

FULL DESIGN REVIEW RECOMMENDATION MEETING #3029350

2328 - 2334 FRANKLIN AVE E
June 5, 2020

EDG Fees Paid:	03.13.2018 (Vesting Date)
EDG Public Meeting:	05.09.2018
Planner's Report:	06.16.2018
MUP Submission:	07.25.2018 (Within 90 Days from EDG Report)

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST
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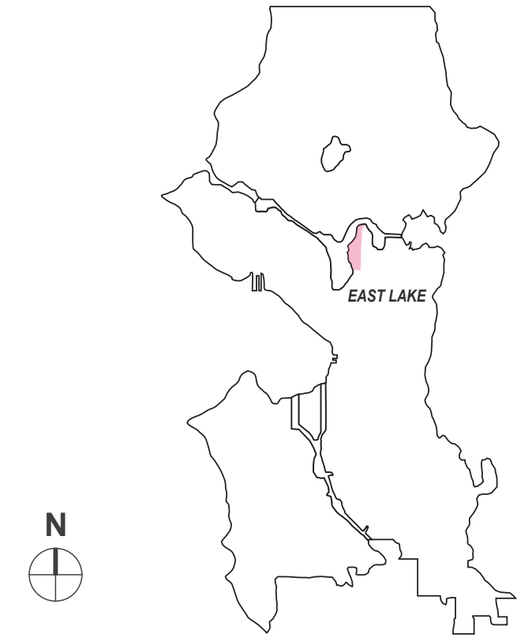


PROJECT INFORMATION

SITE ADDRESS	2328-2334 Franklin Ave E
PARCEL NUMBER	1930300220 + 2902200830
PROJECT NUMBER	3029350
APPLICANT	Neiman Taber Architects 1421 34th Avenue, Suite 100 Seattle, WA 98122 (206) 760-5550
CONTACT	David Neiman dn@neimantaber.com
OWNER	Edson F. Gallaudet
ARCHITECT	Neiman Taber Architects 1421 34th Ave, Suite 100 Seattle, WA 98122 (206) 760-5550
GEOTECHNICAL	TBD
SURVEYOR	Chadwick & Winters Land Surveying and Mapping
LANDSCAPE	TBD
STRUCTURAL	TBD

PROJECT CRITERIA

ZONING	LR3
OVERLAYS	EAST LAKE (RESIDENTIAL URBAN VILLAGE PARKING FLEXIBILITY AREA FREQUENT TRANSIT
NEARBY ZONES	LR3 (North), LR3 (South), LR3 (East), LR3 (West)
LOT SIZE	9,900 SF
CURRENT USE	SINGLE FAMILY RESIDENTIAL
ALLOWABLE FAR	2 Built Green 4-Star (10,400 SF)
REQUIRED BIKE PARKING	42 Bikes (75% of 56 SEDUs)
REQUIRED PARKING	None
FREQUENT TRANSIT	Yes
PROPOSED UNITS	56
ACCESS	Alley and Franklin Ave E
ECAs	None on site
EXCEPTIONAL TREES	None

PROPOSAL

- The proposed development is a 3-story + basement, condo building containing 56 residential units.
- The site is comprised of two parcels. The proposal calls for the demolition of two existing single family residences.
- SEDUs account for greater than 50% of proposed units.
- The project site is in Seattle's Eastlake neighborhood. Franklin Avenue East, a neighborhood street, runs along the western edge of the site. The site is two blocks east of the commercial and transit corridor, Eastlake Avenue North.
- No parking is to be provided.
- The immediate vicinity has a residential character with some single family homes intermingled with multi-family townhouses & apartment buildings.
- The site slopes east to west, dropping about 10 feet from the alley down to Franklin Ave E.

PROJECT GOALS

1. HIGH QUALITY / AFFORDABLE STARTER HOUSING
   Create affordable starter housing that is small, efficient, high-quality, and livable.

