER LINE
	INLET (TYPE 2)		WATER METER
	MAILBOX (RESIDENTIAL)		WATER VALVE
	MONUMENT IN CASE (FOUND)		
	MONITORING WELL		
	POWER HAND HOLE		
	POWER METER		

VICINITY MAP
N.T.S.



SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JUNE OF 2020 & JULY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
3. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
4. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
5. SUBJECT PROPERTY TAX PARCEL NO.(S) 1967200005 & 1967200008
6. TOTAL SUBJECT PROPERTY AREA PER THIS SURVEY IS 4,502 ± S.F. (0.10± ACRES)
FOR PARCEL# 1967200005, AREA=2,102 ± S.F. (0.05 ± ACRES)
FOR PARCEL# 1967200008, AREA=2,400 ± S.F. (0.05 ± ACRES)
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.



STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION

NE	SE	SW	NW
1	2	3	4
5	6	7	8
9	10	11	12

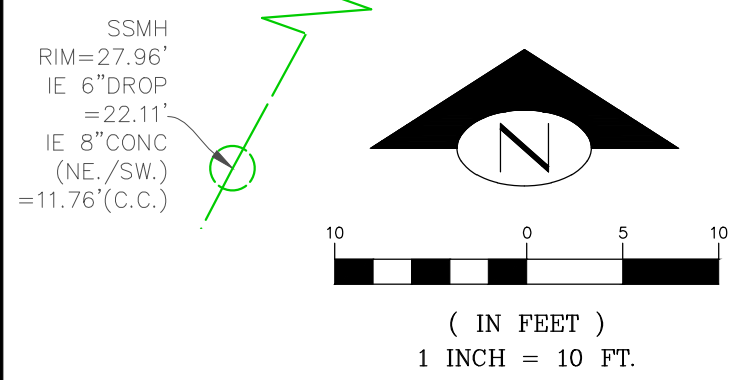
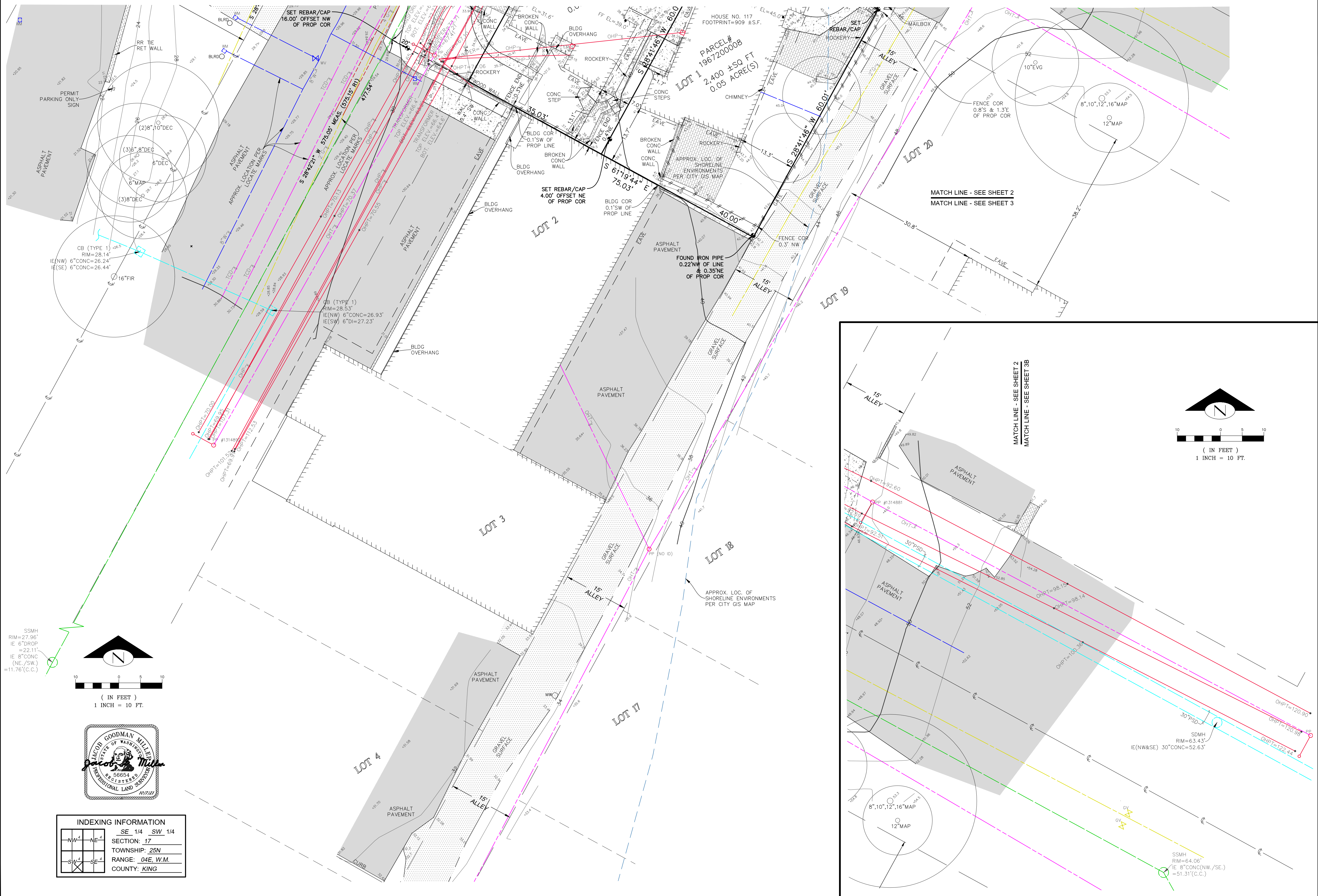
SECTION: 17
TOWNSHIP: 25N
RANGE: 04E, W.M.
COUNTY: KING

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

NO	REVISION	DATE
3	EDIT OVERHEAD POWER LINES	10/07/21
2	ADD OVERHEAD TELEPHONE LINES	09/29/21
1	ADD SHORELINE ENVIRONMENT'S PER GIS MAP	09/16/21

TOPOGRAPHIC & BOUNDARY SURVEY
HAJJANI
101 & 117 E ALLISON ST
SEATTLE WA 98102

JOB NO.: 200578
DATE: 08/11/21
DRAFTED BY: TGC
CHECKED BY: JGM
SCALE: 1" = 40'
1 OF 3



INDEXING INFORMATION			
SE 1/4	SW 1/4		
SECTION: 17			
TOWNSHIP: 25N			
RANGE: 04E, W.M.			
COUNTY: KING			

Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
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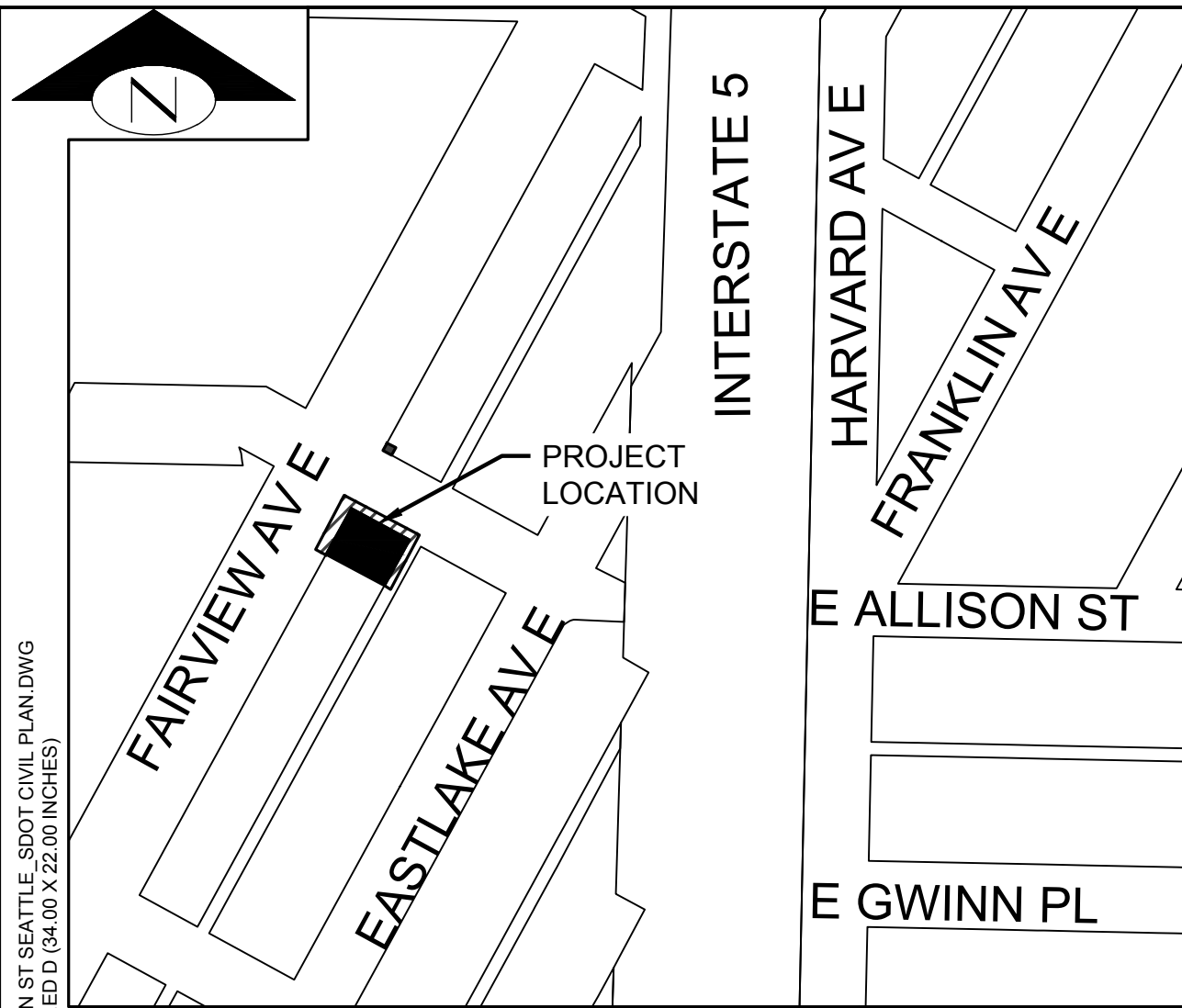
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1	ADD SHORELINE ENVIRONMENTS PER GIS MAP	09/16/21

TOPOGRAPHIC & BOUNDARY SURVEY
HAJJANI
 101 & 117 E ALLISON ST
 SEATTLE WA 98102

JOB NO.: **200578**
 DATE: 08/11/21
 DRAFTED BY: TGC
 CHECKED BY: JGM
 SCALE: 1" = 10'
3 OF 3

60% COMPLETE STREET IMPROVEMENT PLAN

NOT FOR CONSTRUCTION



VICINITY MAP
SCALE: 1" = 200'

SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	FRONTAGE PLAN
3	GRADING PLAN & PROFILE FAIRVIEW AVE N
4	GRADING PLAN & PROFILE E. ALLISON ST
5	GRADING PLAN & PROFILE ALLEY
6	DETAILS
7	SURVEY CONTROL PLAN
8	LANDSCAPE
9	LANDSCAPE

DRAINAGE CB & INLET NOTES:

UNLESS OTHERWISE NOTED:

- CATCH BASIN CONNECTIONS AND INLET CONNECTIONS SHALL BE 8" DIAMETER. PIPE SHALL BE CEMENT MORTAR LINED DUCTILE IRON CLASS 50 (MIN) PER SPECIFICATION 9-05.2. FITTINGS SHALL BE CEMENT MORTAR LINED DUCTILE IRON. JOINTS SHALL BE RUBBER GASKET, PUSH-ON OR MECHANICAL.
- BEDDING SHALL BE CLASS D WITH SELECT NATIVE MATERIAL.
- CATCH BASIN CONNECTIONS SHALL BE PLACED AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 100% PER STANDARD PLAN NO. 261 AND SPECIFICATION 7-08.3(4).
- INLET CONNECTIONS SHALL BE PLACED AT A MINIMUM SLOPE OF 5% AND A MAXIMUM SLOPE OF 50% PER SPECIFICATION 7-08.3(5).
- CATCH BASINS AND INLETS SHALL BE LOCATED PER STANDARD PLAN NO. 260A AND 260B.
- TELEVISION INSPECTION OF CATCH BASIN CONNECTIONS SHALL BE PER SPECIFICATION 7-17.3(4).
- CONTRACTORS ARE NOT ALLOWED TO CORE INTO MAINS OR STRUCTURES WITHOUT PRIOR APPROVAL FROM SPU. TO SCHEDULE CORE TAPS, CONTACT SPU AT 206-615-0511 A MINIMUM OF 48 HOURS IN ADVANCE. SPU SHALL BE ON SITE PRIOR TO THE START OF CONTRACTOR PERFORMED CORE TAP. CONTRACTORS PERFORMING CORE TAPS SHALL PROVIDE THE COUPON OF REMOVED MATERIAL TO SPU.
- PROVIDE A WATERMAIN SUPPORT PLAN TO SPU PRIOR TO THE REMOVAL AND INSTALLATION OF THE NEW CATCH BASIN ADJACENT TO THE EX. WATERMAIN. CONTACT STEVE FRIEND FROM SPU AT 206-423-2610 48 HOURS PRIOR TO DEMO.

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

CONTACTS:

APPLICANT:
ROBERT HUTCHISON
ARCHITECTURE
4010 WHITMAN AVE NE
SEATTLE, WA 98105
ATTN. ROBERT HUTCHISON

ENGINEER:
DAVIDO CONSULTING GROUP, INC.
9706 4TH AVE NE, SUITE 300
SEATTLE, WA 98115
PHONE (206) 523-0024
ATTN. TIM GABELEIN, P.E.

SURVEYOR:
TERRANCE
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
PHONE (425) 458-4488
ATTN. JACOB MILLER, PLS

ABBREVIATIONS:

AIC	AERIAL INTERCONNECT CABLE
BOC	BEGINNING OF CURB
BOW	BACK OF SIDEWALK
BM	BENCHMARK
CB	CATCH BASIN
CL	CENTER LINE
CONC	CONCRETE
COS	CITY OF SEATTLE
CW	CONCRETE WALK
DCI	DEPARTMENT OF CONSTRUCTION & INSPECTION
EG	EXISTING GRADE
EL/ELEV	ELEVATION
EOC	END OF CURB
EOP	EDGE OF PAVEMENT
ESC	EROSION & SEDIMENTATION CONTROL
EX	EXISTING
FF	FINISHED FLOOR, FILTER FENCE
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
FL	FLOWLINE
IE	INVERT ELEVATION
LSCAPE	LANDSCAPING
LT	LEFT
MIC	MONUMENT IN CASE/CONCRETE NUMBER
NO	NUMBER
PC	POINT OF CURVE
PT	POINT OF TANGENT
RT	RIGHT
SD	STORM DRAIN
SDFM	STORM DRAIN FORCE MAIN
SDOT	SEATTLE DEPARTMENT OF TRANSPORTATION
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSFM	SANITARY SEWER FORCE MAIN
SSMH	SANITARY SEWER MANHOLE
SSS	SANITARY SIDE SEWER
STA	STATION
STD	STANDARD
TOC	TOP OF CURB
TOEW	TOE OF WALL
TOP	TOP OF PAVEMENT
TOPW	TOP OF WALL
TYP	TYPICAL
UIC	UNDERGROUND INTERCONNECT CABLE
W	WATER
W/	WITH
WM	WATER METER

GENERAL PSE NOTES:

- CONTACT MAPREQUEST@PSE.COM FOR UPDATED GAS MAPS OF AREA.
- MAINTAIN A MINIMUM 1' VERTICAL SEPARATION WHEN CROSSING GAS MAINS OR SERVICES.
- MAINTAIN A MINIMUM 3' HORIZONTAL SEPARATION WHEN RUNNING PARALLEL TO GAS MAINS OR SERVICES.
- IF HP IS ENCOUNTERED, PLEASE CONTACT PSE PI INSPECTOR BEFORE WORKING NEAR HP GAS MAINS: GLENN HUDEN, 206-396-4159, GLENN.HUDEN@PSE.COM
- COORDINATE WITH PSE CUSTOMER CONSTRUCTION SERVICES AT 1-888-321-7779 AND A PSE PROJECT MANAGER FOR RELOCATION OF GAS MAINS AND SERVICES AS NEEDED.
- LOCATE AND PROTECT ALL GAS FACILITIES IN THE FIELD.

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE 2020 EDITION OF CITY OF SEATTLE STANDARD SPECIFICATIONS, THE 2020 EDITION OF THE CITY OF SEATTLE STANDARD PLANS; AND SEATTLE DEPARTMENT OF TRANSPORTATION DIRECTOR'S RULE 01-2017 RIGHT-OF-WAY OPENING AND RESTORATION RULES. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION. A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ERRORS AND OMISSIONS ON THE PERMITTED PLANS MUST BE CORRECTED BY THE ENGINEER AND APPROVED BY THE CITY OF SEATTLE.
- ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF CONSTRUCTION WITHIN THE RIGHT OF WAY, THE PERMITTEE SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION.
- PERMITTEE SHALL CONTACT SEATTLE DEPARTMENT OF TRANSPORTATION, STREET USE INSPECTOR A MINIMUM OF 2 BUSINESS DAYS PRIOR TO NEEDING AN INSPECTION. ALL DAMAGE TO CITY INFRASTRUCTURE CAUSED BY THE CONSTRUCTION SHALL BE IMMEDIATELY REPORTED AND REPAIRED AS REQUIRED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION. TO REPORT DAMAGE TO SPU INFRASTRUCTURE, INCLUDING ANY SEWAGE RELEASE OR BLOCKAGE, CALL 206-386-1800.
- THE APPROVED PLANS SHALL SHOW THE APPROXIMATE AREA OF PAVEMENT RESTORATION BASED ON THE DEPTH OF UTILITY CUTS AND/OR THE AREA OF CURB AND/OR PAVEMENT TO BE REMOVED AND REPLACED. THE ACTUAL LIMITS OF THE PAVEMENT RESTORATION SHALL BE PER THE DIRECTOR'S RULE 01-2017, RIGHT-OF-WAY OPENING AND RESTORATION RULE AND WILL BE DETERMINED IN THE FIELD BY THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR PRIOR TO THE PAVEMENT RESTORATION. FOR SPU WATER SERVICES, APPLICANT MUST SHOW THE PAVEMENT RESTORATION LIMITS FOR THE PROPOSED AND THE EXISTING WATER SERVICES TO BE RETIRED, INCLUDING SERVICES THAT ARE OUTSIDE THE PROJECT AREA, BUT SERVE THE PARCEL.
- DATUM: NAVD 88 AND NAD 83(2011) EPOCH 2010
- SURVEYING AND STAKING OF ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED PRIOR TO CONSTRUCTION. PERMITTEE TO STAKE THE CURB AT THE CENTERLINE OF DRAINAGE GRATES PER STANDARD PLAN 260A. SURVEY GRADE SHEETS MUST BE SUBMITTED AND APPROVED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.
- IF AN EXISTING CURB IS TO BE REMOVED AND REPLACED IN THE SAME LOCATION THE PERMITTEE SHALL PROVIDE THE STREET USE INSPECTOR A PLAN WITH EXISTING FLOW LINE AND TOP OF CURB ELEVATIONS IDENTIFIED. PERMITTEE TO STAKE THE LOCATION OF THE EXISTING CURB PRIOR TO DEMOLITION.
- THE PERMITTEE MUST BE RESPONSIBLE FOR REFERENCING AND REPLACING ALL SURVEY MONUMENTS THAT MAY BE DISTURBED, DESTROYED, OR REMOVED BY THE PROJECT AND 2 WORKING DAYS PRIOR TO THE WORK, MUST FILE AN APPLICATION FOR PERMIT TO REMOVE OR DESTROY A SURVEY MONUMENT WITH THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, PURSUANT TO WAC 332-120. THE PERMITTEE MUST PROVIDE THE ENGINEER AND SPU LAND SURVEYOR WITH A COPY OF THE APPROVED PERMIT AND COMPLETION REPORT. SEE STANDARD SPECIFICATION 1-07.28 ITEM 17.
- THE PERMITTEE SHALL SUBMIT ALL APPLICABLE DOCUMENTS REQUIRED UNDER SECTION 1-05.3 OF THE STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION. A MATERIAL SOURCE FORM FOR ALL MATERIALS TO BE PLACED IN THE RIGHT OF WAY AND MIX DESIGNS FOR ALL ASPHALT, CONCRETE AND AGGREGATES TO BE PLACED IN THE RIGHT OF WAY MUST BE SUBMITTED TO THE SEATTLE DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL PRIOR TO BEGINNING CONSTRUCTION. A REVISED MATERIAL SOURCE FORM AND MIX DESIGNS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY SUBSTITUTE MATERIALS.
- THE PERMITTEE SHALL NOTIFY THE SEATTLE FIRE DEPARTMENT DISPATCHER (206-386-1495) AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE PERMITTEE SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, RELOCATED, OR ELIMINATED

HYDRANTS RESULTING FROM THIS WORK.

- THE PERMITTEE SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION.
- THE PERMITTEE SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (811) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE PERMITTEE TO VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE PERMITTEE SHALL ADJUST ALL EXISTING MAINTENANCE HOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
- THE PERMITTEE SHALL FOLLOW SPU CORE TAP PROCEDURES FOR ALL NEW CONNECTIONS TO EXISTING SEWER OR DRAINAGE MAINS OR STRUCTURES. CONTRACTORS ARE NOT ALLOWED TO CORE INTO MAINS OR STRUCTURES WITHOUT PRIOR APPROVAL FROM SPU-DWW. TO SCHEDULE CORE CUT CONTACT SPU-DWW AT 206-615-0511 A MINIMUM OF 2 BUSINESS DAYS IN ADVANCE.
- ALL UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN REQUIRE SEPARATE PERMITS.
- THE PERMITTEE SHALL PROVIDE FOR ALL TESTING AS REQUIRED BY THE STREET USE INSPECTOR.
- INSPECTION AND ACCEPTANCE OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY REPRESENTATIVES OF THE CITY OF SEATTLE. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS ALLOWING FOR PROPER ADVANCE NOTICE. THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR MAY REQUIRE REMOVAL AND RECONSTRUCTION OF ANY ITEMS PLACED IN THE RIGHT OF WAY THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT APPROPRIATE INSPECTIONS.
- THE PERMITTEE SHALL PROVIDE A PLAN FOR STORMWATER AND EROSION CONTROL AND INSTALL, MAINTAIN AND REMOVE TEMPORARY FACILITIES PER SECTION 8-01. AS CONSTRUCTION PROGRESSES AND CONDITIONS DICTATE, ADDITIONAL CONTROL FACILITIES MAY BE REQUIRED. DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THE PERMITTEE'S ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
- ALL DISTURBED SOILS MUST BE AMENDED PER STANDARD PLAN 142 AND SECTION 8-02 OF THE STANDARD SPECIFICATIONS UNLESS WITHIN ONE FOOT OF A CURB OR SIDEWALK, THREE FEET OF A UTILITY STRUCTURE (E.G. WATER METER, UTILITY POLE, HAND HOLE, ETC.), OR THE DRIPLINE OF AN EXISTING TREE.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE TRAFFIC CONTROL MANUAL FOR IN-STREET WORK. AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ALL ARTERIAL STREETS, HIGH IMPACT AREAS AND CONSTRUCTION HUBS PRIOR TO BEGINNING CONSTRUCTION.
- PERMITTEE SHALL NOTIFY KING COUNTY METRO AT 206-477-1140 FOURTEEN DAYS IN ADVANCE OF ANY IMPACT TO TRANSIT OPERATIONS. CALL 206-477-1150 FOR ANY COORDINATION RELATED TO KING COUNTY METRO TROLLEY (INCLUDING SLU AND FIRST HILL STREET CAR). CONTACT KING COUNTY METRO TWO MONTHS PRIOR FOR ANY TROLLEY DE-ENERGIZING REQUESTS.
- COORDINATE PARKING/LOADING SIGN(S) AND PAY STATION REMOVAL / RELOCATION AND INSTALLATION WITH SEATTLE DEPARTMENT OF TRANSPORTATION CURB SPACE MANAGEMENT AT 206-684-5370 WITH AT LEAST 10 BUSINESS DAYS' NOTICE. SIGNPOSTS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD PLANS 616, 620, 621A, 621B, 625, & 626.
- ALL STREET NAME SIGNS MUST BE INSTALLED BY SEATTLE DEPARTMENT OF TRANSPORTATION AT THE PERMITTEE'S EXPENSE.
- ALL WORK PERFORMED BY SEATTLE CITY LIGHT, SEATTLE PUBLIC UTILITIES, AND OTHER UTILITIES TO INSTALL, REPAIR, REMOVE OR RELOCATE UTILITIES SHALL BE DONE AT THE PERMITTEE'S EXPENSE.
- PERMITTEE MUST CONTACT THE SEATTLE DEPARTMENT OF PARKS AND RECREATION TO APPLY FOR A SEPARATE PERMIT IF WORKING WITHIN A DESIGNATED PARK BOULEVARD.
- CARE SHALL BE EXERCISED WHEN EXCAVATING OR REMOVING PAVEMENT NEAR EXISTING CHARGED WATER MAINS. CAST IRON WATER MAINS ARE KNOWN TO BE SENSITIVE TO EXCESSIVE VIBRATION. COORDINATE PROTECTION METHODS WITH SPU.

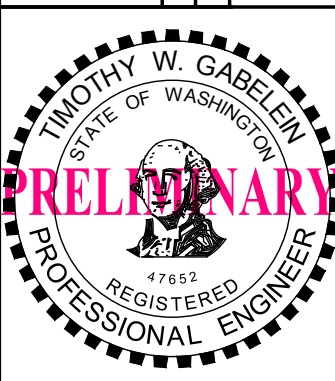
SCL NOTE:

- EXCAVATING NEAR SEATTLE CITY LIGHT FACILITIES: ALL EXCAVATIONS ADJACENT TO SEATTLE CITY LIGHT POLES OR OTHER FACILITIES (VAULTS, HANDHOLES, ETC.) SHALL COMPLY WITH WAC 296-155, PART N, EXCAVATION, TRENCHING AND SHORING. POLE PROTECTION/SUPPORTING SYSTEMS USED WHILE EXCAVATING SHALL COMPLY WITH WAC 296-155-655. GENERAL PROTECTION REQUIREMENTS, ITEM (9) AND SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OF POLES WHILE THE SYSTEMS ARE IN PLACE OR AFTER THE SYSTEMS HAVE BEEN REMOVED.
- HIGH-VOLTAGE WORKING CLEARANCE: STATE LAW REQUIRES ALL CONSTRUCTION WORKERS, THEIR TOOLS, MACHINERY, TEMPORARY STRUCTURES, EQUIPMENT AND MATERIALS TO MAINTAIN A MINIMUM 10 FEET CLEARANCE FROM MANY TYPES OF POWER LINES (WAC 296 24 960). SEATTLE CITY LIGHT TRANSMISSION LINES REQUIRE EVEN GREATER CLEARANCE. IF THIS PROJECT REQUIRES WORK IN PROXIMITY TO ANY ENERGIZED LINES, WE MAY DE ENERGIZE AND GROUND THE LINES, OR RELOCATE THE LINES TEMPORARILY. THIS WORK WILL BE DONE AT THE CUSTOMER'S EXPENSE. THE COST MUST BE PAID IN ADVANCE OF ANY WORK. PERMANENT STRUCTURE CLEARANCES FROM HIGH-VOLTAGE LINES: SEE SCL D2-3 FOR ACCEPTABLE CLEARANCES. CHANGES TO SEATTLE CITY LIGHT'S SYSTEM TO MEET APPROPRIATE CLEARANCES WILL BE PERFORMED AT THE CUSTOMER'S EXPENSE. THE COST MUST BE PAID IN ADVANCE OF ANY WORK.
- SCL SERVICE POLE IS ON THE NW 65TH ST
- POLE MAY NEED TO TEST FOR TRANSFORMER UPGRADE
- CUSTOMER REQUIREMENTS FOR SECONDARY UNDERGROUND SERVICE, LOOPED RADIAL SYSTEM PER 0224.01

STREET LIGHTING GENERAL NOTES:

- EXISTING STREET LIGHTING SYSTEM SHALL BE MAINTAINED DURING CONSTRUCTION.
- WORK MUST BE SCHEDULED SUCH THAT NO TWO (2) ADJACENT OR OPPOSITE STREETLIGHTS ARE DISABLED AT ANY ONE TIME.
- ANY EXCAVATION IN PROXIMITY TO AN EXISTING STREETLIGHT POLE MUST BE DONE WITHOUT UNDERMINING ITS STABILITY. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY STABILIZING SUPPORT.
- MAINTAIN MINIMUM HORIZONTAL & VERTICAL CLEARANCES BETWEEN SCL UNDERGROUND STRUCTURES AND VARIOUS OTHER UTILITY STRUCTURES PER SCL CONSTRUCTION STANDARD 0214.00.

DATE	MARK	NATURE	REVISIONS	MADE	CHKD	REVD

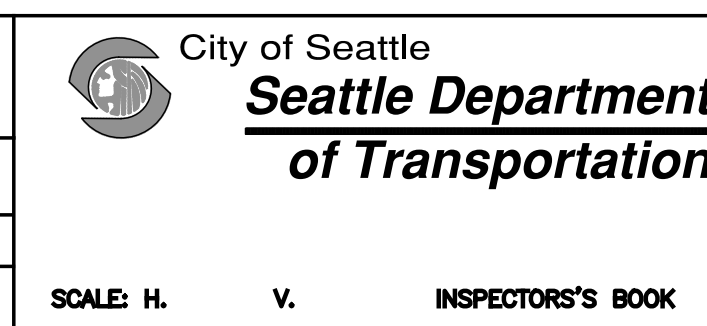


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APPROVED BY SDOT STREET IMPROVEMENT PERMITTING	20.....

NAME OR INITIALS AND DATE DESIGNED	INITIALS AND DATE REVIEWED:
CHECKED	PROJECT MANAGER
DRAWN	REVISED AS-BUILT
CHECKED
DESIGN REVIEW



101 E ALLISON ST

SDCI PROJECT # 6846481-CN & 6846932-CN

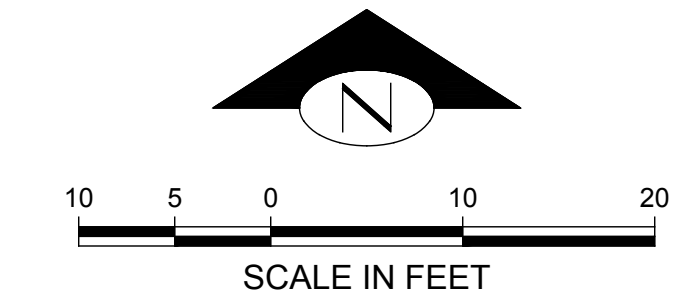
101 E. ALLISON ST
CURB, CW, LANDSCAPE, PAVING, ETC.
COVER SHEET

SDOT PROJECT NO. SUSIP0000308
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 1 OF 9

CAD FILE NUMBER: P:\CLIENTS-CIVIL\ROBERT HUTCHINSON ARCHITECTURE\101 E ALLISON ST AND 117 E ALLISON ST SEATTLE\DRAWING\101 E ALLISON ST SEATTLE_SDOT CIVIL PLAN.DWG
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 AUTOCAD VERSION: CIVIL 3D 2018

KEY NOTES:

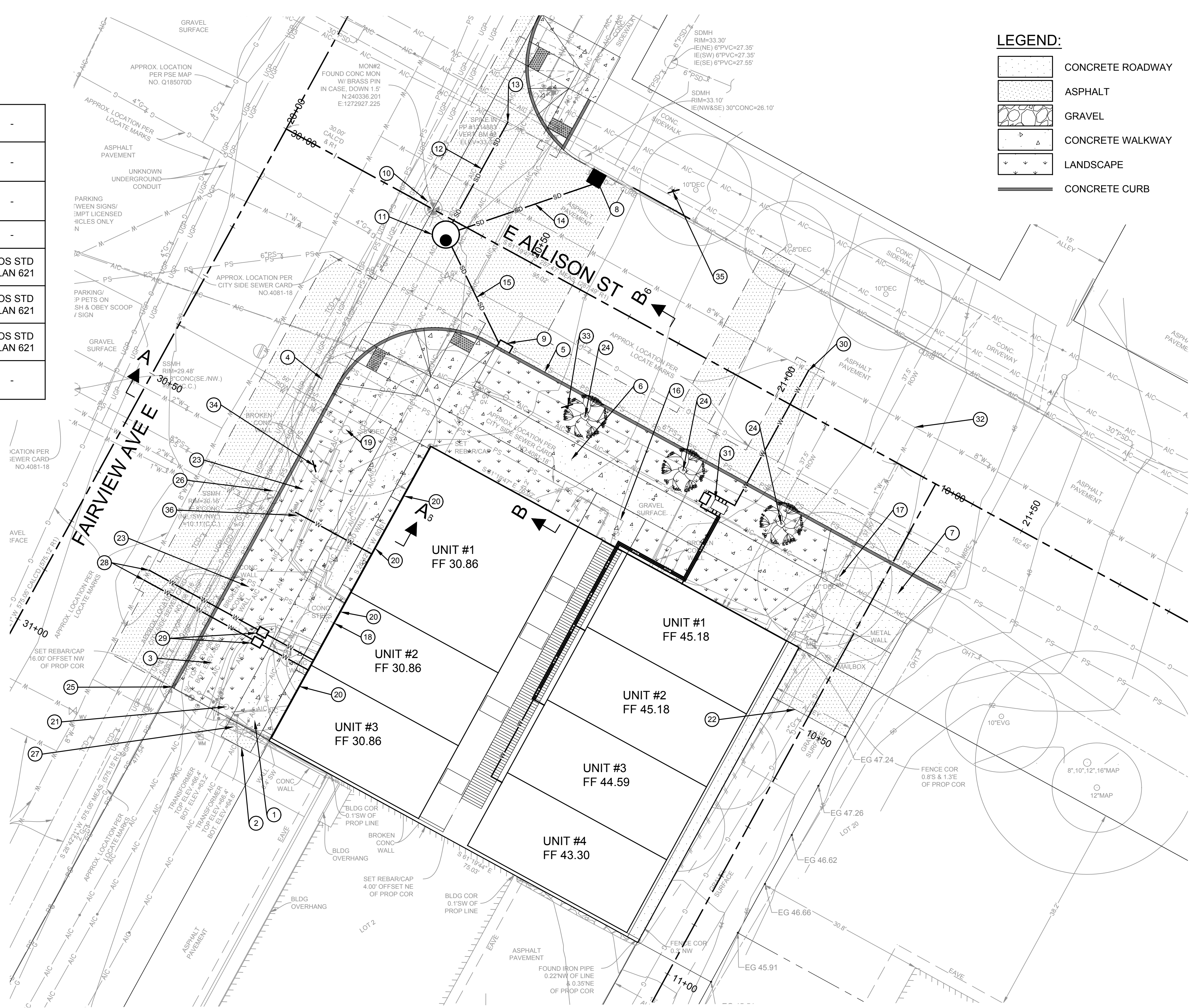
KEY	NOTE:	DETAIL/SHEET
1	LANDSCAPING (TYP)	COS STD PLAN 142
2	HMA TRANSITION TO EX GRADE AT 1:12 MAX	-
3	TRANSITION CW AROUND EX SCL POWER POLE	-
4	SAWCUT 3' FROM FACE OF DESIGN CURB	-
5	6" CONC CURB	COS STD PLAN 410B
6	6' CONCRETE WALK (TYP)	COS STD PLAN 420
7	NEW CONC DRIVEWAY	COS STD PLAN 430A
8	COS TYPE 250A INLET RIM 32.99 8" IE (NW) 30.53	COS STD PLAN 252
9	COS TYPE 250A INLET RIM 32.81 8" IE (SW) 31.06	COS STD PLAN 250A
10	PROTECT EX MONUMENT, SEE GENERAL NOTE 12 ON SHEET 1 FOR ADDITIONAL REQUIREMENTS	-
11	CATCH BASIN TYPE 204A RIM 31.77 8" IE (SE) 27.77 8" IE (NE) 29.00 12" IE (N) 29.67	COS STD PLAN 204A
12	21 LF 8" SD @ 1.61%	-
13	CONNECT TO EX 30" SD 30" IE (SE, NW) 25.08± 8" IE (SW) 27.33	-
14	24 LF 8" DIP @ 6.38%	-
15	20 LF 8" DIP @ 16.45%	-
16	REUSE EX SSS FOR 117 E ALLISON ST	-
17	RELOCATE EX WM FOR REUSE	-
18	REUSE EX SSS FOR 101 E ALLISON ST	-
19	PROTECT EX HYDRANT INSTALL CONC SHEAR COLLAR	COS STD PLAN 310A
20	PRIMARY ENTRANCE	-
21	PROTECT EX SCL POWER POLE THROUGHOUT CONSTRUCTION	-
22	10' HMA TRANSITION TO EX ALLEY GRADE	-
23	FAIRVIEW AVE E - STREET TREES, SIZE AND TYPE TBD BY SDOT UF STA 30+55.12, 33.50' LT STA 30+75.12, 33.50' LT	COS STD PLAN 100A
24	E ALLISON ST - STREET TREES, SIZE AND TYPE TBD BY SDOT UF STA 20+71.62, 19.50' RT STA 20+91.62, 19.50' RT STA 21+11.62, 19.50' RT	COS STD PLAN 100A
25	TAPER CURB FROM 6" CURB TO FLUSH WITH EG OVER 2'	-
26	WARP CURB AROUND EX PS MH LID	-
27	PROPOSED ROW GRADES CREATE FLUSH CONDITION WITH ADJACENT PAVEMENT TO THE SOUTHWEST, REMOVE ROCKERY IN ROW	-
28	(2) NEW 1" WATER SERVICE CONNECTIONS BY SPU (UNDER SEPARATE PERMIT)	-



29	(2) NEW 1" METERS TO SERVE UNITS 2 AND 3 OF 101 E ALLISON ST	-
30	NEW 2" WATER SERVICE CONNECTION BY SPU (UNDER SEPARATE PERMIT)	-
31	NEW METER MANIFOLD (4) 1" METERS TO SERVE UNITS 1 - 4 OF 117 E ALLISON ST	-
32	SPU TO RETIRE EX SERVICE AT MAIN (UNDER SEPARATE PERMIT)	-
33	STA 20+68.00, 19.5' RT INSTALL R7-NPR FACING N ON TS-5	COS STD PLAN 621
34	STA 30+50.50, 33.5' LT INSTALL R7-NPL FACING SW ON TS-5	COS STD PLAN 621
35	STA 20+66.09, 23.5' ST INSTALL R7-NPL FACING SE ON TS-5	COS STD PLAN 621
36	EX WM TO BE RELOC AND REUSED FOR DOMESTIC SERVICE FOR 101 E ALLISON ST, UNIT 1	-

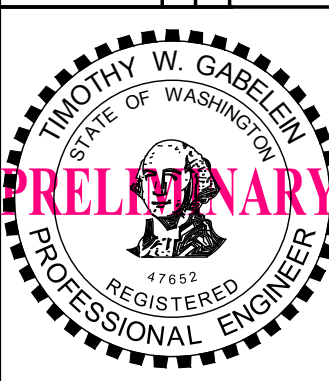
LEGEND:

	CONCRETE ROADWAY
	ASPHALT
	GRAVEL
	CONCRETE WALKWAY
	LANDSCAPE
	CONCRETE CURB



BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION. (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

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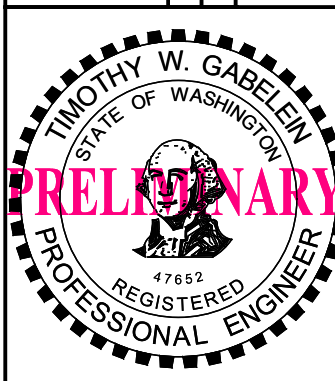
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Seattle Department of Transportation
 SCALE: H. 1"=10' V. INSPECTOR'S BOOK

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN
101 E. ALLISON ST
 CURB, CW, LANDSCAPE, PAVING, ETC.
FRONTAGE PLAN
 SDOT PROJECT NO. SUSIP0000308
 VAULT PLAN NO.
 VAULT SERIAL NO.
 SHEET 2 OF 9

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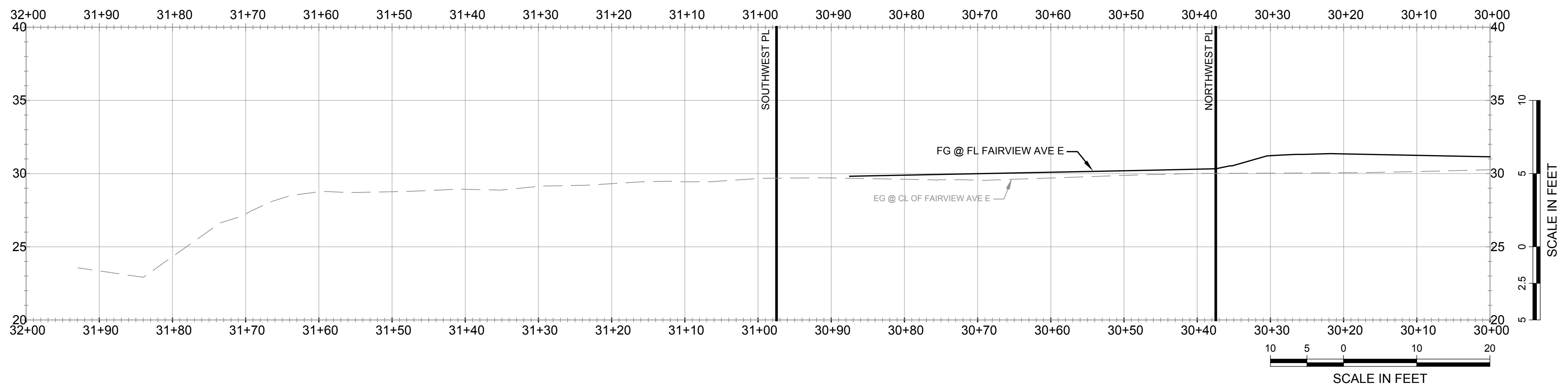
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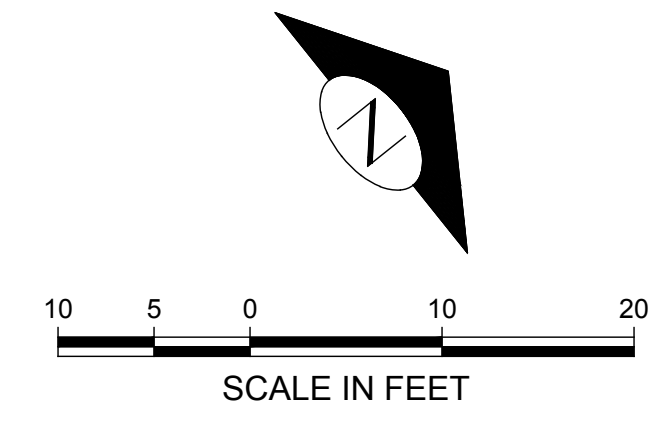
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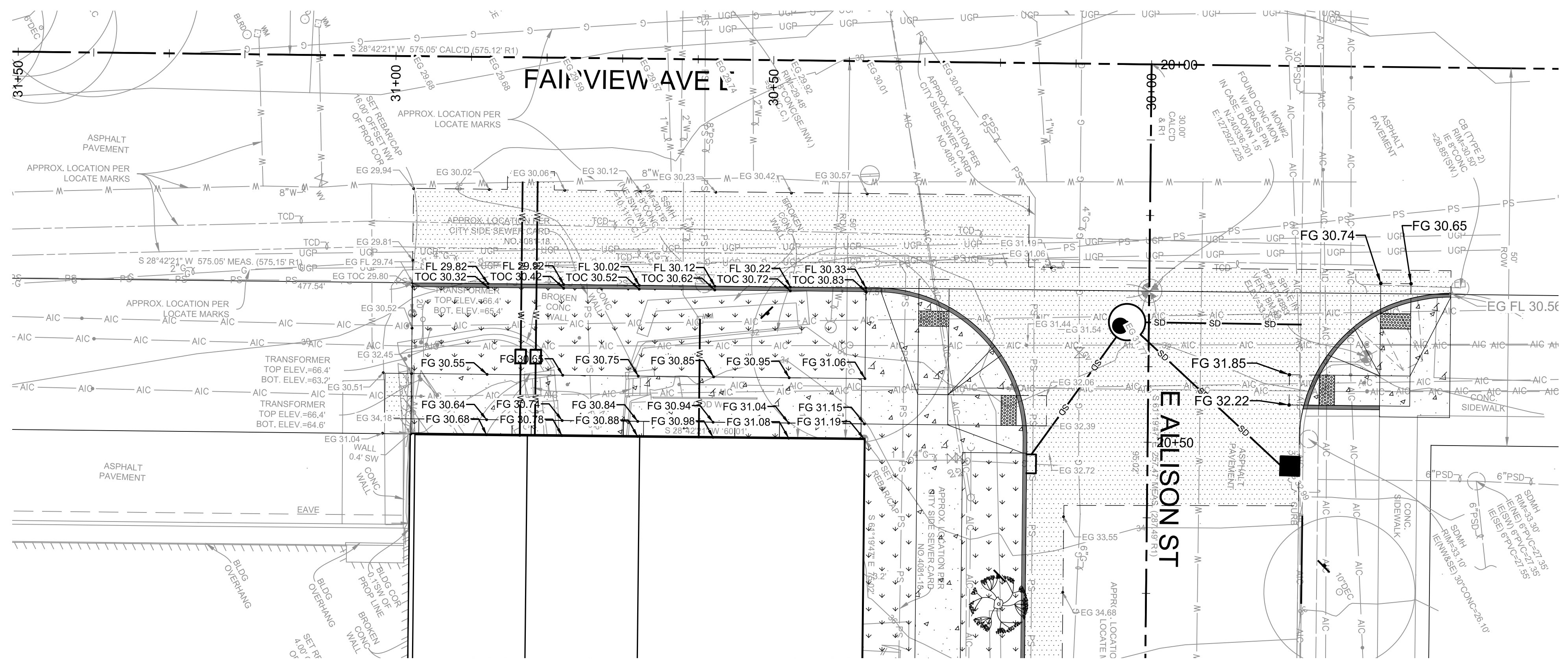
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FAIRVIEW GRADING PROFILE
 SCALE: H.1"=10'; V.1"=5'