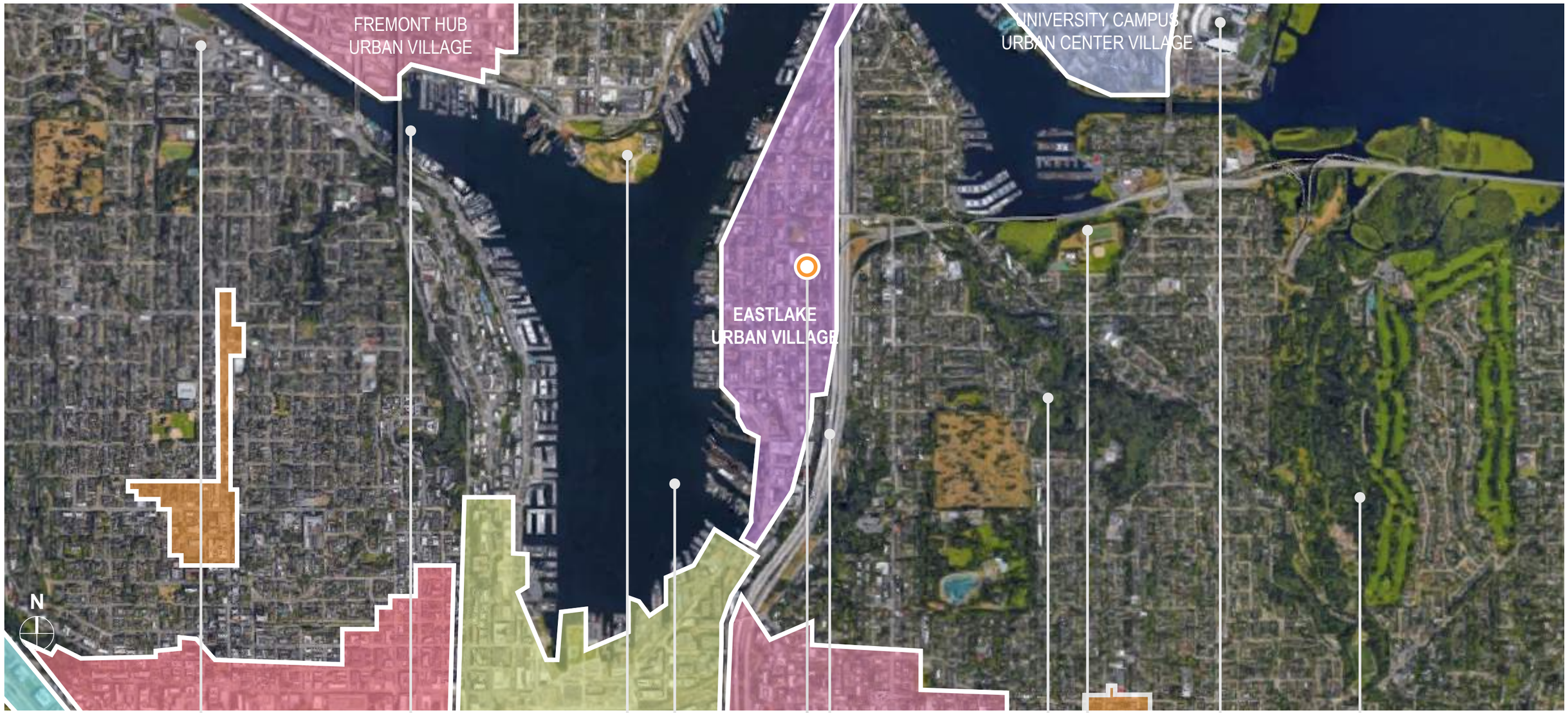
2. MAXIMIZING NATURAL LIGHT / PRIVACY
   Maximize resident"s access to natural light, while managing privacy relationships between units and with existing adjacent properties. Zone active areas and intensity of development accordingly.

3. SHARED SPACES / AMENITY AREAS
   Create various a mixture of common and private amenity areas both on ground level and roof top, encouraging group activities and communication where appropriate.

4. STREETSCAPE CONTINUITY
   Maintain street facade and streetscape continuity with generous setbacks and landscape design.

5. SUSTAINABLE DESIGN
   Develop housing that is resource effiicent, low energy use, and creates healthy living environments.