- LEGEND:**
- CONCRETE ROADWAY
 - ASPHALT
 - GRAVEL
 - CONCRETE WALKWAY
 - LANDSCAPE
 - CONCRETE CURB



GRADING PLAN
 SCALE AS SHOWN

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN

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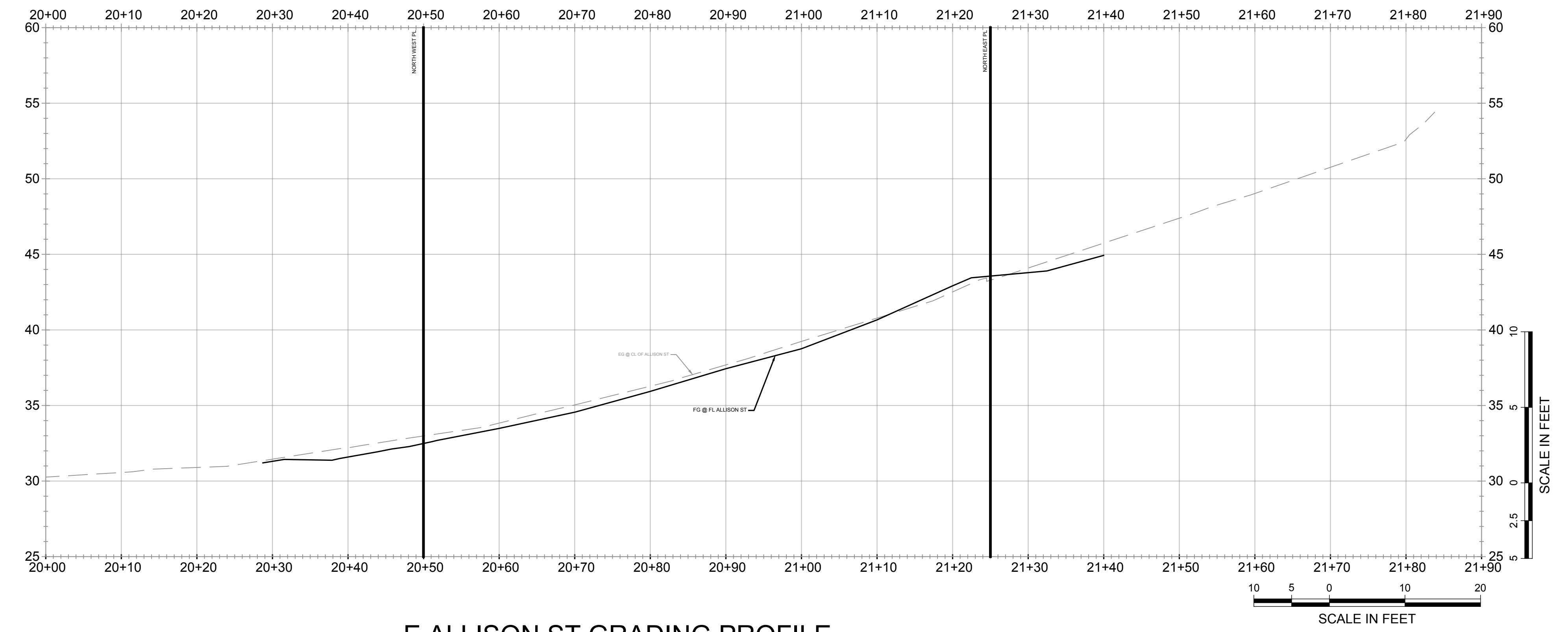
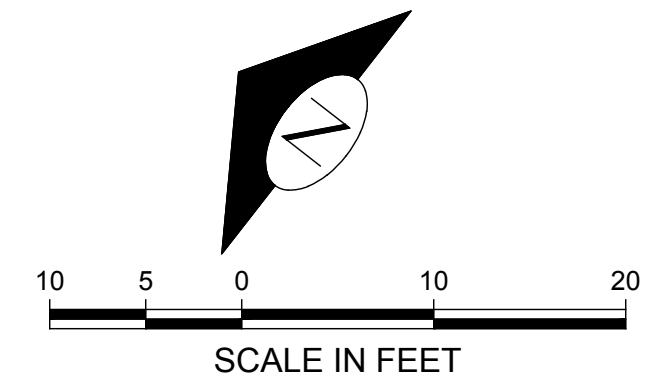
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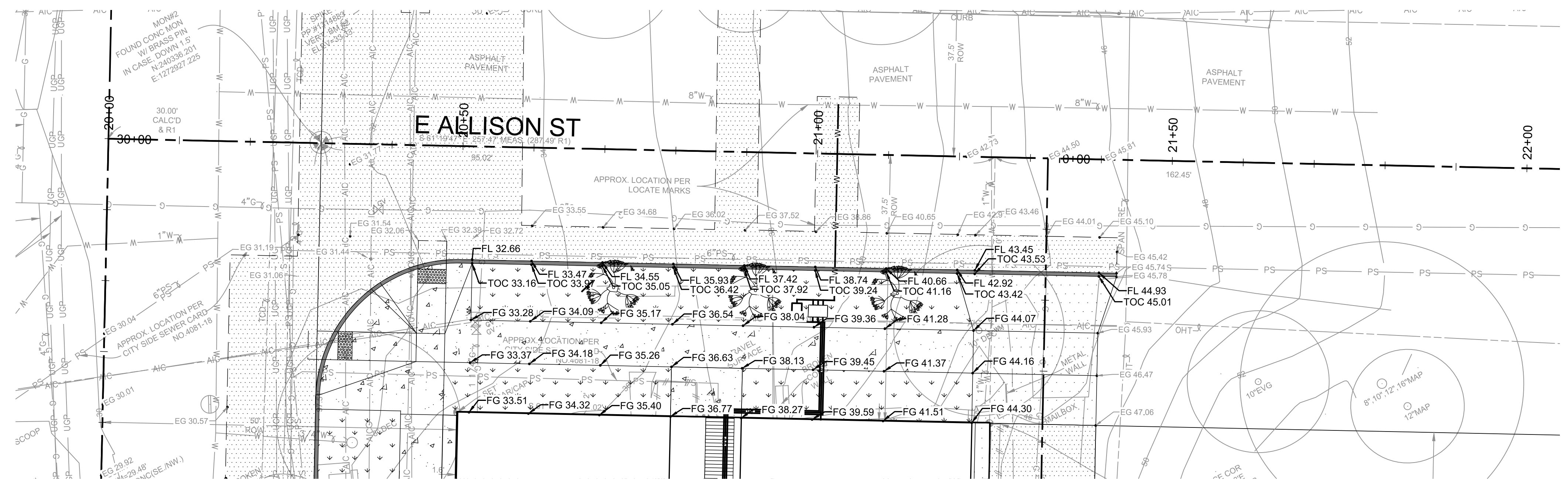
101 E. ALLISON ST
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 GRADING PLAN & PROFILE FAIRVIEW AVE N

SDOT PROJECT NO. SUSIP0000308
Vault Plan No.
Vault Serial No.
SHEET 3 OF 9

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E ALLISON ST GRADING PROFILE
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GRADING PLAN
 SCALE AS SHOWN

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN

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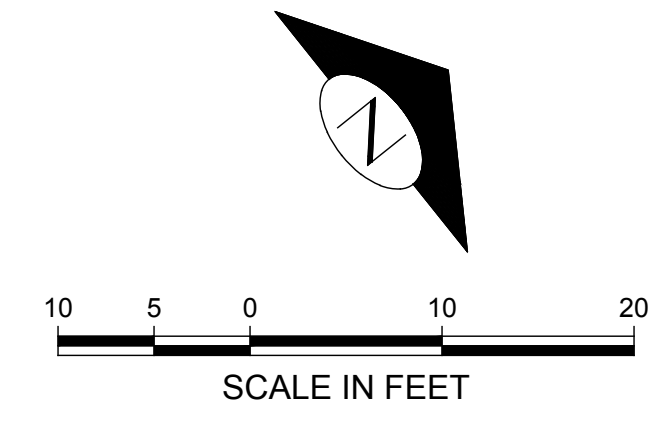
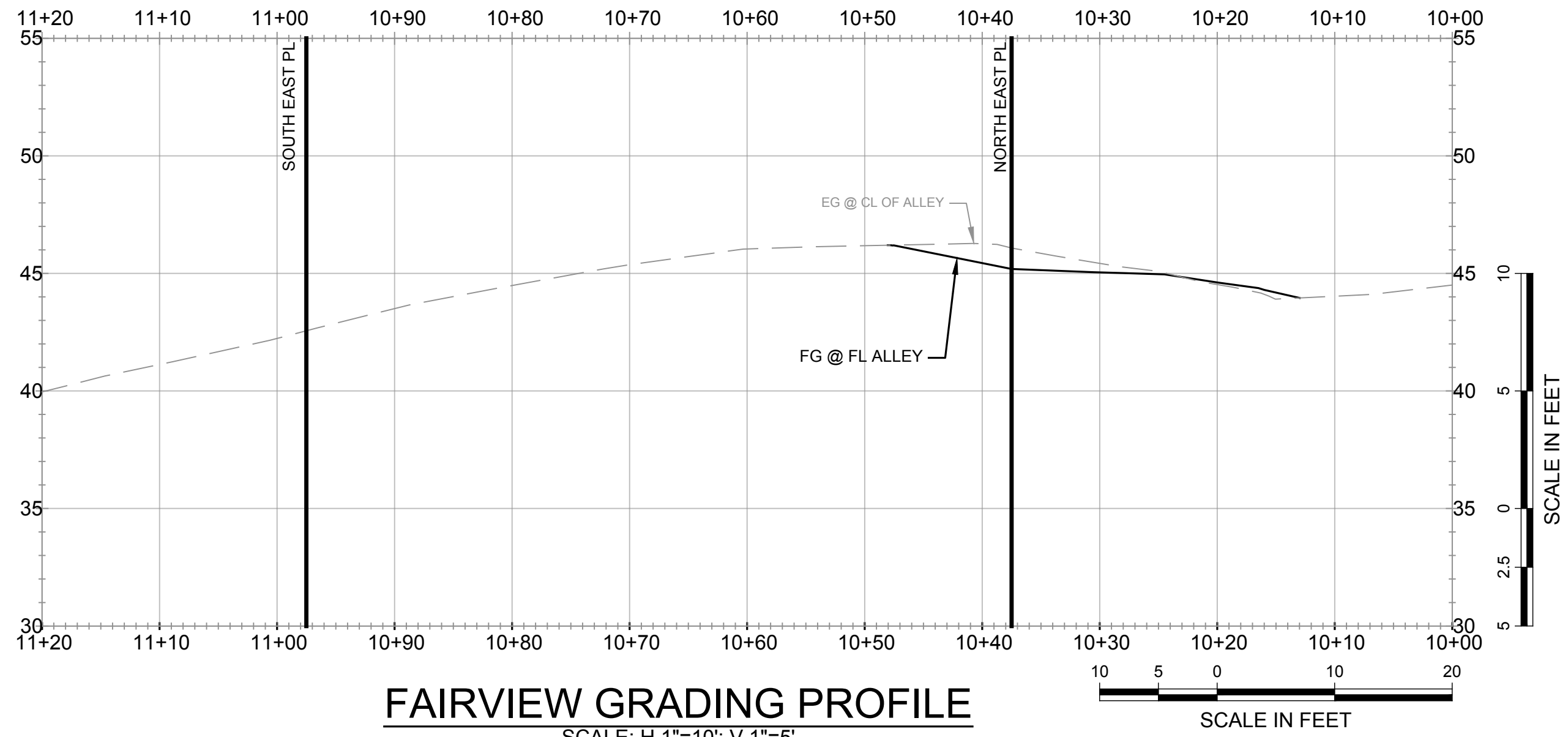
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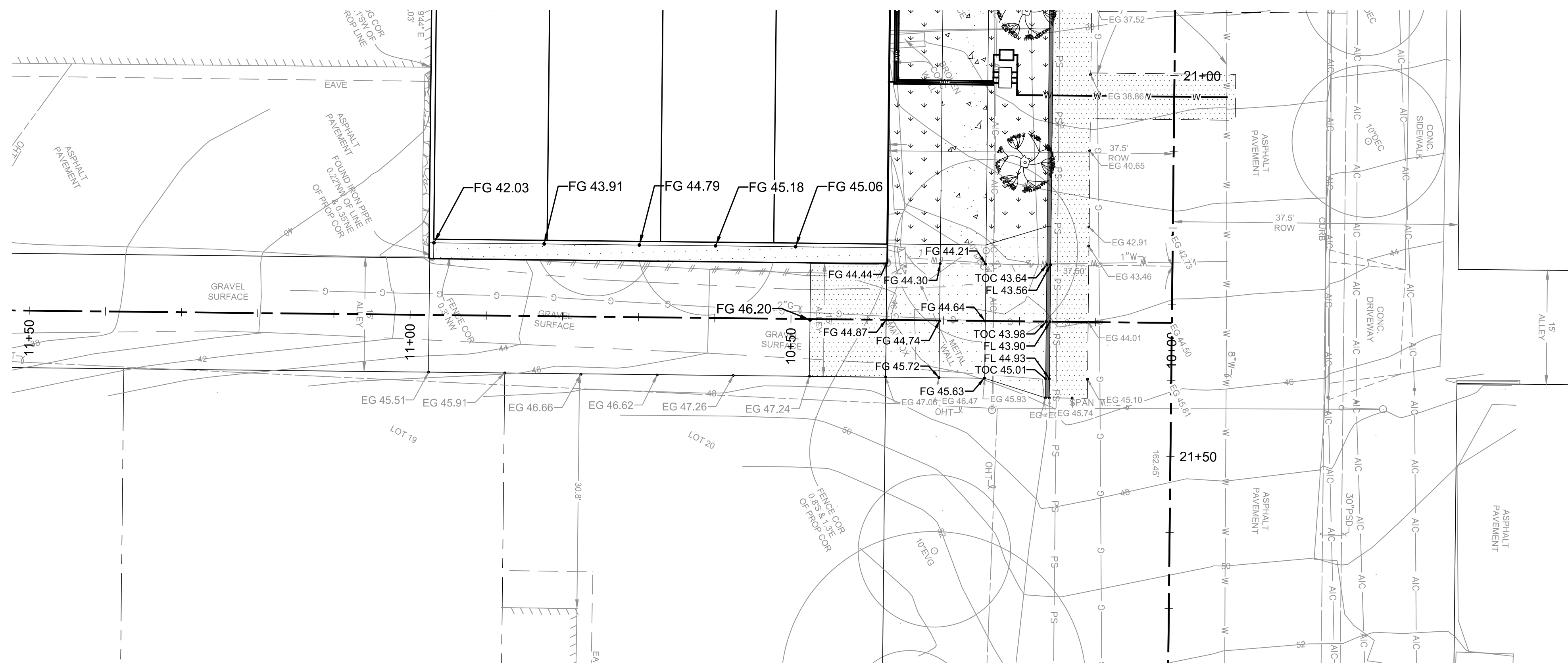
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GRADING PLAN & PROFILE E. ALLISON ST

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GRADING PLAN
SCALE AS SHOWN

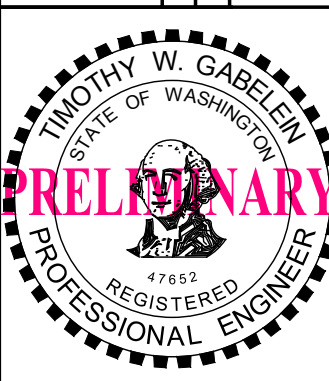
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2 BUSINESS DAYS
BEFORE YOU DIG**

DAVIDO CONSULTING GROUP, INC.
 9706 4TH AVE NE, SUITE 300
 SEATTLE, WA 98115
 206.523.0024

DATE	MARK	NATURE	REVISIONS
			MADE CHKD REVD



REVIEWED BY SPU/WATER ENGINEERING	20.....
REVIEWED BY SPU/DRAINAGE	20.....
APPROVED BY SDOT STREET IMPROVEMENT PERMITTING	20.....

NAME OR INITIALS AND DATE	INITIALS AND DATE
DESIGNED	REVIEWED:
CHECKED	PROJECT MANAGER
DRAWN	REVISED AS-BUILT
CHECKED	

City of Seattle
Seattle Department
of Transportation

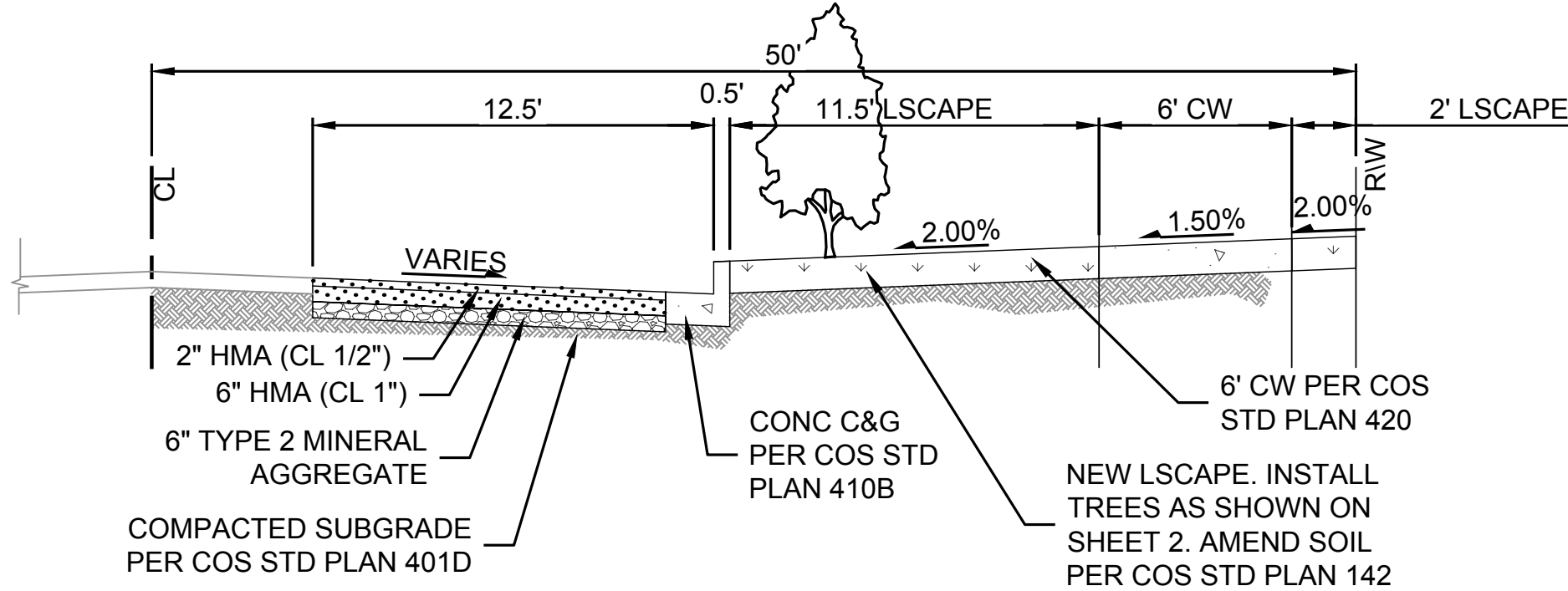
SCALE: H. 1"=10' V. 1"=5' INSPECTOR'S BOOK

101 E. ALLISON ST
CURB, CW, LANDSCAPE, PAVING, ETC.
GRADING PLAN & PROFILE ALLEY

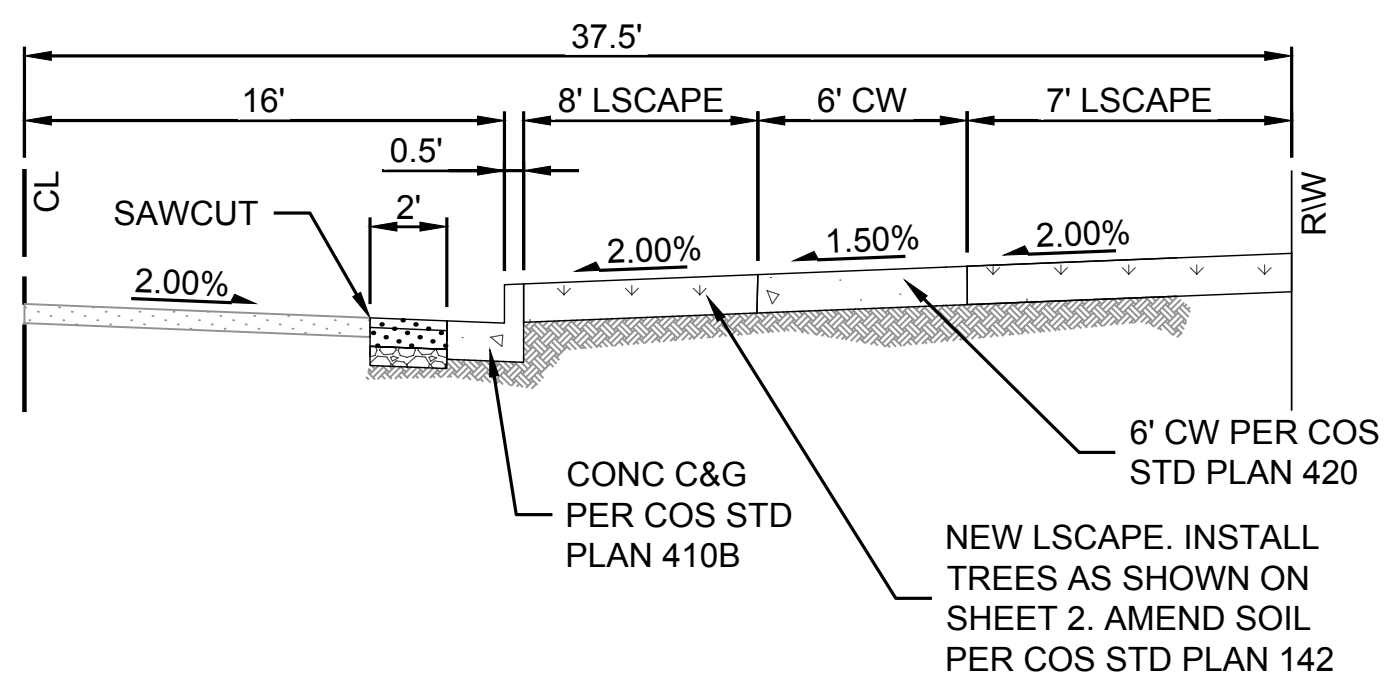
SDOT PROJECT NO. SUSIP0000308
Vault Plan No.
Vault Serial No.
SHEET 5 OF 9

WATER SERVICE NOTES:

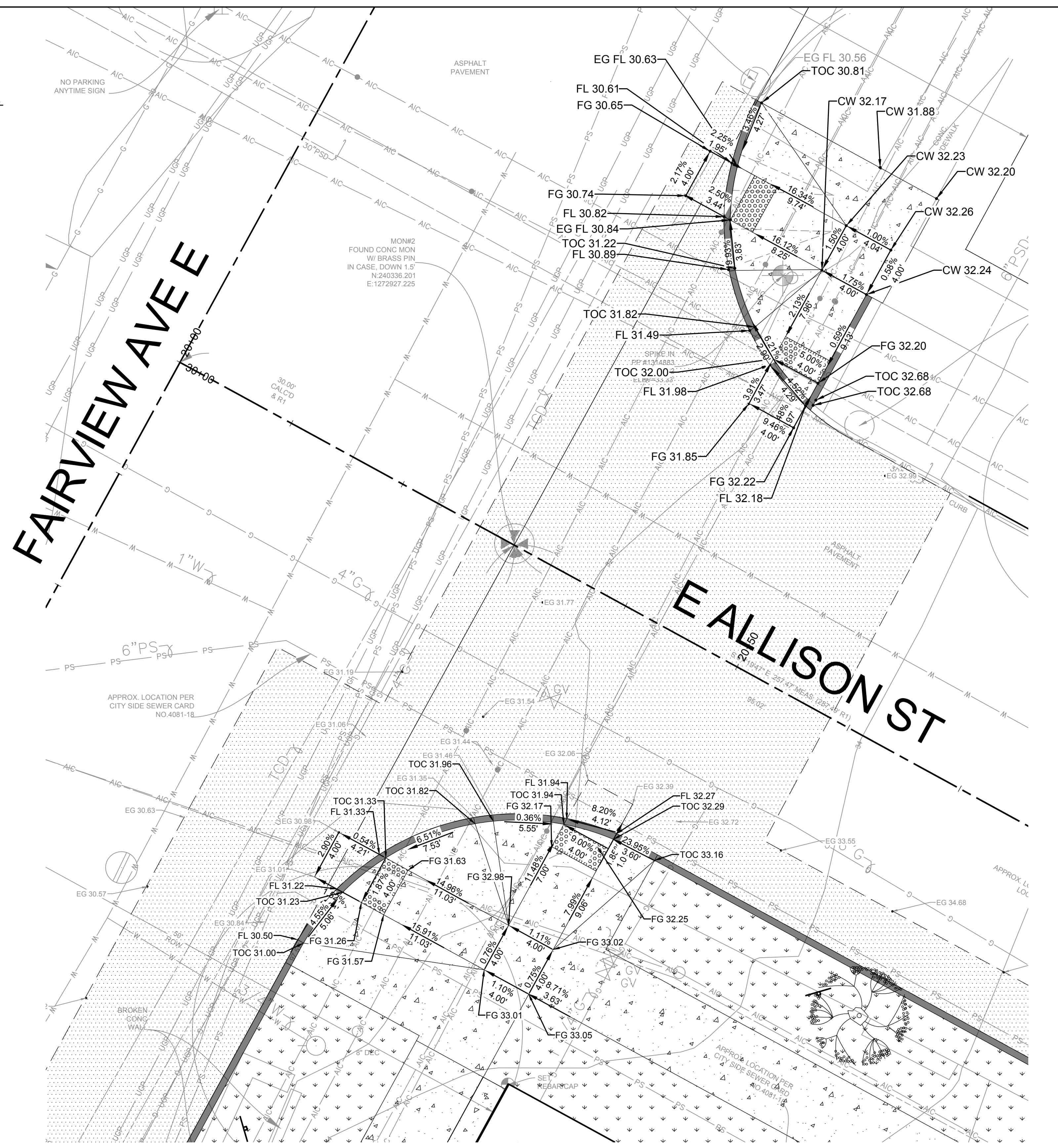
1. APPLICATION FOR A NEW METERED WATER SERVICE AND PAYMENT OF ALL FEES IS REQUIRED BEFORE SERVICE WILL BE AVAILABLE.
2. APPLICANT WILL NEED A WATER AVAILABILITY CERTIFICATE (WAC) AND LEGAL DESCRIPTION OF PROPERTY WHEN SUBMITTING THE APPLICATION. TO OBTAIN A WAC, PLEASE CONTACT THE DEVELOPMENT SERVICES OFFICE AT (206) 684-3333 OR SPUWATERAVAILABILITY@SEATTLE.GOV.
3. ALL WATER SERVICES SHALL BE LOCATED IN THE PUBLIC RIGHT OF WAY AND WITHIN THE FRONTAGE OF THE PARCEL BEING SERVED.
4. WATER SERVICES SERVING PARCELS WITHOUT FRONTAGE TO THE PUBLIC RIGHT OF WAY (SUCH AS UNIT LOT SUBDIVISIONS) OR LANDLOCKED PARCELS SHALL BE SERVED BY A PRIVATE WATER SERVICE EXTENDING FROM THE WATER METER TO THE PARCEL BEING SERVED. THE WATER SERVICE SHALL BE INSTALLED IN A DEDICATED EASEMENT. THE EASEMENT SHALL BE OBTAINED BY THE DEVELOPER, RECORDED, AND A COPY SHALL BE PROVIDED TO SEATTLE PUBLIC UTILITIES (SPU) AT THE TIME OF APPLICATION SUBMITTAL.
5. ALL WATER SERVICES PIPING ON PROPERTY MUST BE INSPECTED PRIOR TO BACKFILLING TRENCH. CONTACT (206) 684-5800 TO REQUEST AN INSPECTION.
6. CUSTOMERS ARE REQUIRED TO INSTALL AN APPROVED AIR GAP OR REDUCED-PRESSURE BACKFLOW ASSEMBLY (RPBA/RPDA) ON ALL WATER SERVICE CONNECTIONS POSING A HIGH HEALTH CROSS-CONNECTION HAZARD (PURSUANT TO WAC 246-290-490). BACKFLOW PREVENTION IS ALSO REQUIRED ON WATER SERVICE CONNECTIONS SUCH AS FIRE SERVICES, IRRIGATION SERVICES, BUILDINGS EXCEEDING THREE STORIES OR 30 FT. IN HEIGHT ABOVE THE METER (MEASURED TO THE HIGHEST WATER FIXTURE), AND MAY BE REQUIRED FOR OTHER WATER SERVICES. SPU AND KING COUNTY HEALTH DEPARTMENT (KCHD) ARE THE ADMINISTRATIVE AUTHORITIES ENGAGED IN A JOINT PROGRAM IDENTIFYING ACTUAL AND POTENTIAL CROSS-CONNECTIONS BETWEEN THE PUBLIC WATER SUPPLY AND POSSIBLE SOURCES OF CONTAMINATION. FOR ANSWERS TO SPECIFIC CROSS-CONNECTION CONTROL QUESTIONS OR TO REQUEST AN INSPECTION, PLEASE CALL (206) 684-3536.



ROAD CROSS SECTION - FAIRVIEW AVE E
PER STD PLAN 401D
NTS



ROAD CROSS SECTION - E ALLISON ST
PER STD PLAN 401D
NTS



ADA RAMP GRADE
PLAN 401D
1" = 5'

CAD FILE NUMBER: P:\CLIENTS-CIVIL\ROBERT HUTCHINSON ARCHITECTURE\101 E ALLISON ST AND 117 E ALLISON ST SEATTLE\DWG\DRAWING\101 E ALLISON ST SEATTLE_SDOT_CIVIL_PLAN.DWG
LAST MODIFIED BY: NICK - SAVE DATE: 3/10/2022 1:58 PM - SHEET SET: 101 E ALLISON ST SEATTLE_SDOT_CIVIL_PLAN-ORIGINAL SHEET SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES)
AUTOCAD VERSION: CIVIL 3D 2018

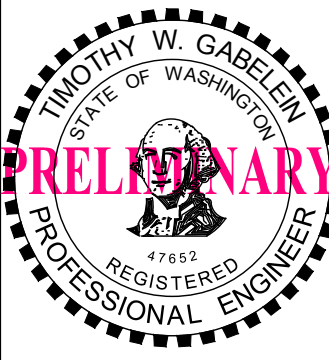
DATE	MARK	NATURE	REVISIONS
		MADE	CHK'D
		REV'D	

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG

DAVIDO CONSULTING GROUP, INC.

9706 4TH AVE NE, SUITE 300
SEATTLE, WA 98115
206.523.0024



REVIEWED BY SPU/WATER ENGINEERING	20.....
REVIEWED BY SPU/DRAINAGE	20.....
APPROVED BY SDOT STREET IMPROVEMENT PERMITTING	20.....

NAME OR INITIALS AND DATE	INITIALS AND DATE
DESIGNED	REVIEWED:
CHECKED	PROJECT MANAGER
DRAWN	REVISED AS-BUILT
CHECKED	
DESIGN REVIEW	

City of Seattle
Seattle Department of Transportation

SCALE: H. V. INSPECTOR'S BOOK

101 E ALLISON ST SDCI PROJECT # 6846481-CN & 6846932-CN

101 E. ALLISON ST
CURB, CW, LANDSCAPE, PAVING, ETC.
DETAILS

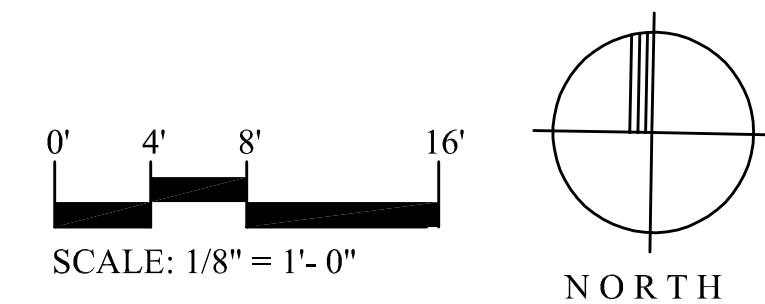
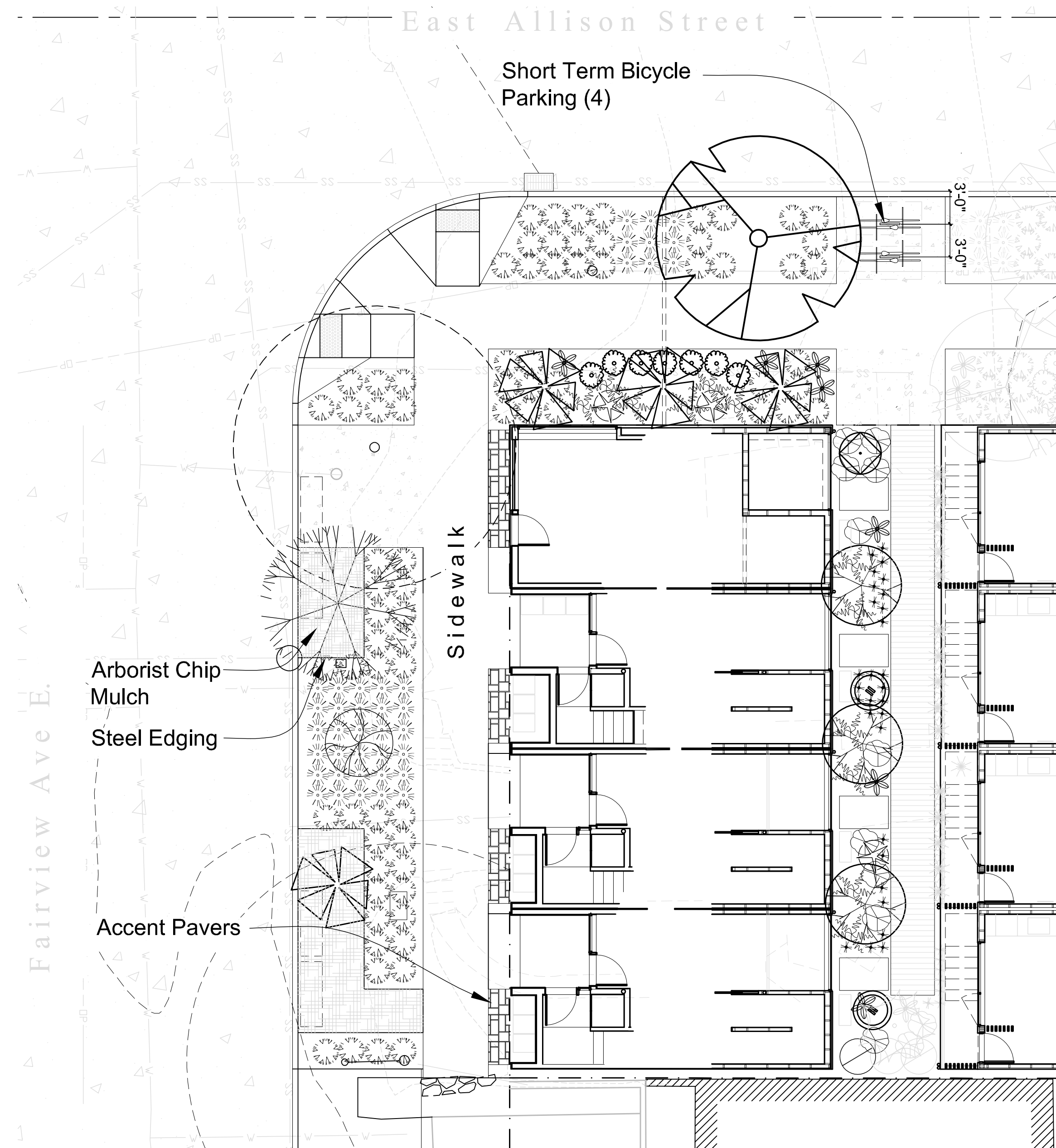
SDOT PROJECT NO. SUSIP0000308
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 6 OF 9

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PLANT SCHEDULE

Qty.	Symbol	Botanical/ Common Name	Size/ Remarks
TREES:			
1		Betula n. 'BMNTF' DURA HEAT RIVER BIRCH (Medium-Small Tree)	min. 2-1/2" cal., Street Tree form
3		Ginkgo b. 'JN9' SKY TOWER GINKGO (Small Tree)	min. 2-1/2" cal., Street Tree form
1		Parrotia p. 'Vanessa' COL. PERSIAN IRONWOOD (Medium-Small Tree)	min. 2-1/2" cal., Street Tree form
SHRUBS / PERENNIALS / GROUNDCOVERS:			
4		Arbutus u. 'Compacta' DWARF STRAWBERRY TREE	min. 48" hgt.
7		<i>Epimedium x versicolor 'Sulphureum' / NCN</i>	1 gal.
7		<i>Hakonechola m. 'Aureola' JAPAN FOREST GRASS</i>	1 gal.
1		Kalmia l. 'Little Linda' MTN. LAUREL	min. 21" spr.
28		Liriope m. 'Big Blue' LILY TURF	1 gal.
1		Mahonia x media 'Winter Sun' HYBRID MAHONIA	5 gal.
3		Nandina d. 'Compacta' HEAVENLY BAMBOO	min. 24" hgt.
39		Pennisetum 'Hamlyn' DWARF FOUNTAIN GRASS	1 gal.
1		Pittosporum tobira PITTOSPORUM	min. 36" hgt.
12		Polystichum munitum WESTERN SWORDFERN	min. 5 fronds @ 12" ea.
76		Prunus l. 'Mt. Vernon' DWARF LAUREL	min. 12 spr.
10		Sarcococca humilis FRAGRANT SARCOCOCCA	min. 15" spr.
1		Vaccinium ovatum EVERGREEN HUCKLEBERRY	min. 24" hgt.

- * Plant names shown in **'bold'** are native/ drought tolerant.
- * Plant names shown in *'italics'* are < 24" in height.
- * If plant quantity shown on schedule conflicts with what is represented by symbol on Plan, the quantity represented by symbol shall be used.
- * Plant sizes are specified per the American Standard for Nursery Stock, Publication-May 2, 1986 sponsored by the American Association of Nurserymen, Inc.
- * Prior to any Tree/ Shrub Planting in City Right of Way, coordinate with SDOT Urban Forester (DOT_LA@Seattle.Gov) soil preparation inspection and exact placement of tree.



LLLLL
101 East Allison St.
Seattle, WA 98102

#3038365-LU



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Glenn Takagi
GLENN L.
CERTIFICATE NO. 338

Glenn Takagi
Landscape Architect
18550 Firlands Way N.
Suite #102
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(206) 542-6100
glenco1029@earthlink.net

Planting Plan

Project No.: _____
Drawn: GT
Checked: GT

Drawing Issue:
3.11.22 LU

Revisions:

Sheet
L 1
1 of 4

Green Factor Scoresheet PAGE 1 SEATTLE *green factor*

Project title: _____ Enter sq ft of parcel: **2,100** SCORE: **0.792429**

Landscape Elements**	Totals calculate automatically from Green Factor Worksheet	Factor	Total
A Planted areas	1297 square feet	0.6	778
1 Planted areas with a soil depth of 24" or greater	0 square feet	1	0
2 Bioretention facilities	0 square feet	1	0
B Plantings (credit for plants in landscaped areas from Section A)	875 square feet	0.1	88
1 Mulch, ground covers, or other plants less than 2' tall at maturity	53 plants	0.3	143
2 Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	8 plants	0.3	86
3 Large shrubs or perennials 4'+ at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center)	3 trees	0.3	68
4 Small Trees Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree	2 trees	0.5	150
5 Small/Medium Trees Tree canopy for "Small/Medium Trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	0 trees	0.7	0
6 Medium/Large Trees Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	0 trees	0.9	0
7 Large Trees Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree	0 inches	1	0
8 Preserved Trees Tree canopy for preservation of existing trees with trunks 6"+ DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter			

* Do not count public rights-of-way in parcel size calculation.
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).
REVISED 07-07-2020

Green Factor Scoresheet PAGE 2 SEATTLE *green factor*

C Green roofs	0 square feet	0.4	0
1 Green roofs over at least 2" and less than 4" of growth medium	0 square feet	0.6	0
2 Green roofs 4" - 8" of growth medium	0 square feet	0.8	0
3 Green roofs 8"+ of growth medium	0 square feet	0.4	0
D Vegetated walls NC, C, SM, and South Downtown zones only	0 square feet	0.4	0
E Permeable paving	0 square feet	0.2	0
1 Permeable paving over at least 6" and less than 24" of soil or gravel	0 square feet	0.5	0
2 Permeable paving over at least 24" of soil or gravel	0 square feet	0.5	0
F Structural soil systems	0 square feet	0.5	0
<i>sub-total of sq ft =</i> 3,462			
G Bonuses	1484 square feet	0.1	148
1 Landscaping that consists of drought-tolerant and/or native plant species	0 square feet	0.2	0
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater	1015 square feet	0.2	203
3 Vegetation visible to passersby from adjacent public right of way or public open spaces	0 square feet	0.1	0
4 Landscaping in food cultivation	<i>Green Factor numerator =</i> 1,664		

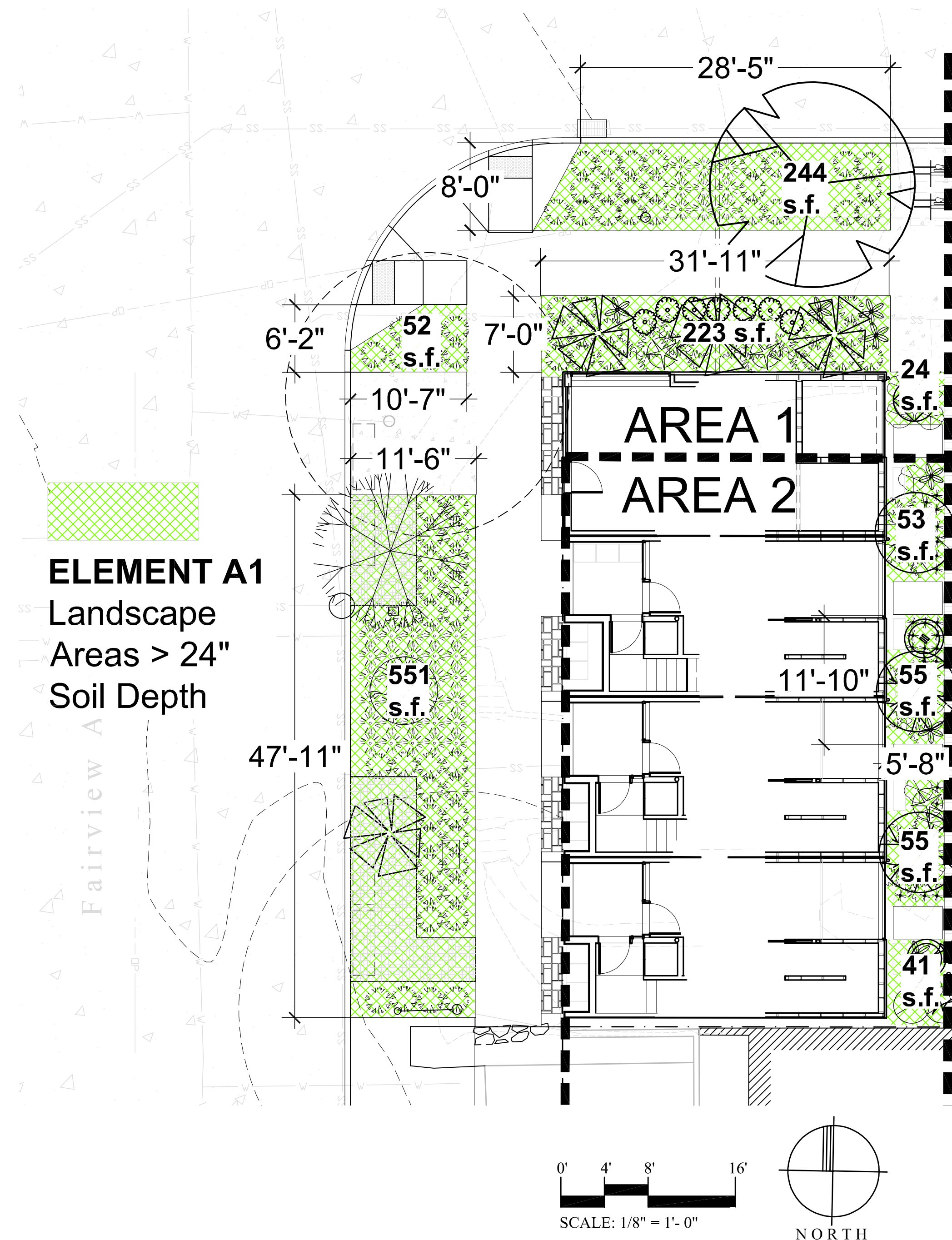
* Do not count public rights-of-way in parcel size calculation.
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).
REVISED 07-07-2020

Green Factor Worksheet SEATTLE *green factor*

Project title: _____

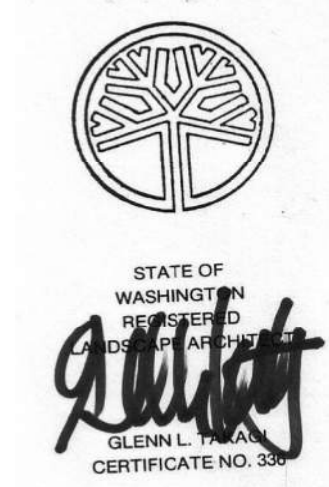
Landscape Elements	Measurement	Planting Area							Total
		1	2	3	4	5	6	7	
A1	square feet	1070	227						1297
A2	square feet								0
B1	square feet	802	73						875
B2	# of plants	45	8						53
B3	# of plants	5	3						8
B4	# of trees		3						3
B5	# of trees	2							2
B6	# of trees								0
B7	# of trees								0
B8	Inches DBH								0
C1	square feet								0
C2	square feet								0
C3	square feet								0
D	square feet								0
E1	square feet								0
E2	square feet								0
F	square feet								0
G1	square feet	999	485						1484
G2	square feet								0
G3	square feet	1015							1015
G4	square feet								0

REVISED 07-07-2020



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101 East Allison St
Seattle, WA 98102

#3038365-LU



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Shoreline, WA 98133
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Green Factor
Elements

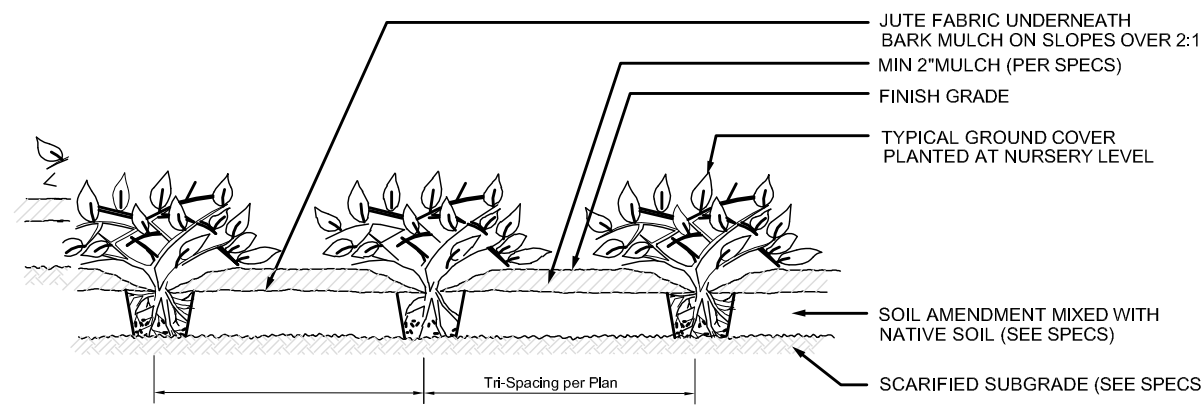
Project No.: _____
Drawn: GT
Checked: GT

Drawing Issue:
3.11.22 MUP

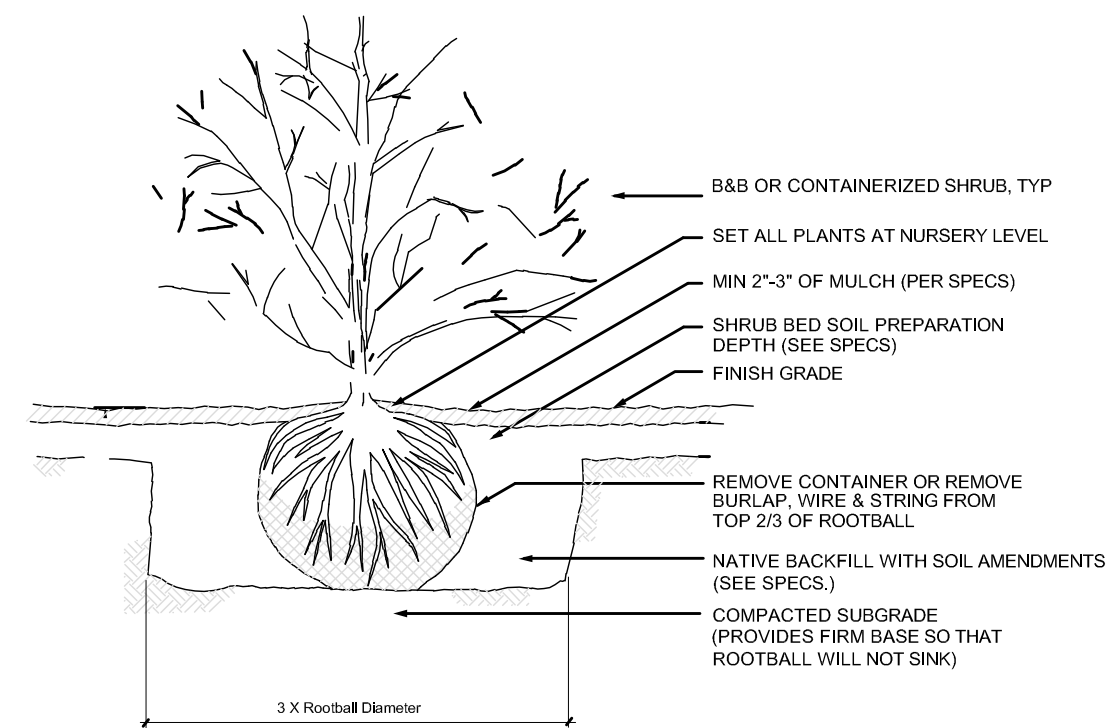
Revisions:

Sheet
L2
2 of 4

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1 GROUND COVER PLANTING
NOT TO SCALE

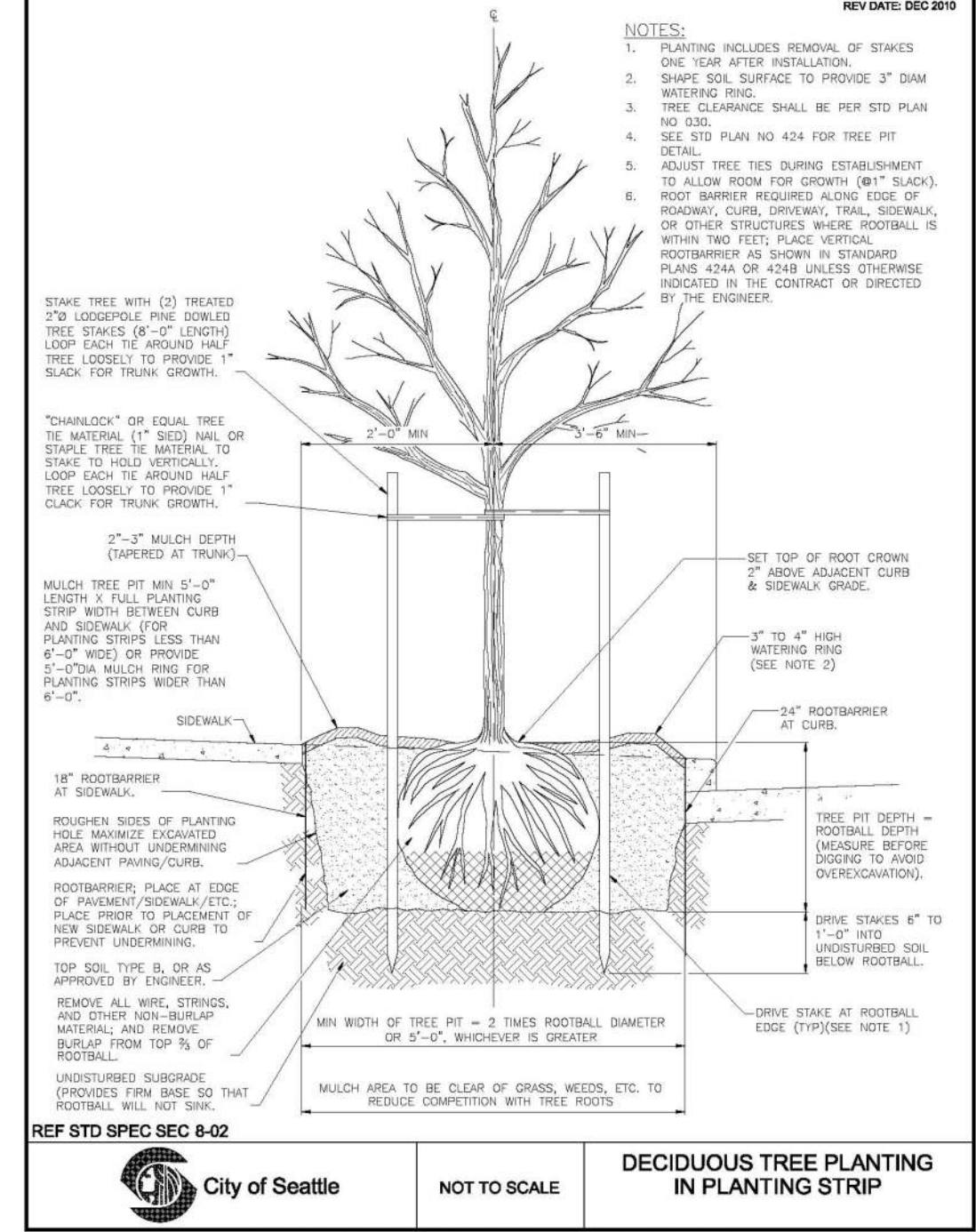


2 SHRUB PLANTING
NOT TO SCALE

GENERAL NOTES:

1. Coordinate work with other trades as required. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Coordinate with Utilities Underground Location Center and Owner for locations of existing underground utilities, etc. servicing or routed through the site.
2. Provide protection of all property, persons, work in progress, structures, utilities, walls, walks, curbs and paved surfaces from damages incurred arising from this work. The Contractor shall pay for any such damage at no additional cost to the Owner.
3. During construction, keep pavements, building clean. Protect site and adjacent properties from damage due to construction operations, operations by other Contractors/trades and trespassers. Unfinished and completed work shall be protected from damage by erosion or trespassing, and proper safeguards shall be erected to protect the Public.
4. Staking and Layout: Immediately notify Landscape Architect in writing of any variance between plans and actual site. Landscape Architect has the right to adjust the location of elements. Verify layout with Landscape Architect prior to any installation work.
5. Verify installation conditions as satisfactory to receive work. Do not install any site elements until any unsatisfactory conditions are corrected. Beginning of work constitutes acceptance of conditions as satisfactory. When conditions detrimental to plant growth/ constructed elements, are encountered such as rubble fill, adverse conditions, or obstructions, notify Landscape Architect.
6. All New Plantings to be watered by a 'Bidder Design' Automatic Irrigation System. Design and Install per latest Irrigation Association Standards and local Codes/ Ordinances. Use Waterwise 'Smart Controller', sensors and nozzles. Provide neat and legible color coded 'As Built' Plans and Equipment Manuals to Owner prior to Project Completion.
7. Paver material, color, size and pattern TBD.
8. Steel Edging to retain Crushed Rock shall be Duraedge steel edging $\frac{3}{8}$ " x 4" in black finish. Use pre-fabricated inside/ outside corners as necessary. Install per Manufacturers recommendations.