URBAN DESIGN ANALYSIS
AERIAL VIEW: EASTLAKE + THE CITY



EASTLAKE URBAN VILLAGE

Eastlake is one of 6 Hub Urban Villages designated by the city of Seattle as:

- Areas that have development capacity.
- Areas expected to receive residential as well as employment growth.
- Space for commercial development to serve the village and beyond.
- Strategic transportation location with connections to the rest of the city.

URBAN DESIGN ANALYSIS
NEIGHBORHOOD CONTEXT

NEIGHBORHOOD CIRCULATION

SITE
Located on Franklin Ave E, connecting the Eastlake Neighborhood to North Broadway Neighborhoods to the north.

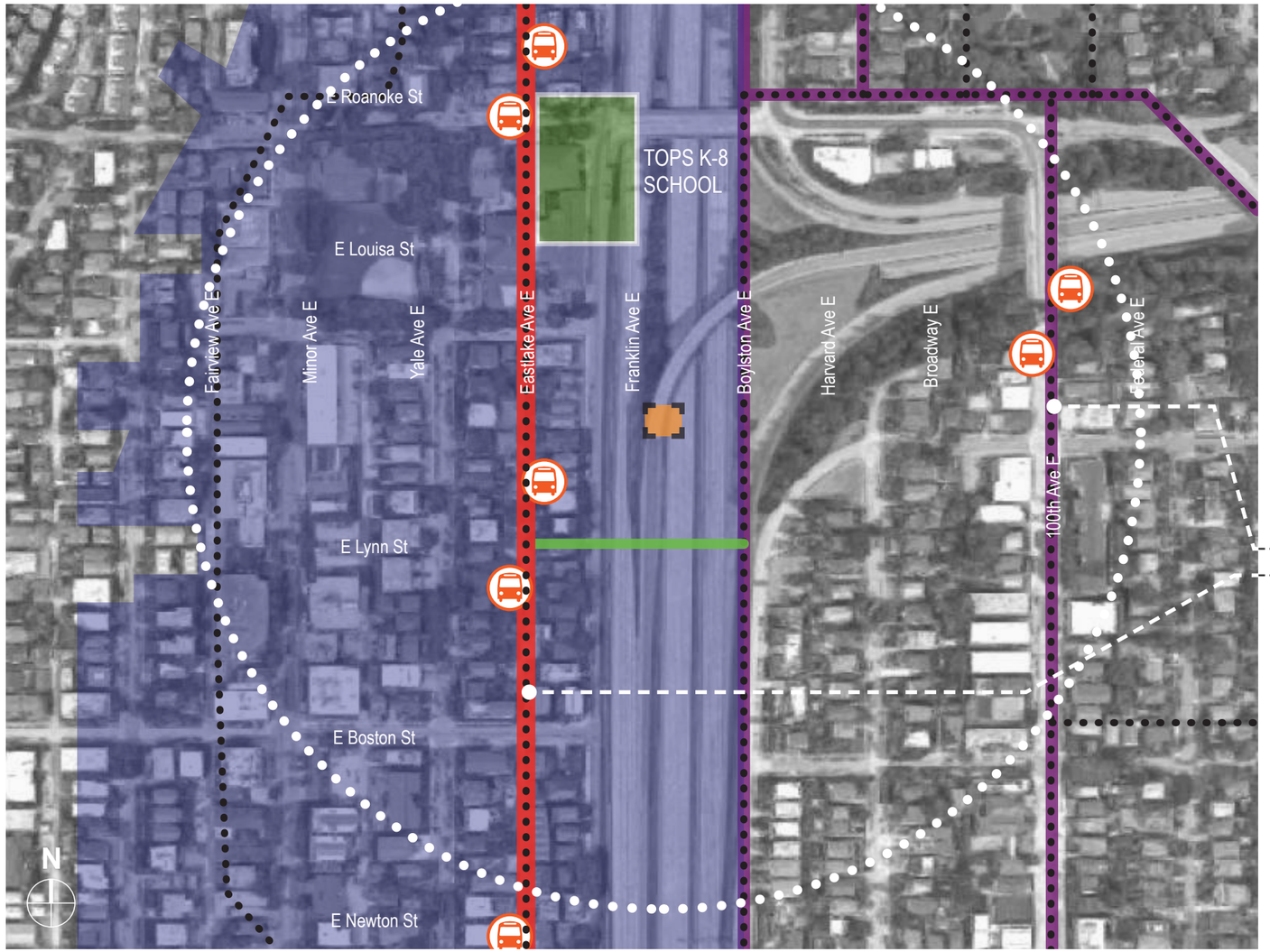
PUBLIC TRANSPORTATION
- Site designated as Frequent Transit.
- Bus lines 70, 49 abd 988 provide regular access to downtown, and South Lake Union.
- Transit Score: 52 (source: walksocre.com)