100 LANDSCAPE PLANTING STANDARD PLAN NO 100a



PLANTING NOTES:

1. Soil Preparation: **On-Grade Planting Beds-** See COS Std Plan Detail No.142.
2. Prior to any Right of Way Planting, coordinate location, soil preparation and planting operations of Street Trees/ Shrubs with SDOT Urban Forester (206.684.5693), Project Arborist and Landscape Architect.
3. Fertilize all installed plants during backfill operations with 4-2-2 Agro Transplanter as recommended by Manufacturer.
4. Substitutions or changes in materials and placement shall be made only on the written change orders as agreed between Contractor, Landscape Architect, City and Owner.
***Green Factor Note-** All plantings and landscape elements required as part of this Building Permit must be maintained for the life of the project. If alterations or failures reduce landscape features to a level below the minimum required planting area or Green Factor Score, new features must be added to compensate. This requirement also applies to landscape improvements in the right-of-way if used to meet Green Factor requirements.
5. Mulch all ornamental beds with a minimum 2 inch (2") depth of approved coarse shredded bark 'mulch'. Mulch around base of existing trees in the Right or Way (inside Steel Edging) shall be a min. three inch (3") depth of approved 'Arborist's Chips'. Finish grade of mulch shall be 1" below adjacent hard surfaces/ walls. Provide Samples for all proposed Mulches.
6. Stake trees per detail and as directed by Landscape Architect. Trees in Right of Way shall be installed with Root Barriers along Curb and Sidewalk sides
7. Maintenance: Provide landscape maintenance immediately after planting. Work shall include but not limited to pruning, resetting of plants, restoring eroded areas, adjustments to staking and removal of weeds/debris as required for healthy growth of plants. Maintain until Final Acceptance, but in no case less than 30 days (including a min. of two lawn mowings if applicable).

STANDARD PLAN NO 134

	TREES IN PLANTING STRIPS	TREES IN TREE PITS
ROOT PROTECTION	ALL NON-PAVED PLANTING STRIP SURFACES SUBJECT TO IMPACT (COMPACTORS) BY CONSTRUCTION ACTIVITY SHALL BE PROTECTED WITH 4\"/>	RETAIN EXISTING PAVING DURING CONSTRUCTION. SCHEDULE PAVEMENT REPLACEMENT TO MINIMIZE EXPOSURE OF SURFACE ROOTS TO DRIVING. EQUIPMENT DAMAGE, COMPACTORS, ETC. EXPOSURE FOR LONGER THAN 48 HOURS REQUIRES MULCH APPLICATION.
HEAVY EQUIPMENT OPERATION	NO STORAGE OF MATERIALS OR EQUIPMENT IN THE PLANTING STRIP SHALL BE ALLOWED WITHOUT PROPER SURFACE PROTECTION AND WRITTEN AUTHORIZATION FROM THE ENGINEER.	
CANOPY PROTECTION	OVERHEAD BRANCHING LIKELY TO BE DAMAGED BY EQUIPMENT OPERATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER WITH PREVENTIVE MEASURES (PRUNING OR THE BACK OF BRANCHES) APPROVED BY THE ENGINEER AND PROPERLY EXECUTED BEFORE COMMENCEMENT OF THE WORK.	
TRUNK PROTECTION	PROVIDE CHAIN LINK CONSTRUCTION INSTALLATIONS FOR EACH TREE OR THE LENGTH OF THE PLANTING STRIP.	PROVIDE 5'-0\"/>
SIDEWALK RECONSTRUCTION	ROOT PRUNE ONLY AS APPROVED BY THE ENGINEER.	PROVIDE 5'-0\"/>
TRENCH OR TUNNELING	SEE STD PLAN NO 133	

LLLLL
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Seattle, WA 98102

#3038365-LU



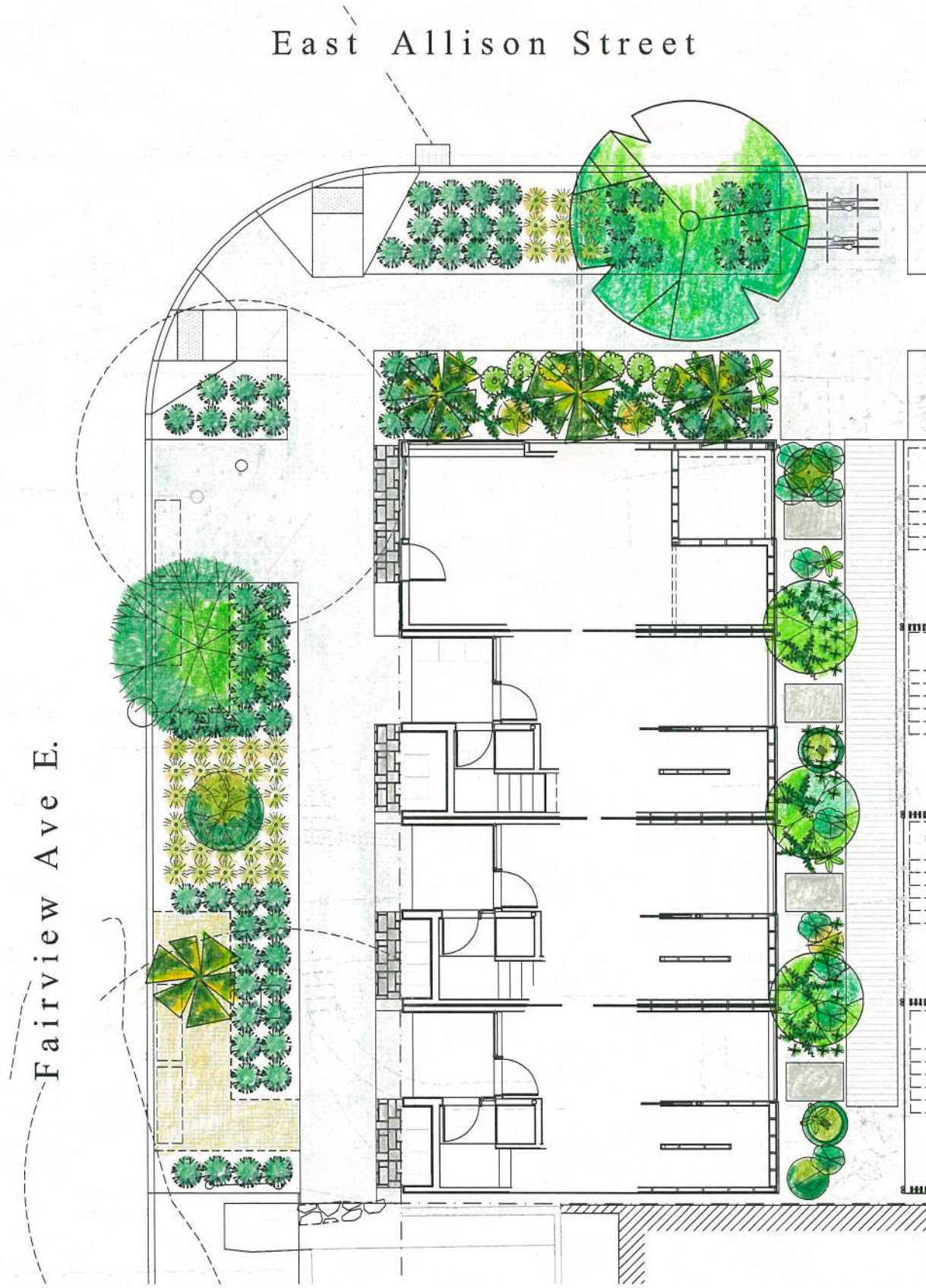
STATE OF WASHINGTON
PROFESSIONAL
LANDSCAPE ARCHITECT
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CERTIFICATE NO. 330

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Notes/ Details

Project No.: _____
Drawn: GT
Checked: GT
Drawing Issue:
3.11.22 LU
Revisions:

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#3038365-LU



STATE OF WASHINGTON
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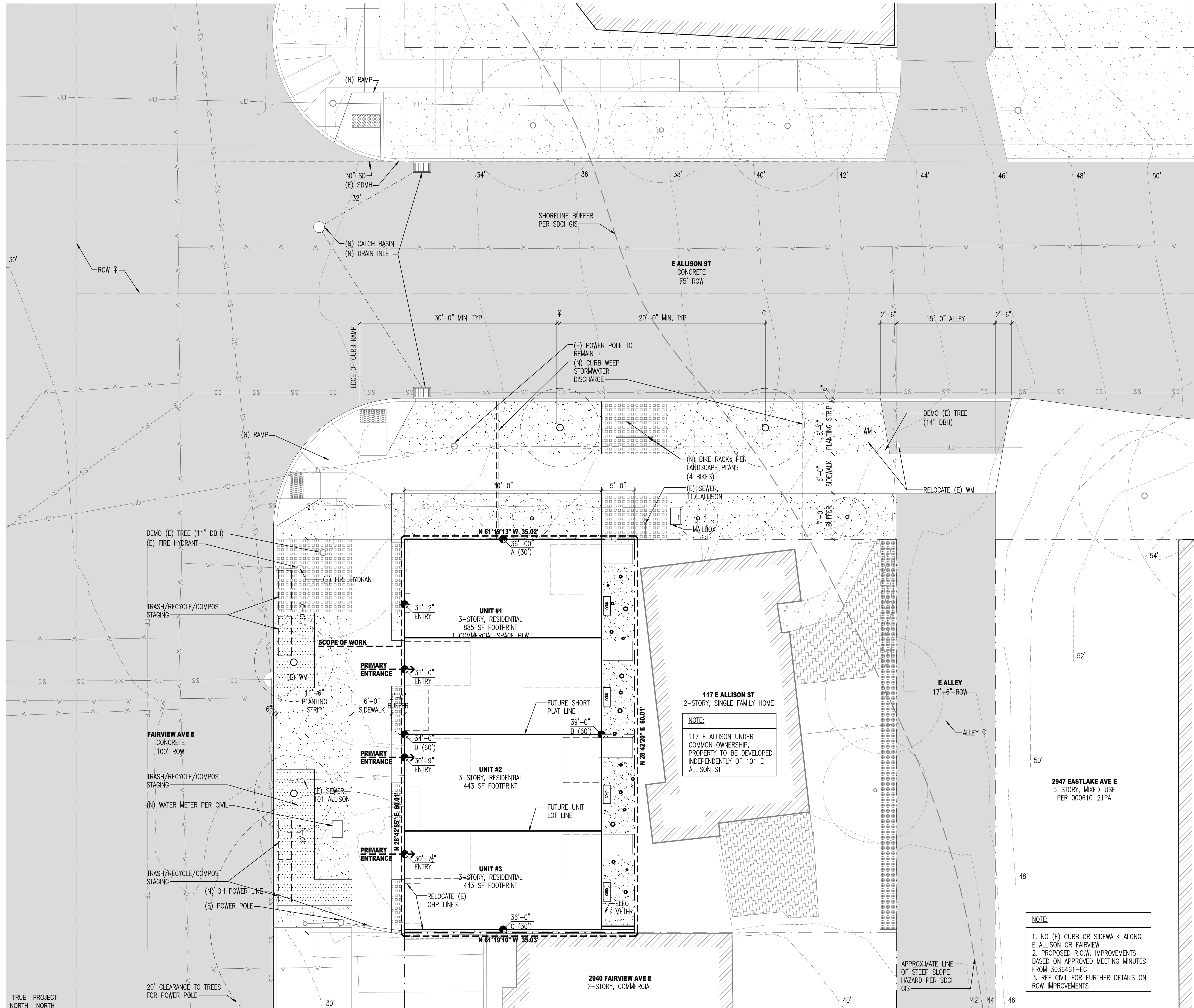
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Landscape Plan

Project No.: _____
Drawn: GT
Checked: GT

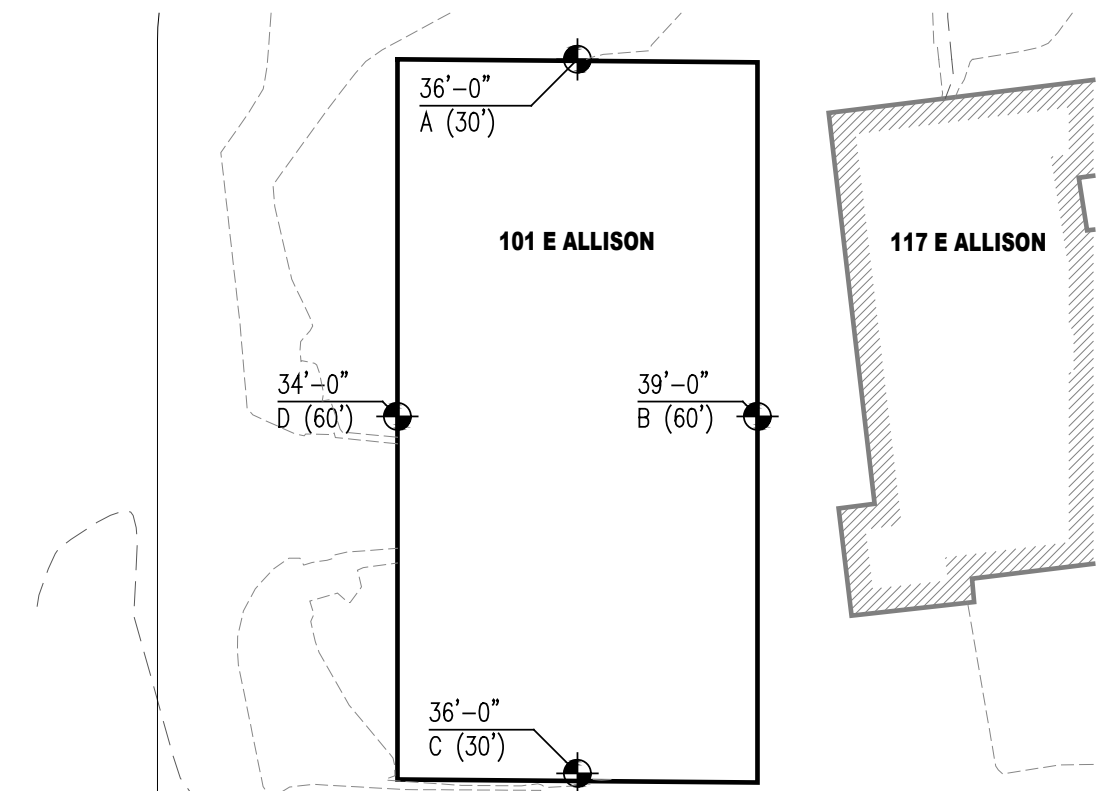
Drawing Issue:
3.11.22 LU

Revisions:

Sheet
L4
4 of 4



1 SITE PLAN
SCALE: 1/8" = 1'-0"



2 AVERAGE GRADE DIAGRAM
SCALE: 1/16" = 1'-0"

LAND USE NOTES

ZONING
NC2-55(M)
RESIDENTIAL URBAN VILLAGE
FREQUENT TRANSIT

ZONING MAP BOOK: 77

FAR
LOT SIZE: 2,100 SF
MAX FAR: 3.75
MAX ALLOWABLE GROSS SF: 7,875 SF
PROPOSED GROSS SF: 5,390 SF < 7,875 OK

SETBACKS
NONE

CRITICAL HAZARD AREAS
ECAS-LIQUEFACTION PRONE AREA

USE
EXISTING: SINGLE FAMILY RESIDENTIAL
PROPOSED: RESIDENTIAL - (4) TOWNHOUSES

SHORELINE UC ENVIRONMENT
UPLAND LOT
30' HEIGHT LIMIT

AVERAGE GRADE CALC AND MAXIMUM HEIGHT
REF: SITE PLAN

SIDE	ELEVATION	LENGTH
SIDE A	36.00'	30.00'
SIDE B	39.00'	60.00'
SIDE C	36.00'	30.00'
SIDE D	34.00'	60.00'
TOTAL LENGTH		180.00'

AVG GRADE = $[(36.00' \times 30.00') + (39.00' \times 60.00') + (36.00' \times 30.00') + (34.00' \times 60.00')] / 180.00'$
AVG GRADE = 36.33'

MAX HEIGHT = $36.33' + 30.00' = 66.33'$

NOTE:
1. NO (E) CURB OR SIDEWALK ALONG E ALLISON OR FAIRVIEW
2. PROPOSED R.O.W. IMPROVEMENTS BASED ON APPROVED MEETING MINUTES FROM 3036461-EG
3. REF CIVIL FOR FURTHER DETAILS ON ROW IMPROVEMENTS

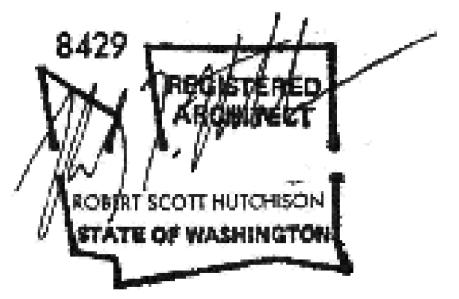
ARCHITECT
ROBERT HUTCHISON ARCHITECTURE LLC
4010 WHITMAN AVENUE N
SEATTLE WA 98103
(206) 414.7226

STRUCTURAL ENGINEER
BYKONEN CARTER QUINN
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SEATTLE, WA 98121
(206) 264.7784 x208

GEOTECHNICAL ENGINEER
PanGEO, INC.
3213 EASTLAKE AVE. E, SUITE B
SEATTLE, WA 98102
(206) 262.0370

CIVIL ENGINEER
DAVIDO CONSULTING GROUP
9706 4TH AVE NE #300
SEATTLE, WA 98115
(206) 523.0024 x128

LANDSCAPE ARCHITECT
GLENN TAKAGI
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SHORELINE, WA 98133
(206) 542.6100



PERMIT DOCUMENTS

04.14.2021	Pre-Application Site Plan
08.19.2021	Pre-Sub Conference: LU
12.14.2021	Pre-Sub Conference: BLDG
02.08.2022	ECA Relief
03.14.2022	MUP Submission

SEATTLE MUNICIPAL CODE		101 E ALLISON ST.	
21.36.080	PLACEMENT OF CONTAINERS	A. ALL CONTAINERS FOR BACKYARD COLLECTION SHALL BE PLACED BY THE OCCUPANT IN A CONVENIENT, ACCESSIBLE LOCATION AS NEAR AS PRACTICABLE TO THE APPROXIMATE REAR OF THE BUILDING OR NEAR THE ALLEY, UPON THE GROUND LEVEL OR GROUND FLOOR, OR IN A STURDY RACK NOT OVER FOURTEEN (14) INCHES ABOVE SUCH LEVEL OR FLOOR, EXCEPT THAT SUNKEN CANS MAY BE BELOW THE GROUND LEVEL, WHERE NO OTHER SUITABLE AREA IS AVAILABLE. CONTAINERS MAY BE PLACED AT A LOCATION SELECTED BY THE CUSTOMER AND THE DIRECTOR OF SEATTLE PUBLIC UTILITIES. CONTAINERS FOR CURBSIDE/ALLEY COLLECTION SHALL BE PLACED AS FOLLOWS: 1. FROM PROPERTIES WITH LEVEL PLANTING STRIPS, IN THE PLANTING STRIP OR DRIVEWAY WITHIN ONE (1) YARD OF THE CURB; 2. FROM PROPERTIES WITH ALLEYS OF SUFFICIENT WIDTH, IN THE ALLEY OR WITHIN ONE (1) YARD OF THE ALLEY GATE IF THE GATE IS WITHIN ONE (1) YARD OF THE ALLEY; 3. FROM PROPERTIES WITH SIDEWALKS BUT NOT PLANTING STRIPS, ON THE OWNER'S PROPERTY, WITHIN ONE (1) YARD OF THE SIDEWALK, IF LEVEL; 4. WHEN THE FOREGOING LOCATION SLOPES AT A GRADE MAKING PLACEMENT OF A CONTAINER DIFFICULT, THE NEAREST REASONABLE LEVEL AREA; AND 5. IF THE PREMISES HAS NO SIDEWALK OR PLANTING STRIP, DENSE SHRUBBERY OR EXTRAORDINARY CIRCUMSTANCES PRECLUDE SUCH A LOCATION, FROM A PLACEMENT SUITABLE TO THE CUSTOMER AND CONVENIENT TO THE COLLECTION CONTRACTOR. B. CONTAINERS SHALL NOT BE PLACED ON THE SIDEWALK OR IN THE PLANTING STRIP OR THE ALLEY FOR COLLECTION UNTIL A REASONABLE TIME PRIOR TO COLLECTION. CONTAINERS SHALL BE REMOVED WITHIN A REASONABLE TIME THEREAFTER. C. DETACHABLE CONTAINERS MAY BE STORED WITHIN A BUILDING BUT SHALL BE READILY ACCESSIBLE FOR SERVICING WITHOUT UNNECESSARY DELAY OR SPECIAL COLLECTION EQUIPMENT.	NOT APPLICABLE
23.47A.004 TABLE A	USE IN COMMERCIAL ZONES	C.2.b. RESTAURANTS J.1. RESIDENTIAL USES NOT LISTED BELOW (3) DWELLING UNITS	
23.47A.008.A2	BLANK FACADES	A. FOR PURPOSES OF THIS SECTION 23.47A.008, FACADE SEGMENTS ARE CONSIDERED BLANK IF THEY DO NOT INCLUDE AT LEAST ONE OF THE FOLLOWING: 1)WINDOWS; 2)ENTRANCES OR DOORWAYS; 3)STAIRS, STOOPS, OR PORTICOS; 4)DECKS OR BALCONIES; OR 5)SCREENING AND LANDSCAPING ON THE FACADE ITSELF. B. BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. C. THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40 PERCENT OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET.	ALONG E ALLISON, LANDSCAPE SCREENING IS PROVIDED ALONG FAIRVIEW, ENTRANCES, STAIRS, WINDOWS AND SCREENING ARE PROVIDED REF BLANK FACADE COMPLIANCE DIAGRAMS ON A0.2
23.47A.008.B2	TRANSPARENCY (NON-RESIDENTIAL STREET USE)	A. SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT. FOR PURPOSES OF CALCULATING THE 60 PERCENT OF A STRUCTURE'S STREET-FACING FACADE, THE WIDTH OF A DRIVEWAY AT STREET LEVEL, NOT TO EXCEED 22 FEET, MAY BE SUBTRACTED FROM THE WIDTH OF THE STREET-FACING FACADE IF THE ACCESS CANNOT BE PROVIDED FROM AN ALLEY OR FROM A STREET THAT IS NOT A DESIGNATED PRINCIPAL PEDESTRIAN STREET. B. TRANSPARENT AREAS OF FACADES SHALL BE DESIGNED AND MAINTAINED TO PROVIDE VIEWS INTO AND OUT OF THE STRUCTURE, EXCEPT FOR INSTITUTIONAL USES, NO PERMANENT SIGNAGE, WINDOW TINTING OR TREATMENTS, SHELVING, OTHER FURNISHINGS, FIXTURES, EQUIPMENT, OR STORED ITEMS SHALL COMPLETELY BLOCK VIEWS INTO AND OUT OF THE STRUCTURE BETWEEN 4 FEET AND 7 FEET ABOVE ADJACENT GRADE. THE INSTALLATION OF TEMPORARY SIGNS OR DISPLAYS THAT COMPLETELY BLOCK VIEWS MAY BE ALLOWED IF SUCH TEMPORARY SIGN COMPLIES WITH SUBSECTION 23.55.012.E.	MORE THAN SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2' AND 8' OF THE COMMERCIAL SPACE IS TRANSPARENT. REF BLANK FACADE AND TRANSPARENCY DIAGRAMS ON A0.2
23.47A.008.B3	DEPTH PROVISIONS	A. NON-RESIDENTIAL USES GREATER THAN 600 SQUARE FEET SHALL EXTEND AN AVERAGE DEPTH OF AT LEAST 30 FEET AND A MINIMUM DEPTH OF 15 FEET FROM THE STREET-LEVEL, STREET-FACING FACADE.	NOT APPLICABLE NON-RESIDENTIAL USE IS LESS THAN 600 SF
23.47A.008.B4	STREET LEVEL DEVELOPMENT STANDARDS: NON-RESIDENTIAL - HEIGHT	HEIGHT PROVISIONS FOR NEW STRUCTURES OR NEW ADDITIONS TO EXISTING STRUCTURES. NON-RESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FLOOR-TO-FLOOR HEIGHT OF AT LEAST 13 FEET.	FLOOR-TO-FLOOR HEIGHT AT COMMERCIAL SPACE IS GREATER THAN 13 FEET. REF BUILDING SECTION ON A2.5.
23.47A.008.D	STREET LEVEL DEVELOPMENT STANDARDS: RESIDENTIAL	WHERE RESIDENTIAL USES ARE LOCATED ALONG A STREET-LEVEL, STREET-FACING FACADE, THE FOLLOWING REQUIREMENTS APPLY UNLESS EXEMPTED BY SUBSECTION 23.47A.008.G: 1. AT LEAST ONE OF THE STREET-LEVEL, STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY, AND 2. THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL, STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK, AN EXCEPTION TO THE STANDARDS OF THIS SUBSECTION 23.44.008.D.2 MAY BE GRANTED AS A TYPE I DECISION IF THE FOLLOWING CRITERIA ARE MET: A. AN ACCESSIBLE ROUTE TO THE UNIT IS NOT ACHIEVABLE IF THE STANDARD IS APPLIED OR EXISTING SITE CONDITIONS SUCH AS TOPOGRAPHY MAKE ACCESS IMPRACTICAL IF THE STANDARD IS APPLIED; B. THE FLOOR IS AT LEAST 18 INCHES ABOVE AVERAGE SIDEWALK GRADE OR 4 FEET BELOW SIDEWALK GRADE, OR IS SET BACK AT LEAST 10 FEET FROM THE SIDEWALK; AND C. THE VISUALLY PROMINENT PEDESTRIAN ENTRY IS MAINTAINED. SIGNS OR DISPLAYS THAT COMPLETELY BLOCK VIEWS MAY BE ALLOWED IF SUCH TEMPORARY SIGN COMPLIES WITH SUBSECTION 23.55.012.B.	VISUALLY PROMINENT ENTRANCES, PROVIDED UNIT ENTRANCES ARE 10'-0" AWAY FROM THE SIDEWALK

23.47A.008.F		F. THE DIRECTOR MAY ALLOW EXCEPTIONS TO THE STREET-LEVEL REQUIREMENTS OF THIS SECTION 23.47A.008, AS A TYPE I DECISION, FOR PROJECTS THAT ARE NOT SUBJECT TO THE DESIGN REVIEW PROCESS, EXCEPT THAT IN A PEDESTRIAN-DESIGNATED ZONE EXCEPTIONS MAY NOT BE GRANTED FOR REQUIREMENTS FOR RESIDENTIAL USES AT STREET LEVEL, TRANSPARENCY REQUIREMENTS, OR FLOOR-TO-FLOOR HEIGHT REQUIREMENTS AS DESCRIBED IN SUBSECTION 23.41.012.B. EXCEPTIONS MAY BE GRANTED IF THE DIRECTOR DETERMINES THAT THE PROJECT WILL MAINTAIN THE SAFETY AND AESTHETICS OF THE STREETScape FOR PEDESTRIANS AND WILL: 4. MAINTAIN THE PRIVACY OF RESIDENTIAL USES; OR MAX FAR 3.75	
23.47A.013	FAR	B. THE FOLLOWING GROSS FLOOR AREA IS NOT COUNTED TOWARD FAR: 1. ALL UNDERGROUND STORIES OR PORTIONS OF STORIES; 2. ALL PORTIONS OF A STORY THAT EXTEND NO MORE THAN 4 FEET ABOVE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, EXCLUDING ACCESS;	COMPLIES, REF A0.0 & A0.2
23.47A.013	SETBACKS		NOT APPLICABLE
23.47A.015	VIEW CORRIDORS	A. ON LOTS THAT ARE PARTIALLY WITHIN THE SHORELINE DISTRICT, A VIEW CORRIDOR SHALL BE REQUIRED FOR THE ENTIRE LOT IF THE PORTION OF THE LOT IN THE SHORELINE DISTRICT IS REQUIRED TO PROVIDE A VIEW CORRIDOR UNDER THE SEATTLE SHORELINE MASTER PROGRAM. B. MEASUREMENT AND MODIFICATION OF THE VIEW CORRIDOR REQUIREMENT MUST BE ACCORDING TO THE SHORELINE DISTRICT MEASUREMENT REGULATIONS.	RE SHORELINE COMPLIANCE NOTES, BELOW
23.47A.016.A	LANDSCAPING	2. LANDSCAPING THAT ACHIEVES A GREEN FACTOR SCORE OF 0.3 OR GREATER, PURSUANT TO SECTION 23.86.019, IS REQUIRED FOR ANY LOT WITH A DEVELOPMENT CONTAINING MORE THAN FOUR NEW DWELLING UNITS OR A CONGREGATE RESIDENCE...	COMPLIES, REF LANDSCAPE PLANS
23.47A.016.B	STREET TREE REQUIREMENTS	3. WHEN AN EXISTING STRUCTURE IS PROPOSED TO BE EXPANDED BY MORE THAN 1,000 SQUARE FEET, ONE STREET TREE IS REQUIRED FOR EACH 500 SQUARE FEET OVER THE FIRST 1,000 SQUARE FEET OF ADDITIONAL STRUCTURE, UP TO THE MAXIMUM NUMBER OF TREES THAT WOULD BE REQUIRED FOR NEW CONSTRUCTION. 4. IF IT IS NOT FEASIBLE TO PLANT STREET TREES IN A RIGHT-OF-WAY PLANTING STRIP, A 5-FOOT SETBACK SHALL BE PLANTED WITH STREET TREES ALONG THE STREET PROPERTY LINE OR LANDSCAPING OTHER THAN TREES SHALL BE PROVIDED IN THE PLANTING STRIP, SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION. IF, ACCORDING TO THE DIRECTOR OF TRANSPORTATION, A 5-FOOT SETBACK OR LANDSCAPED PLANTING STRIP IS NOT FEASIBLE, THE DIRECTOR OF THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS MAY REDUCE OR WAIVE THIS REQUIREMENT. 4. IF IT IS NOT FEASIBLE TO PLANT STREET TREES IN A RIGHT-OF-WAY PLANTING STRIP, A 5-FOOT SETBACK SHALL BE PLANTED WITH STREET TREES ALONG THE STREET PROPERTY LINE OR LANDSCAPING OTHER THAN TREES SHALL BE PROVIDED IN THE PLANTING STRIP, SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION. IF, ACCORDING TO THE DIRECTOR OF TRANSPORTATION, A 5-FOOT SETBACK OR LANDSCAPED PLANTING STRIP IS NOT FEASIBLE, THE DIRECTOR OF THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS MAY REDUCE OR WAIVE THIS REQUIREMENT.	COMPLIES, REF LANDSCAPE PLANS
23.47A.024	AMENITY AREA	A. AMENITY AREAS ARE REQUIRED IN AN AMOUNT EQUAL TO 5 PERCENT OF THE TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE, EXCEPT AS OTHERWISE SPECIFICALLY PROVIDED IN THIS CHAPTER 23.47A. GROSS FLOOR AREA, FOR THE PURPOSES OF THIS SUBSECTION 23.47A.024.A, EXCLUDES AREAS USED FOR MECHANICAL EQUIPMENT AND ACCESSORY PARKING, FOR THE PURPOSES OF THIS SUBSECTION 23.47A.024.A, BIOTRETENTION FACILITIES QUALIFY AS AMENITY AREAS. B. REQUIRED AMENITY AREAS SHALL MEET THE FOLLOWING STANDARDS, AS APPLICABLE: 1. ALL RESIDENTS SHALL HAVE ACCESS TO AT LEAST ONE COMMON OR PRIVATE AMENITY AREA. 2. AMENITY AREAS SHALL NOT BE ENCLOSED. 3. PARKING AREAS, VEHICULAR ACCESS EASEMENTS, AND DRIVEWAYS DO NOT QUALIFY AS AMENITY AREAS, EXCEPT THAT A WOONERF MAY PROVIDE A MAXIMUM OF 50 PERCENT OF THE AMENITY AREA IF THE DESIGN OF THE WOONERF IS APPROVED THROUGH A DESIGN REVIEW PROCESS PURSUANT TO CHAPTER 23.41. 4. COMMON AMENITY AREAS SHALL HAVE A MINIMUM HORIZONTAL DIMENSION OF 10 FEET, AND NO COMMON AMENITY AREA SHALL BE LESS THAN 250 SQUARE FEET IN SIZE. 5. PRIVATE BALCONIES AND DECKS SHALL HAVE A MINIMUM AREA OF 60 SQUARE FEET, AND NO HORIZONTAL DIMENSION SHALL BE LESS THAN 6 FEET. 6. ROOFTOP AREAS EXCLUDED BECAUSE THEY ARE NEAR MINOR COMMUNICATION UTILITIES AND ACCESSORY COMMUNICATION DEVICES, PURSUANT TO SUBSECTION 23.57.012.C.1.D, DO NOT QUALIFY AS AMENITY AREAS. EATING AND DRINKING: 1 SPACE FOR 250 SQUARE FEET	PRIVATE BALCONY AND SHARED COURTYARD PROVIDED. REF A0.2.
23.54.015	REQUIRED PARKING-COMMERCIAL		CAR PARKING REQ: 0 CAR PARKING PROVIDED: 0
23.54.015	REQUIRED PARKING-RESIDENTIAL		CAR PARKING REQ: 0 CAR PARKING PROVIDED: 0
23.54.015.K	BICYCLE PARKING		COMMERCIAL: (1) LONG TERM REQUIRED, AND PROVIDED, REF 2/A1.1 (1) SHORT TERM REQUIRED, AND (2) PROVIDED, REF 2/A0.0 RESIDENTIAL: NONE REQUIRED, LONG TERM BIKE PARKING FEASIBLE IN EACH DWELLING UNIT.
23.54.040	SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS	URBAN CENTER VILLAGE: NO MINIMUM REQ A. EXCEPT AS PROVIDED IN SUBSECTION 23.54.040.I, IN RSL, DOWNTOWN, MULTIFAMILY, MASTER PLANNED COMMUNITY, AND COMMERCIAL ZONES, STORAGE SPACE FOR SOLID WASTE AND RECYCLABLE MATERIALS CONTAINERS SHALL BE PROVIDED AS SHOWN IN TABLE A FOR 23.54.040 FOR ALL NEW STRUCTURES; AND FOR EXISTING STRUCTURES TO WHICH TWO OR MORE DWELLING UNITS ARE ADDED. 1. RESIDENTIAL USES PROPOSED TO BE LOCATED ON SEPARATE PLATTED LOTS, FOR WHICH EACH DWELLING UNIT WILL BE BILLED SEPARATELY FOR UTILITIES, SHALL PROVIDE ONE STORAGE AREA PER DWELLING UNIT THAT HAS MINIMUM DIMENSIONS OF 2 FEET BY 6 FEET.	COMPLIES, REF A0.3

23.60A.190	STANDARDS FOR VEGETATION AND IMPERVIOUS SURFACE MANAGEMENT	A. PLANTING, DISTURBING OR REMOVING VEGETATION AND ADDING, ALTERING OR REMOVING IMPERVIOUS SURFACE SHALL COMPLY WITH THE PROVISIONS OF THIS CHAPTER 23.60A, INCLUDING SECTIONS 23.60A.156, 23.60A.158, AND 23.60A.172, UNLESS PROVIDED OTHERWISE IN THIS SECTION 23.60A.190.	REF CIVIL & LANDSCAPE PLANS FOR VEGETATION AND IMPERVIOUS SURFACE NOTES
23.60A.380	APPLICABLE STANDARDS IN THE UC ENVIRONMENT	ALL USES AND DEVELOPMENTS IN THE UC ENVIRONMENT, INCLUDING SHORELINE MODIFICATIONS, ARE SUBJECT TO THE STANDARDS SET OUT IN SUBCHAPTER III OF THIS CHAPTER 23.60A AND TO THE STANDARDS FOR THE UC ENVIRONMENT.	
23.60A.383	USES ALLOWED ON UPLAND LOTS IN THE UC ENVIRONMENT		RESIDENTIAL & COMMERCIAL USES (EATING AND DRINKING ESTABLISHMENTS), PERMITTED
23.60A.386.A	HEIGHT IN THE UC ENVIRONMENT - MAXIMUM	1. THE MAXIMUM HEIGHT IS 30 FEET IN ALL LOCATIONS...	PROJECT COMPLIES WITH 30' MAXIMUM HEIGHT LIMIT, REF A2.3
23.60A.386.D	HEIGHT IN THE UC ENVIRONMENT - ROOFTOP FEATURES	2. CLERESTORIES, FIREWALLS, GREEN ROOFS, GREENHOUSES, MONITORS, OPEN RAILINGS, PARAPETS, PLANTERS, SKYLIGHTS AND SOLAR COLLECTORS MAY EXTEND UP TO 4 FEET ABOVE THE MAXIMUM HEIGHT LIMIT WITH UNLIMITED ROOFTOP COVERAGE, WHERE ALLOWED IN THE UNDERLYING ZONE OR SPECIAL DISTRICT, EXCEPT WHERE THE WIDTH OF SUCH FEATURES OBSTRUCTS THE VIEW OF THE SHORELINE FROM A SUBSTANTIAL NUMBER OF RESIDENCES WITHIN OR ADJOINING THE SHORELINE DISTRICT, IN WHICH CASE THE DIRECTOR MAY REDUCE THE HEIGHT ALLOWED. 4. STRUCTURES MAY EXTEND 18 INCHES ABOVE THE MAXIMUM HEIGHT LIMIT IF THE ROOF INSULATION EXCEEDS THE ENERGY CODE REQUIREMENTS IN EFFECT WHEN THE STRUCTURE IS CONSTRUCTED.	NOT APPLICABLE
23.60A.394	VIEW CORRIDORS IN THE UC ENVIRONMENT	A. A VIEW CORRIDOR OR CORRIDORS OF NOT LESS THAN 35 PERCENT OF THE WIDTH OF THE LOT SHALL BE PROVIDED AND MAINTAINED ON ALL WATERFRONT LOTS AND ON ANY UPLAND THROUGH LOT DESIGNATED UC SEPARATED FROM THE WATER BY A STREET, RAILROAD RIGHT-OF-WAY, OR A WATERFRONT LOT DESIGNATED CM, CR, CP OR CN, EXCEPT AS PROVIDED IN SUBSECTION 23.60A.394.D.	NOT APPLICABLE. LOT IS AN UPLAND LOT, NOT AN UPLAND THROUGH LOT.
23.60A.052	AVERAGE GRADE CALC IN SHORELINE ENV	HEIGHT OF STRUCTURES SHALL BE DETERMINED BY MEASURING FROM THE AVERAGE GRADE OF THE LOT IMMEDIATELY PRIOR TO THE PROPOSED DEVELOPMENT TO THE HIGHEST POINT OF THE STRUCTURE NOT OTHERWISE EXCEPTED FROM THE HEIGHT LIMITS. CALCULATION OF THE AVERAGE GRADE LEVEL SHALL BE MADE BY AVERAGING THE ELEVATIONS AT THE CENTER OF ALL EXTERIOR WALLS OF THE PROPOSED BUILDING OR STRUCTURE. IN THE CASE OF STRUCTURES TO BE BUILT OVER WATER, AVERAGE GRADE LEVEL SHALL BE THE ELEVATION OF ORDINARY HIGH WATER.	REF AVERAGE GRADE CALC AND AVERAGE GRADE DIAGRAM ON A0.0

E. THE LOCATION OF ALL STORAGE SPACES SHALL MEET THE FOLLOWING REQUIREMENTS:

1. THE STORAGE SPACE SHALL BE LOCATED ON THE LOT OF THE STRUCTURE IT SERVES AND, IF LOCATED OUTDOORS, SHALL NOT BE LOCATED BETWEEN A STREET-FACING FACADE OF THE STRUCTURE AND THE STREET;

COMPLIES, REF A0.3, A2.0

2. THE STORAGE SPACE SHALL NOT BE LOCATED IN ANY REQUIRED DRIVEWAYS, PARKING AISLES, OR PARKING SPACES;

NOT APPLICABLE

3. THE STORAGE SPACE SHALL NOT BLOCK OR IMPEDE ANY FIRE EXITS, ANY PUBLIC RIGHTS-OF-WAY, OR ANY PEDESTRIAN OR VEHICULAR ACCESS;

COMPLIES, REF A0.3

4. THE STORAGE SPACE SHALL BE LOCATED TO MINIMIZE NOISE AND ODOR IMPACTS ON BUILDING OCCUPANTS AND BEYOND THE LOT LINES OF THE LOT;

COMPLIES, REF A0.3

5. THE STORAGE SPACE SHALL MEET THE CONTRACTOR SAFETY STANDARDS PROMULGATED BY THE DIRECTOR OF SEATTLE PUBLIC UTILITIES; AND

COMPLIES

6. THE STORAGE SPACE SHALL NOT BE USED FOR PURPOSES OTHER THAN SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS.

COMPLIES, REF A0.3

F. ACCESS FOR SERVICE PROVIDERS TO THE STORAGE SPACE FROM THE COLLECTION LOCATION SHALL MEET THE FOLLOWING REQUIREMENTS:

1. FOR CONTAINERS 2 CUBIC YARDS OR SMALLER:

COMPLIES, REF A0.1 & A0.3

A. CONTAINERS TO BE MANUALLY PULLED SHALL BE PLACED NO MORE THAN 50 FEET FROM A CURB CUT OR COLLECTION LOCATION;

COMPLIES, REF A0.1 & A0.3

B. COLLECTION LOCATION SHALL NOT BE WITHIN A BUS STOP OR WITHIN THE RIGHT-OF-WAY AREA ADJUTING A VEHICULAR LANE DESIGNATED AS A SOLE TRAVEL LANE FOR A BUS;

NOT APPLICABLE

C. ACCESS RAMPS TO THE STORAGE SPACE AND COLLECTION LOCATION SHALL NOT EXCEED A GRADE OF SIX PERCENT; AND
D. ANY GATES OR ACCESS ROUTES FOR TRUCKS SHALL BE A MINIMUM OF 10 FEET WIDE.

NOT APPLICABLE

G. ACCESS FOR OCCUPANTS TO THE STORAGE SPACE FROM THE COLLECTION LOCATION SHALL MEET THE FOLLOWING REQUIREMENTS:

COMPLIES, REF A0.1 & A0.3

1. DIRECT ACCESS SHALL BE PROVIDED FROM THE ALLEY OR STREET TO THE CONTAINERS;

COMPLIES, REF A0.1 & A0.3

2. A PICK-UP LOCATION WITHIN 50 FEET OF A CURB CUT OR COLLECTION LOCATION SHALL BE DESIGNATED THAT MINIMIZES ANY BLOCKAGE OF PEDESTRIAN MOVEMENT ALONG A SIDEWALK OR OTHER RIGHT-OF-WAY;

COMPLIES, REF A0.1 & A0.3

3. IF A PLANTING STRIP IS DESIGNATED AS A PICK-UP LOCATION, ANY REQUIRED LANDSCAPING SHALL BE DESIGNED TO ACCOMMODATE THE SOLID WASTE AND RECYCLABLE CONTAINERS WITHIN THIS AREA.





ROBERT HUTCHISON
ARCHITECTURE

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101 E ALLISON ST
Seattle, WA 98102

	RESIDENTIAL	COMMERCIAL	ROOF DECK (AMENITY)	EXTERIOR COVERED
UNIT 1 COMMERCIAL			387	22
BASEMENT			100	
FIRST FLOOR				
SECOND FLOOR				
THIRD FLOOR				
SUBTOTAL	0	487	0	22
UNIT 1 RESIDENTIAL				53
BASEMENT	319			
FIRST FLOOR	398			
SECOND FLOOR	822			
THIRD FLOOR	550		208	
SUBTOTAL	2089	0	208	53
UNIT TOTAL	2089	487	208	75
UNIT 2				53
BASEMENT	322			
FIRST FLOOR	398			
SECOND FLOOR	395			
THIRD FLOOR	292		103	
UNIT TOTAL	1407	0	103	53
UNIT 3				53
BASEMENT	322			
FIRST FLOOR	398			
SECOND FLOOR	395			
THIRD FLOOR	292		103	
UNIT TOTAL	1407	0	103	53
TOTAL	4903	487	414	181
GROSS FLOOR AREA		5390		
AMENITY PERCENTAGE			8.4%	

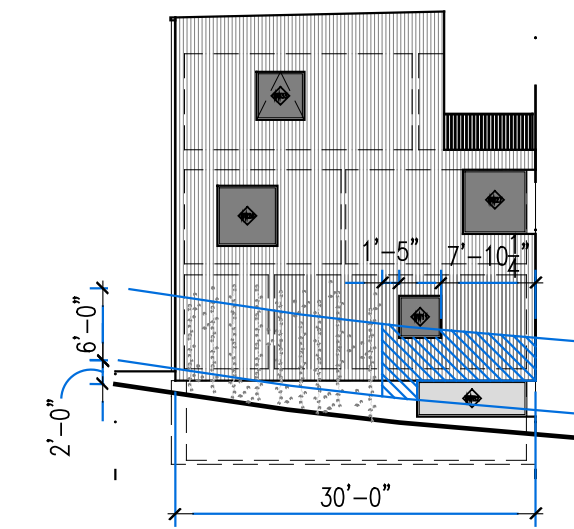
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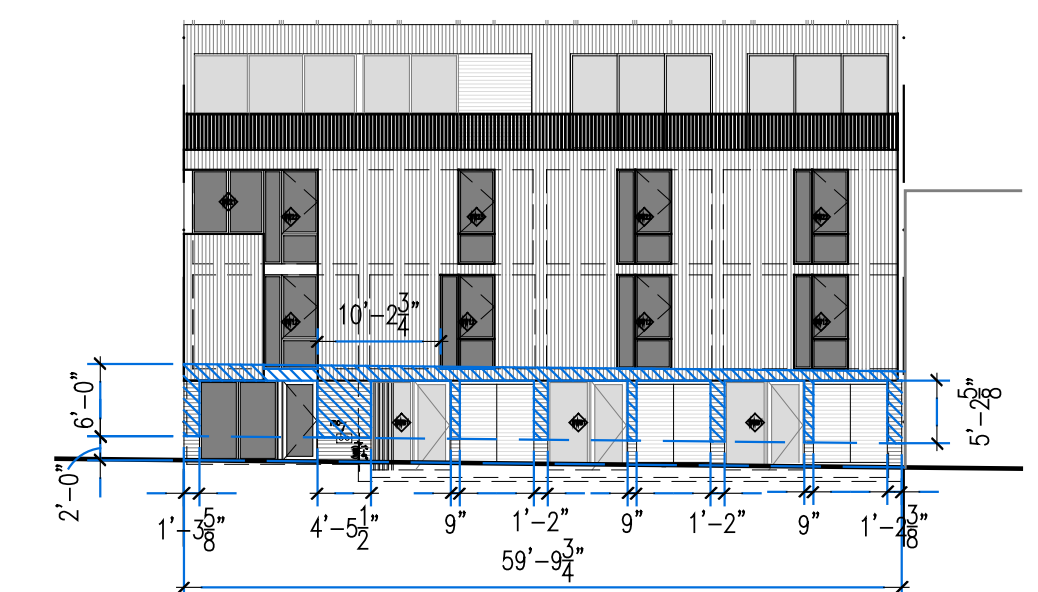


SMC 23.47A.008.A.2.b BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. **MAX BLANK LENGTH = 7'-10 1/4"**

SMC 23.47A.008.A.2.c THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40 PERCENT OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET. **TOTAL OF ALL BLANK FACADES = 9'-3 1/4", WHICH IS 31% OF TOTAL FACADE LENGTH**

4 BLANK FACADE DIAGRAM - E ALLISON

SCALE: 1/16" = 1'-0"

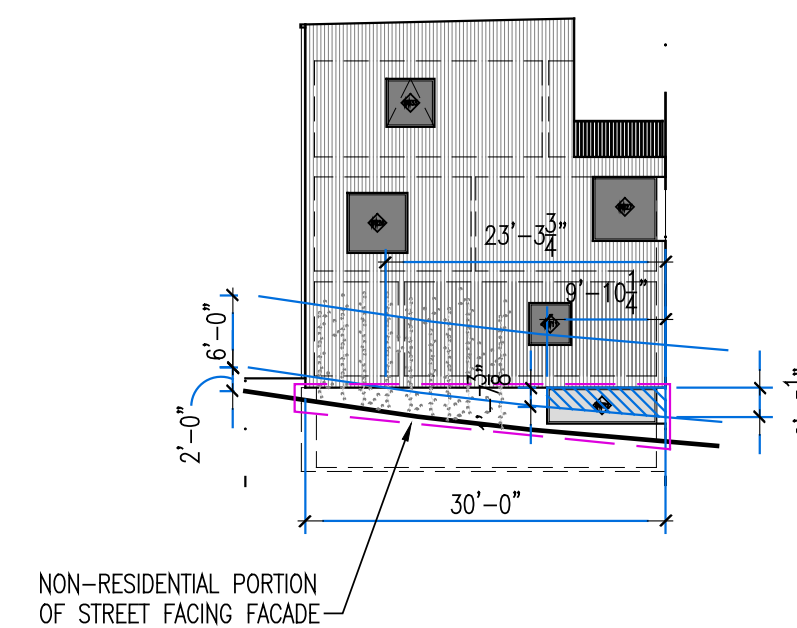


SMC 23.47A.008.A.2.b BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. **MAX BLANK LENGTH = 10'-2 3/4"**

SMC 23.47A.008.A.2.c THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40 PERCENT OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET. **TOTAL OF ALL BLANK FACADES = 11'-6 1/2", WHICH IS 20% OF TOTAL FACADE LENGTH**

3 BLANK FACADE DIAGRAM - FAIRVIEW AVE

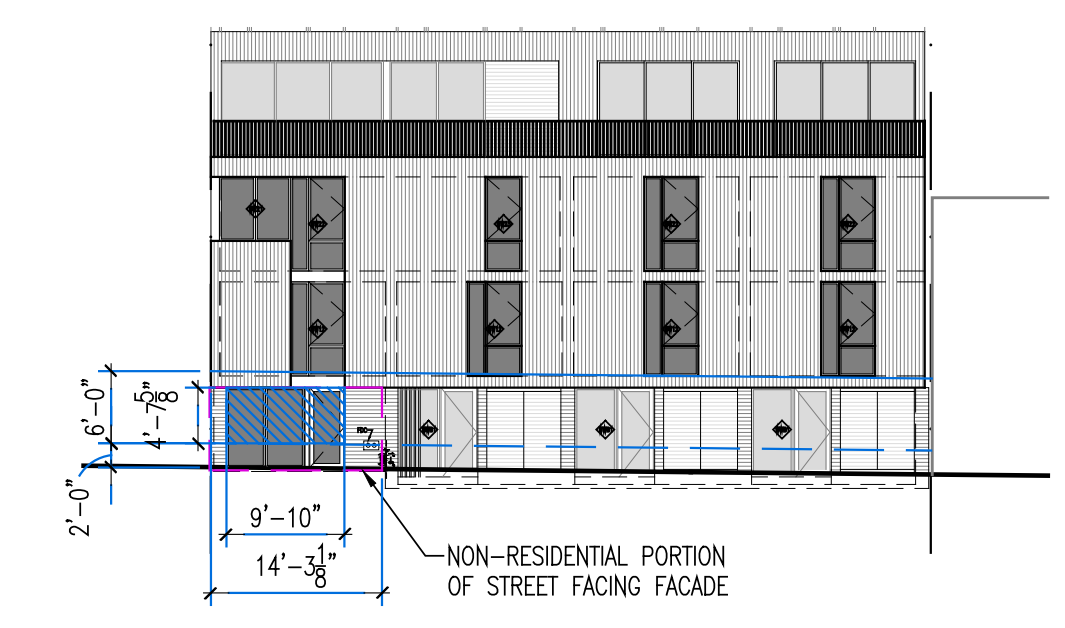
SCALE: 1/16" = 1'-0"



SMC 23.47A.008.B.2.a SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT... **62.5% OF FACADE IS TRANSPARENT**

2 TRANSPARENCY DIAGRAM - E ALLISON

SCALE: 1/16" = 1'-0"



SMC 23.47A.008.B.2.a SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT... **69% OF FACADE IS TRANSPARENT**

1 TRANSPARENCY DIAGRAM - FAIRVIEW AVE

SCALE: 1/16" = 1'-0"

PERMIT DOCUMENTS

04.14.2021	Pre-Application Site Plan
08.19.2021	Pre-Sub Conference: LU
12.14.2021	Pre-Sub Conference: BLDG
02.08.2022	ECA Relief
03.14.2022	MUP Submission

LAND USE NOTES

A0.2 101



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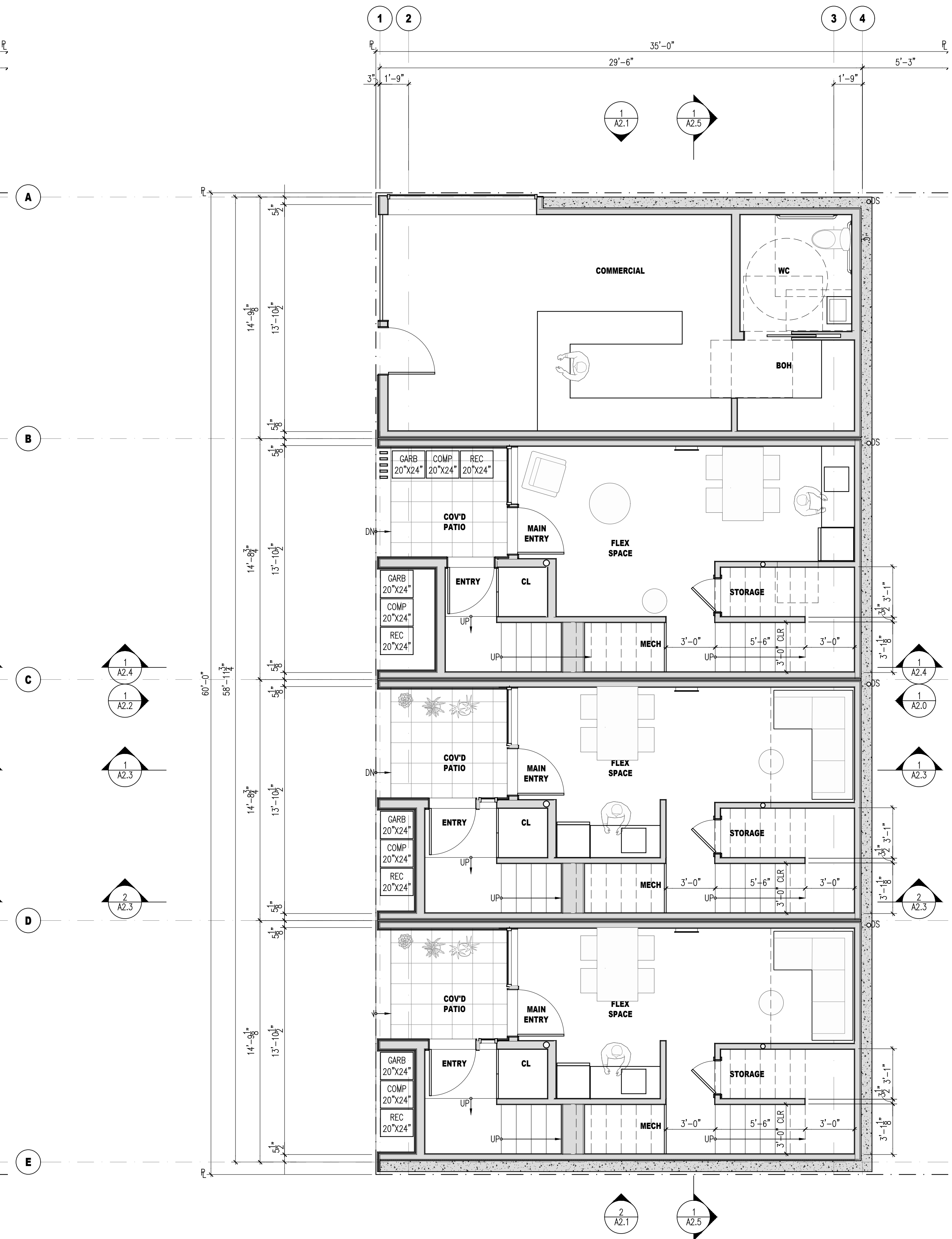
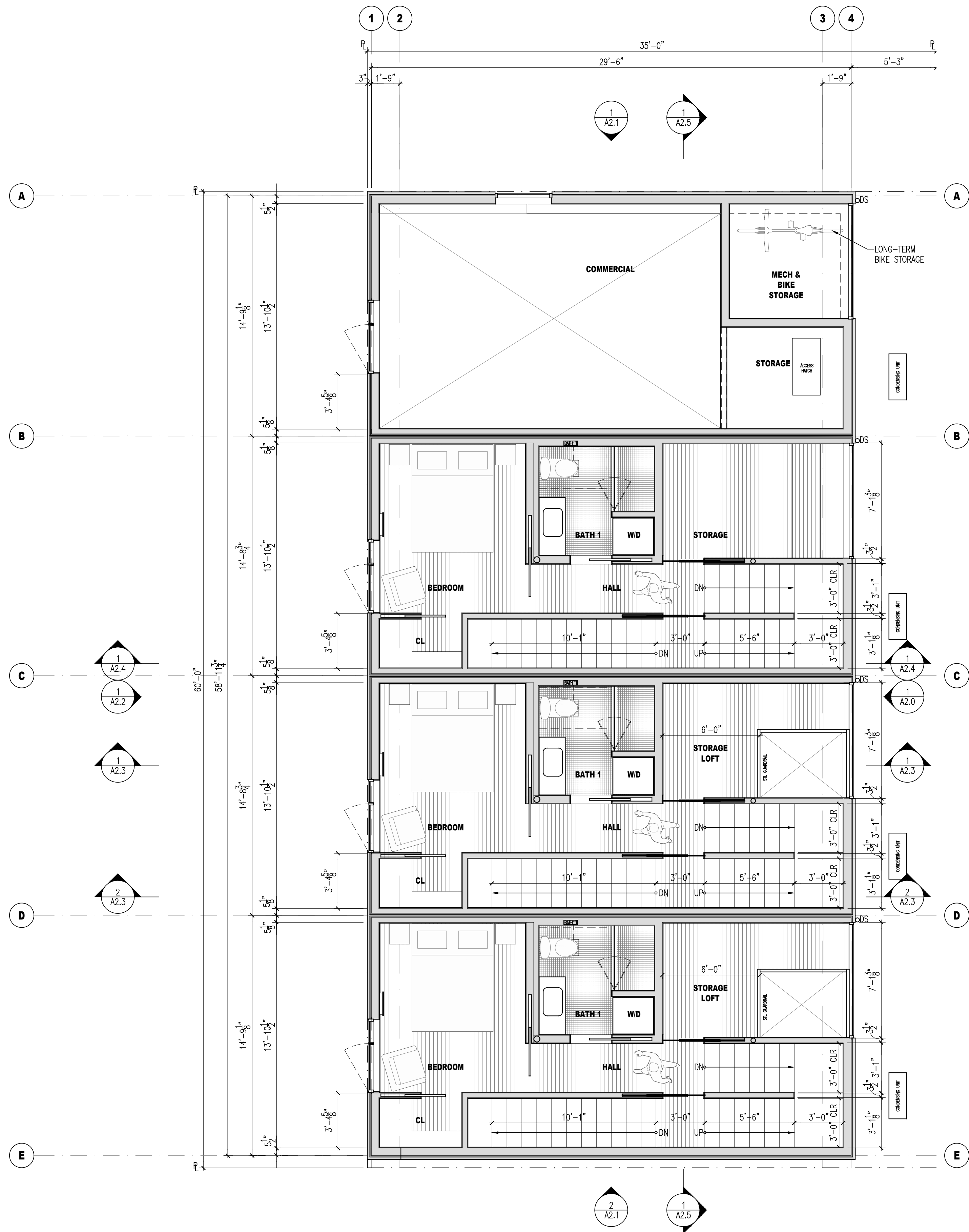
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PROJECT NORTH NORTH
101 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT NORTH NORTH
101 - BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



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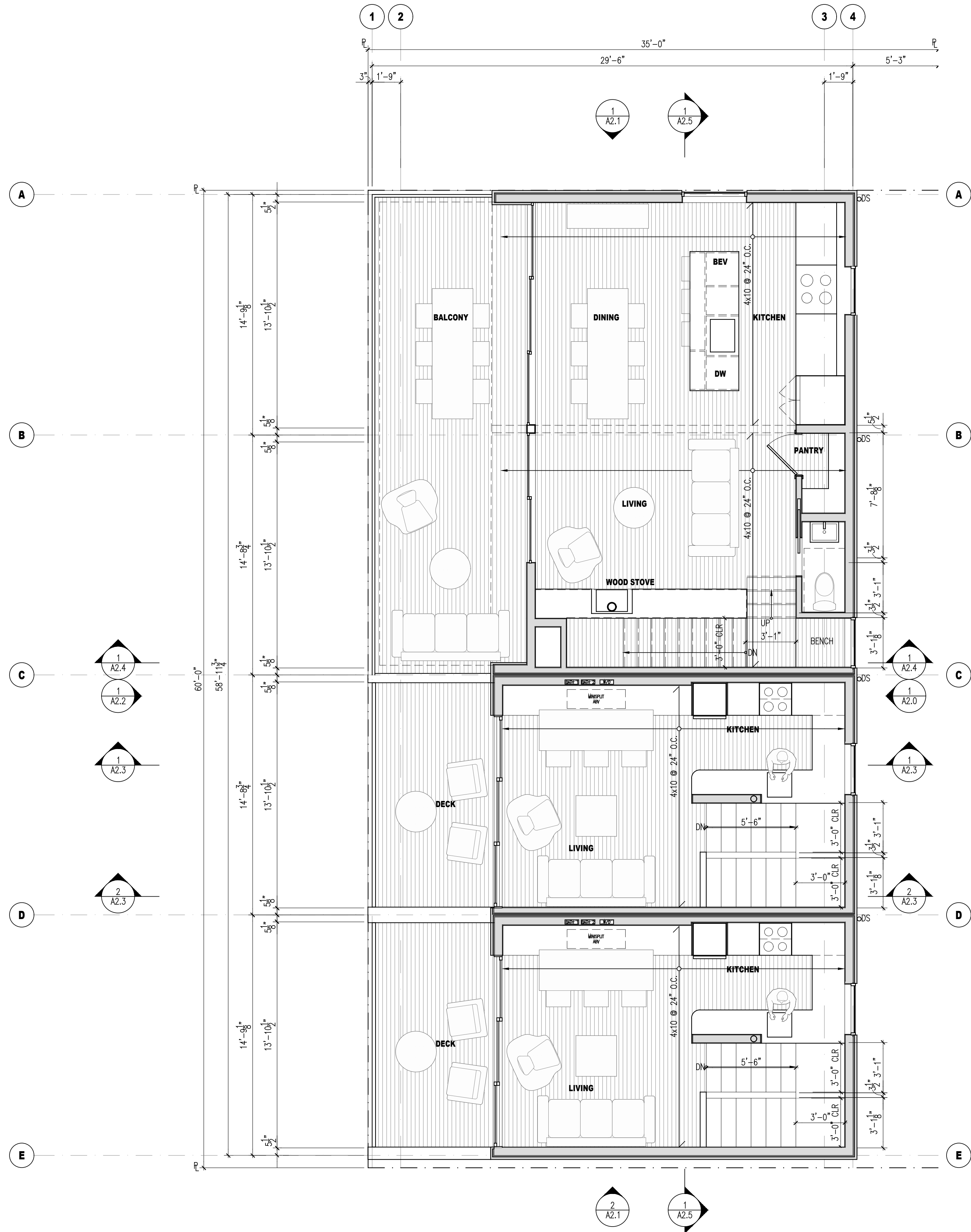
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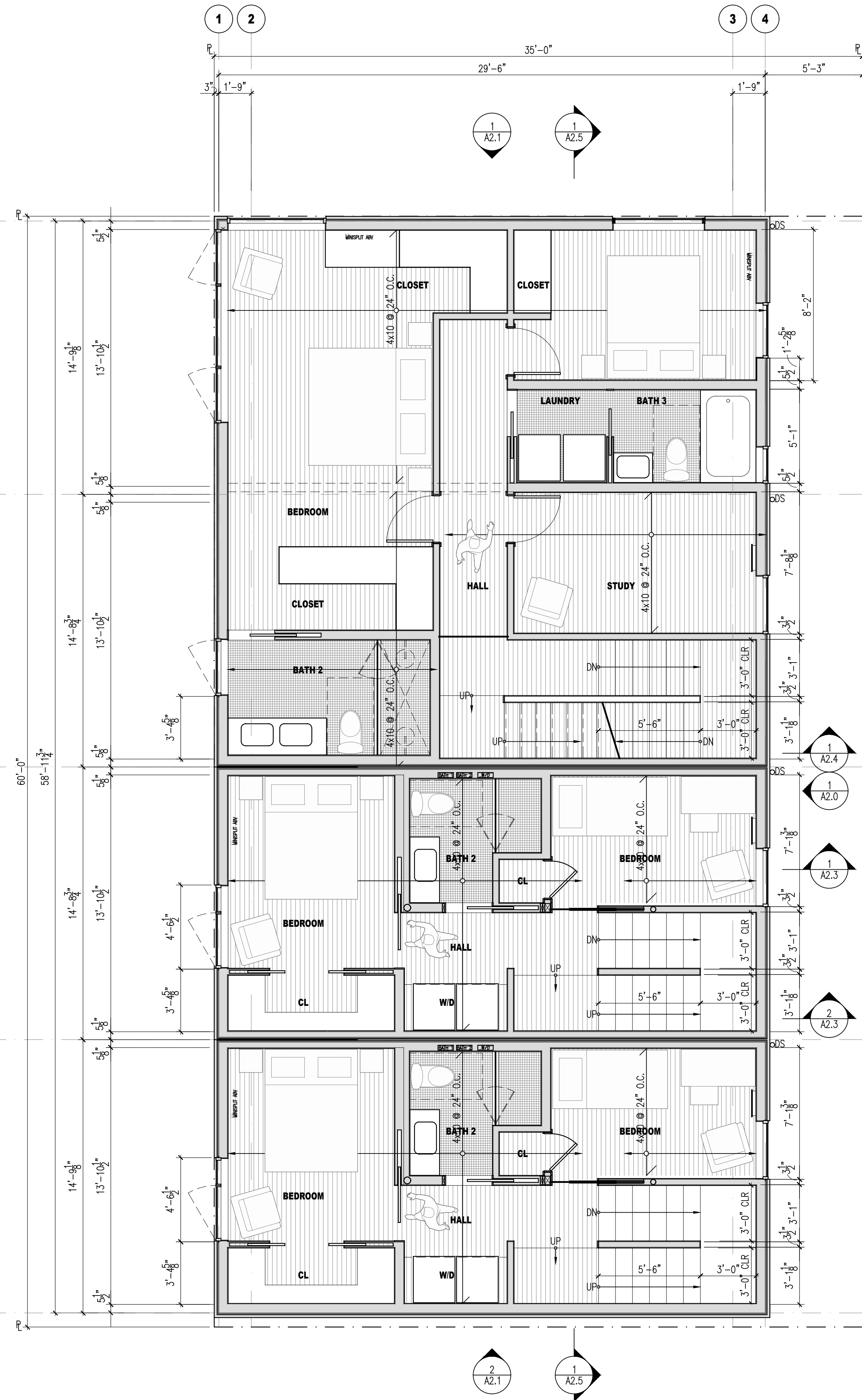
LANDSCAPE ARCHITECT
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PROJECT NORTH NORTH
101 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROJECT NORTH NORTH
101 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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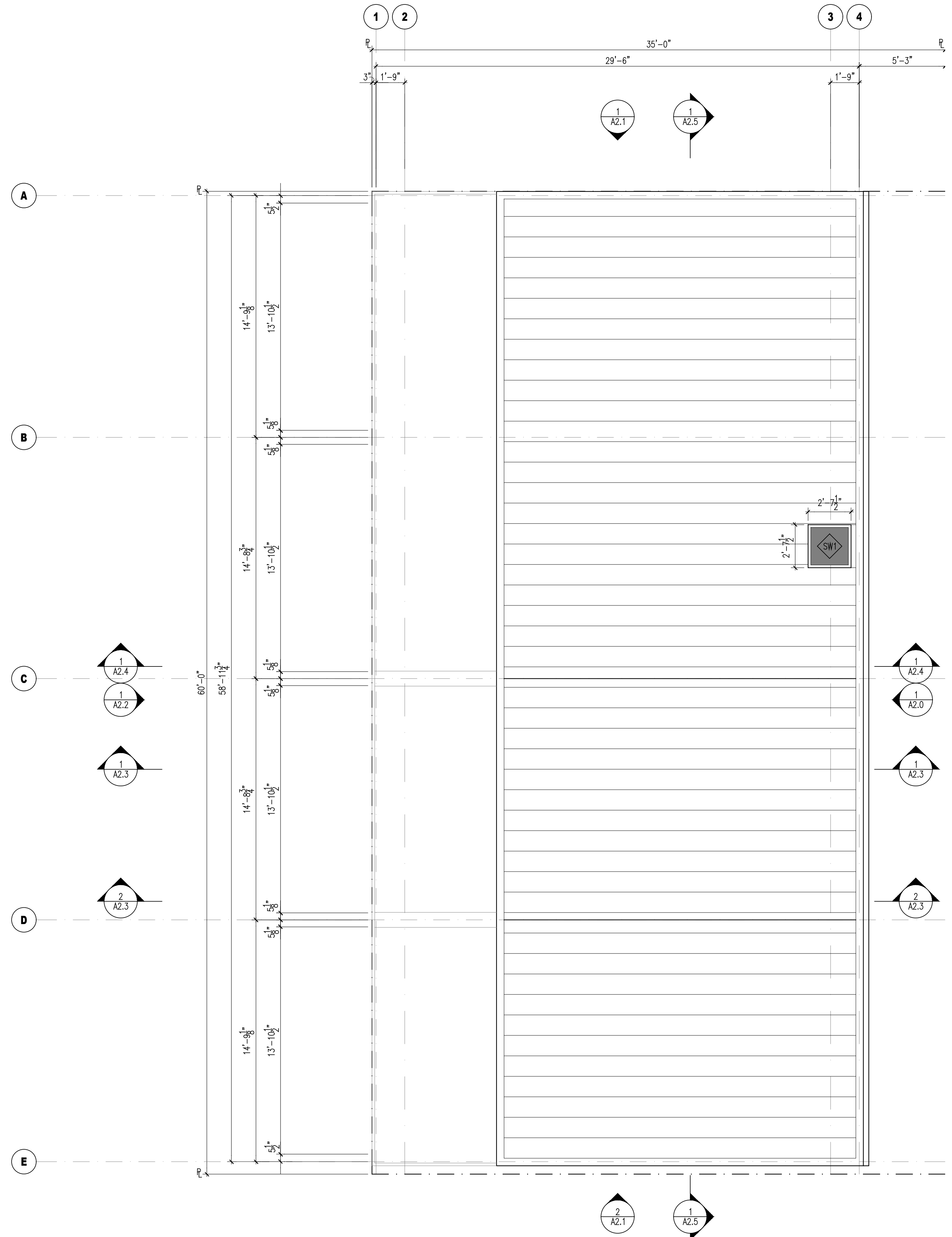
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PROJECT
NORTH NORTH
101 - ROOF PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLANS

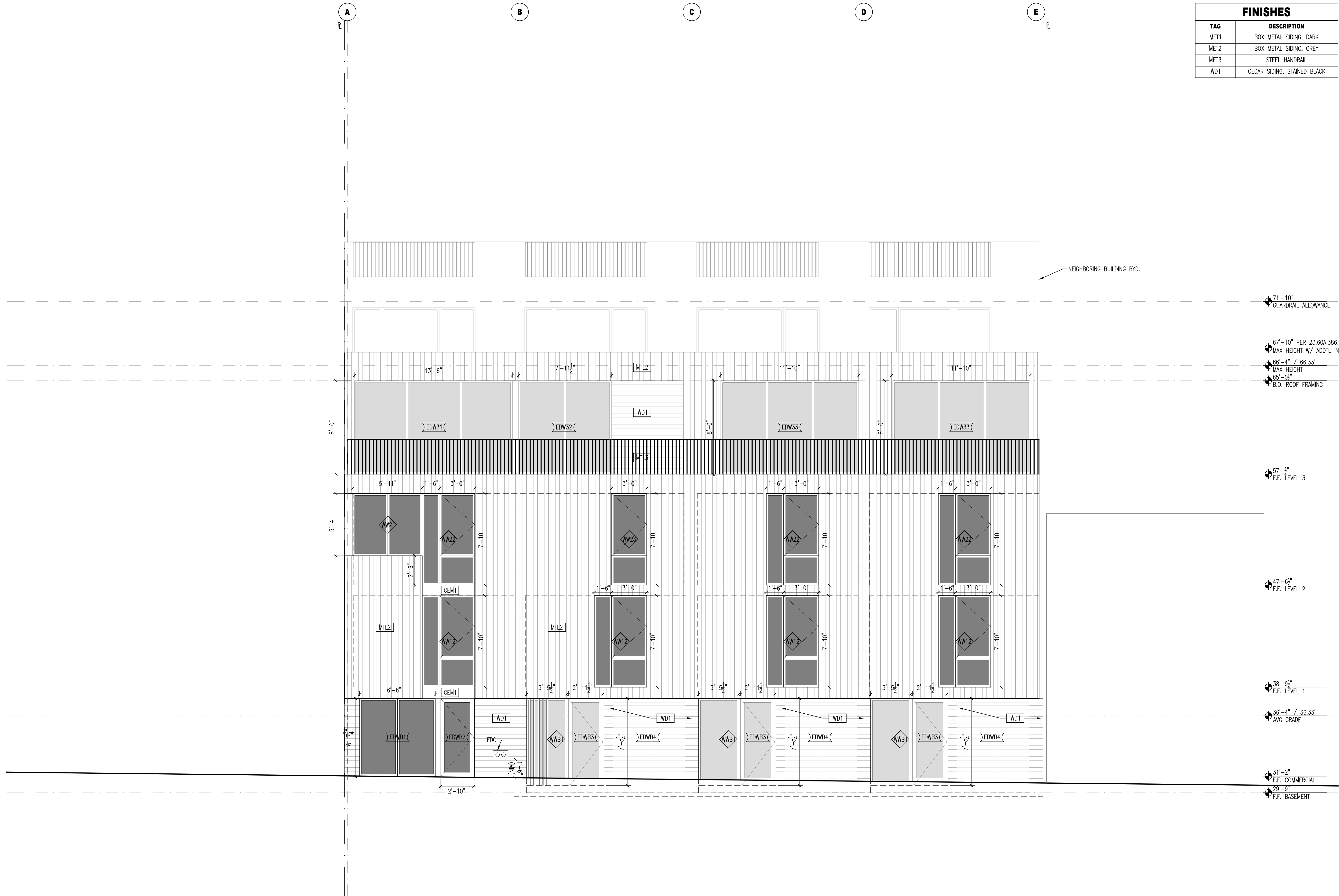
A1.3 101



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FINISHES	
TAG	DESCRIPTION
MET1	BOX METAL SIDING, DARK
MET2	BOX METAL SIDING, GREY
MET3	STEEL HANDRAIL
WD1	CEDAR SIDING, STAINED BLACK



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1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS

A2.0 101



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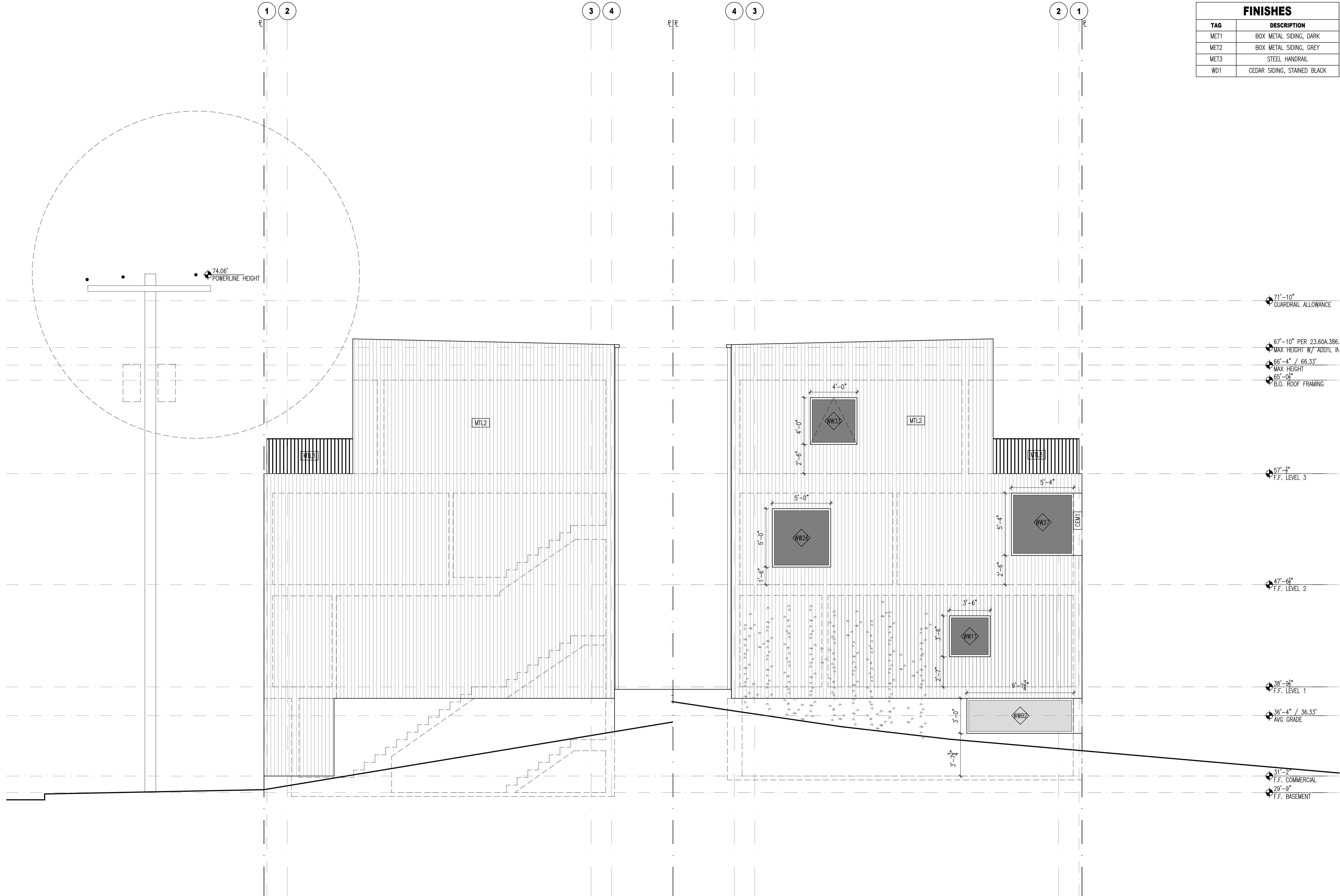


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BUILDING ELEVATIONS

A2.1 101

FINISHES	
TAG	DESCRIPTION
MET1	BOX METAL SIDING, DARK
MET2	BOX METAL SIDING, GREY
MET3	STEEL HANDRAIL
WD1	CEDAR SIDING, STAINED BLACK



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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BUILDING ELEVATIONS

A2.2 101

FINISHES	
TAG	DESCRIPTION
MET1	BOX METAL SIDING, DARK
MET2	BOX METAL SIDING, GREY
MET3	STEEL HANDRAIL
WD1	CEDAR SIDING, STAINED BLACK



1 EAST ELEVATION - 101
SCALE: 1/4" = 1'-0"



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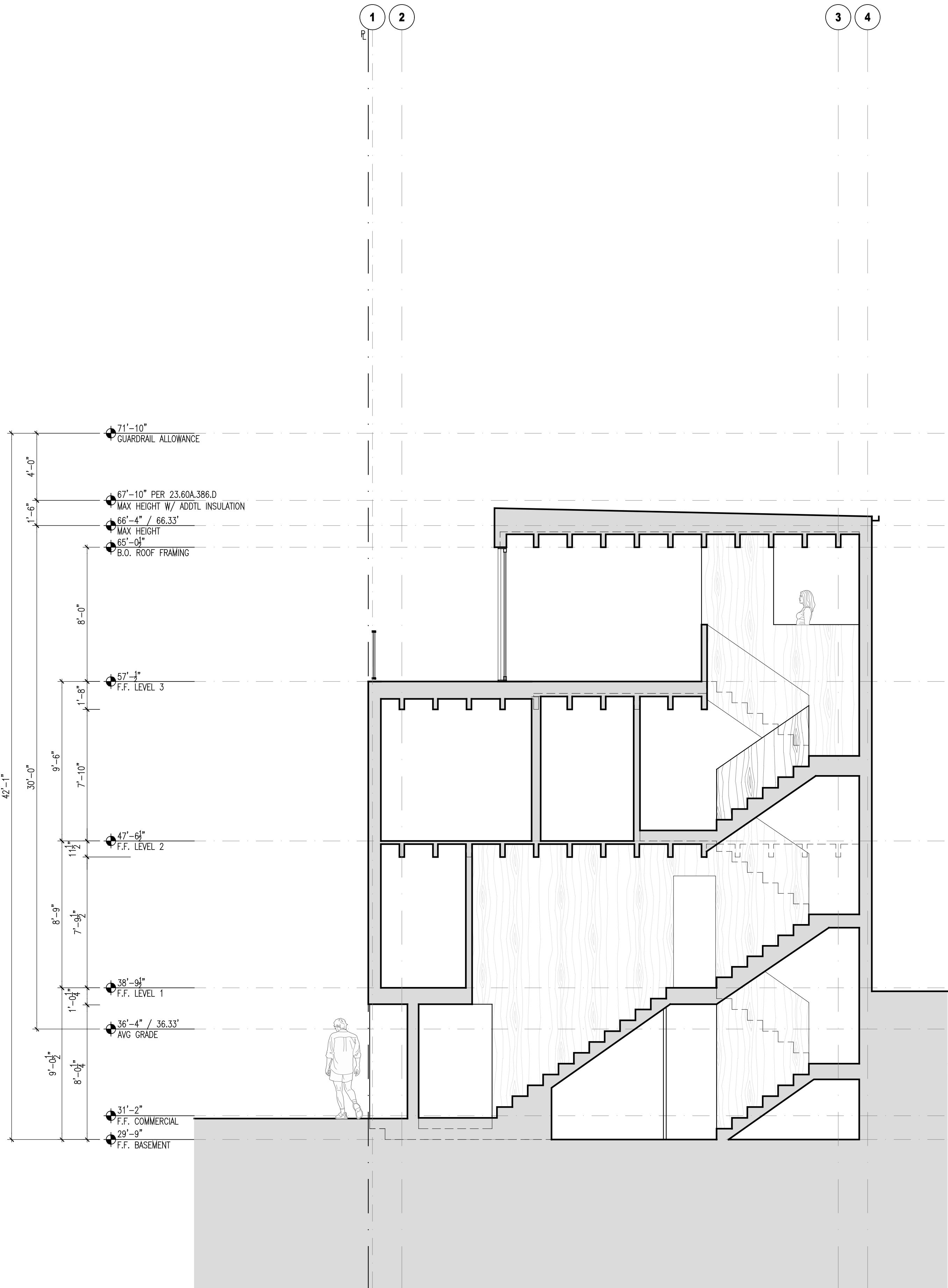
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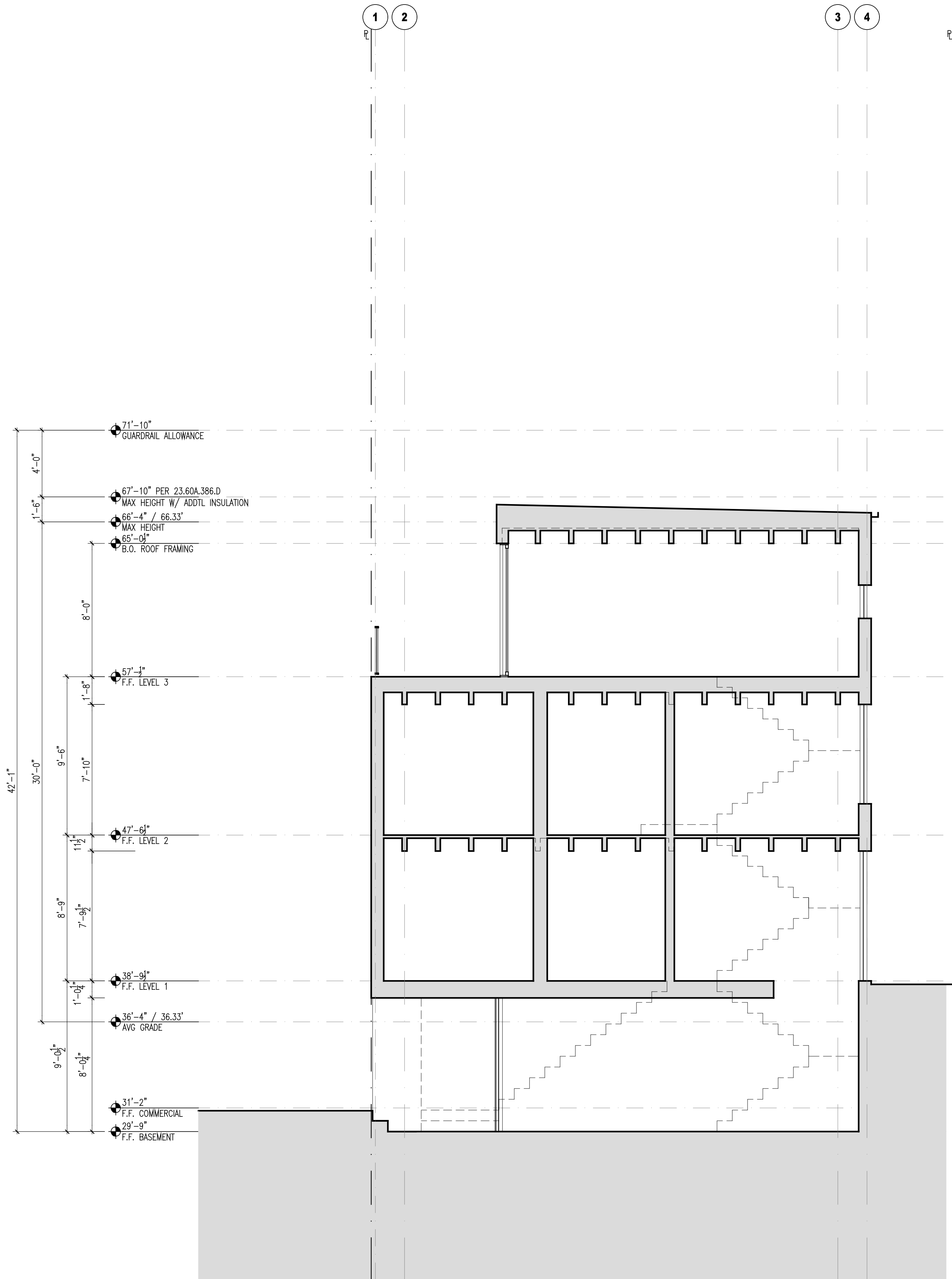
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BUILDING SECTIONS

A2.3 101



2 SECTION LOOKING NORTH
SCALE: 1/4" = 1'-0"



1 SECTION LOOKING NORTH
SCALE: 1/4" = 1'-0"



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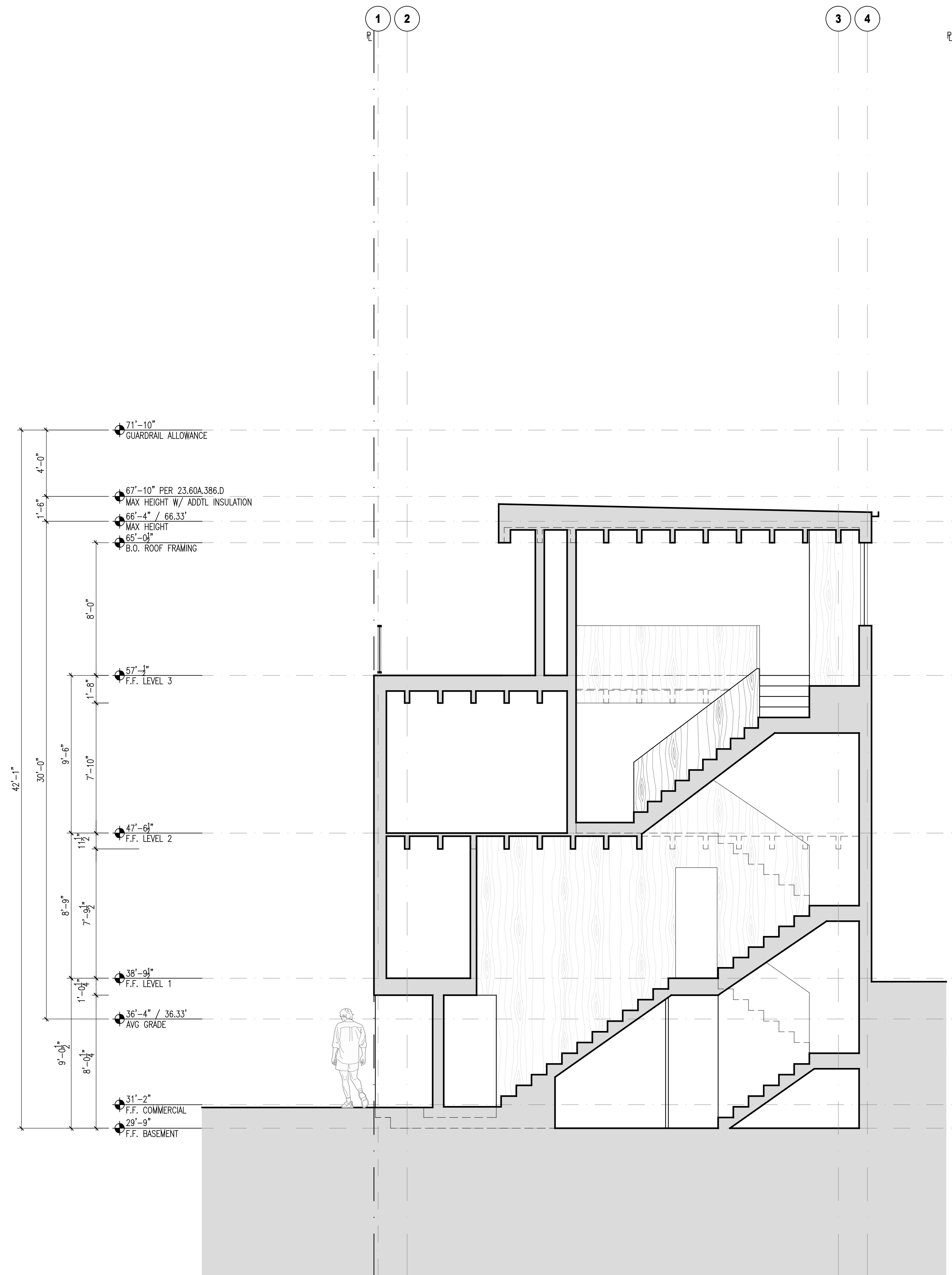


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BUILDING SECTIONS

A2.4 101



1 SECTION LOOKING NORTH
SCALE: 1/4" = 1'-0"



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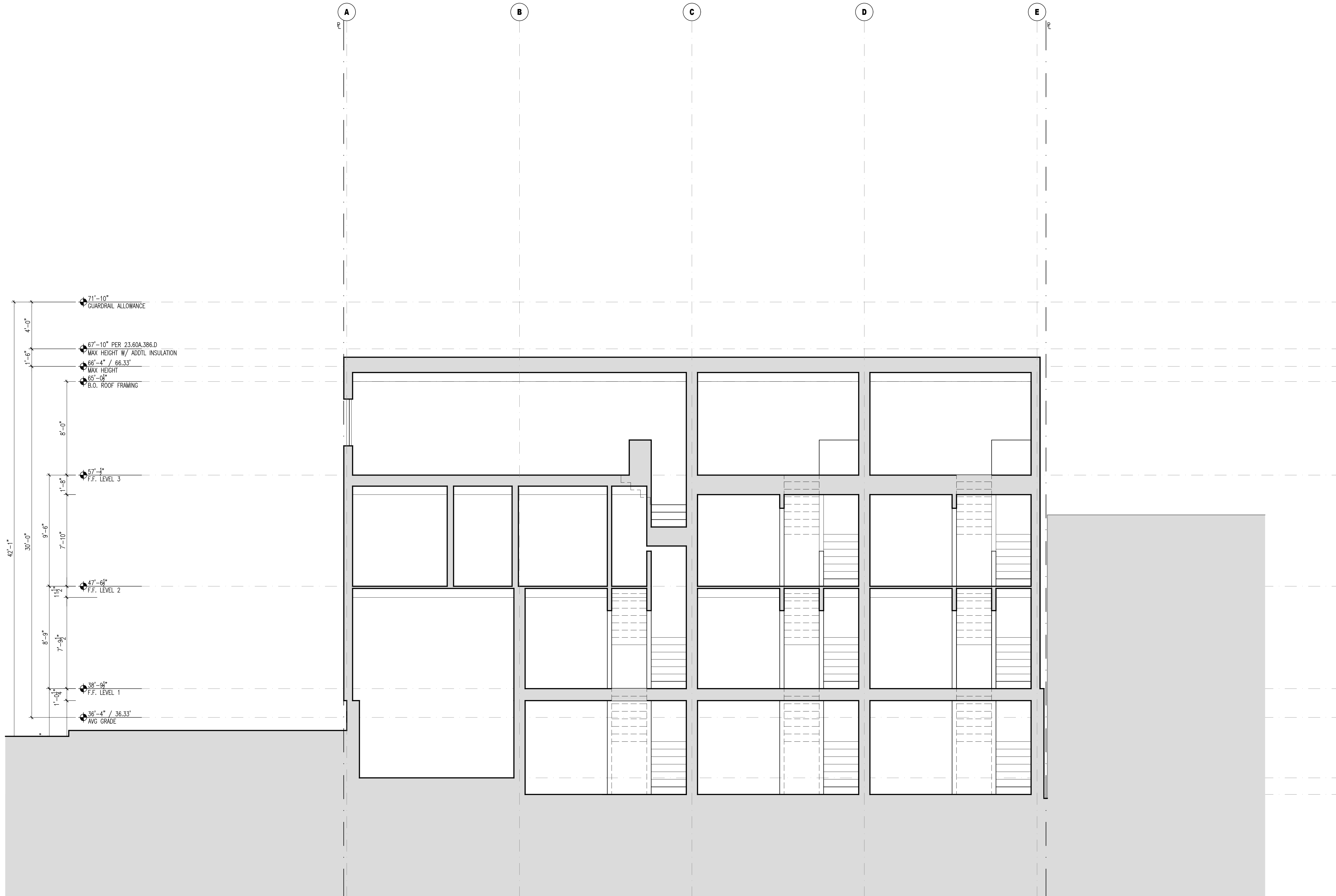
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BUILDING SECTIONS

A2.5 101



1 SECTION LOOKING EAST
SCALE: 1/4" = 1'-0"