AUTOMOBILE
- Franklin Ave E and Eastlake Ave E provide strong automobile connections to the greater city.

PEDESTRIAN
- The site is located a 350 ft away from downtown Eastlake, where numerous shops, restaurants, and services are located.
- A public stair connect the alley at the site with Franklin Ave E.
- Walk Score: 83 (source: walksocre.come)

BICYCLE
- Numerous bike paths connect the site to Eastlake Downtown, Capitol Hill, and Downtown Seattle.
- Bike Score: 63 (source: walksocre.come)

LEGEND
- 5 MINUTE WALK RADIUS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR ARTERIAL
- BUS STOP | RAPIDRIDE STOP
- DESIGNATED BIKE ROUTE - PLANNED + EXISTING
- PARK | OPEN SPACE
- URBAN VILLAGE
- PROJECT SITE



FREQUENT TRANSIT / PARKING

23.54.015 - Required parking

Table B (item M)

No minimum parking requirement if:

All residential uses in commercial and multifamily zones within urban villages that are not within urban center or the Station Area Overlay District, if the residential use is located within 1,320 feet of a street with frequent transit service, measured as the walking distance from the nearest transit stop to the lot line of the lot containing the residential use.

Bus lines withing 1.320 ft of the building:
- Line 5: 10 ft
- Line 28: 615 ft

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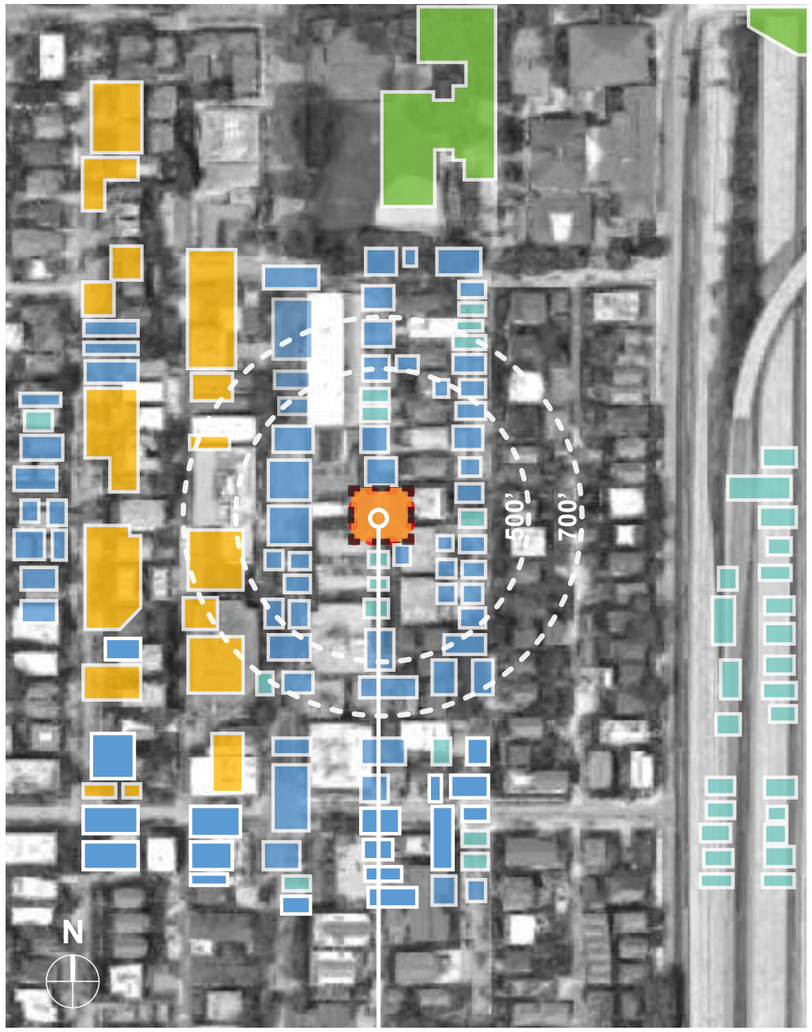
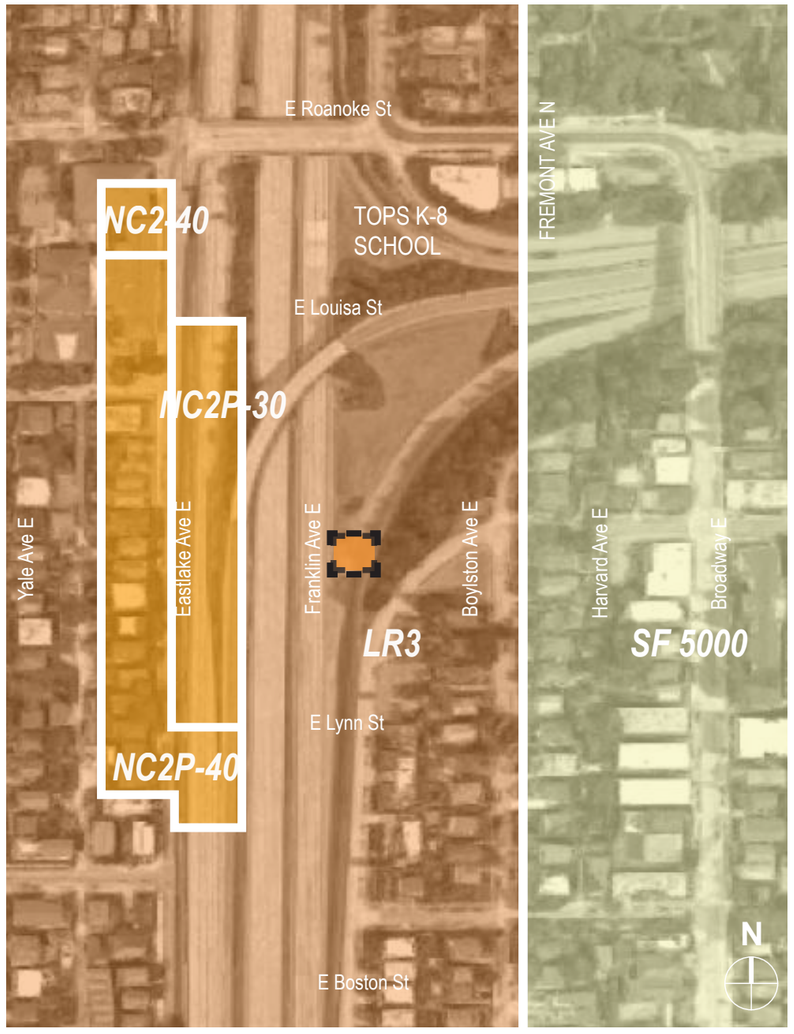
URBAN DESIGN ANALYSIS
ZONING + USE



MULTIFAMILY
SINGLE FAMILY
INSTITUTIONAL
COMMERCIAL
PROJECT SITE

PROJECT SITE:
2328-2334 FRANKLIN AVE E



SF 5000
NC2
LR3
PROJECT SITE

ZONING
- Site located in LR3 zone.
- The zone is intended to provide multifamily neighborhoods of low scale and density.
- Across the highway to the east, the zoning is SF 5000.

USE
- North and south, along Franklin Ave E are single family, mixed use, and some larger apartment buildings.
- The buildings span a variety of ages and conditions.
- There are several new residential developments along Fremont Ave N, both in the form of townhouses and apartments.

URBAN DESIGN ANALYSIS
DEVELOPMENT CONTEXT: EXISTING | PROPOSED BUILDINGS

PROJECT LOCATION KEY

2303 FRANKLIN AVE E
APARTMENT
PROGRAM: 16 Efficiency Units + 8 2-Bedroom Units = 22 Units

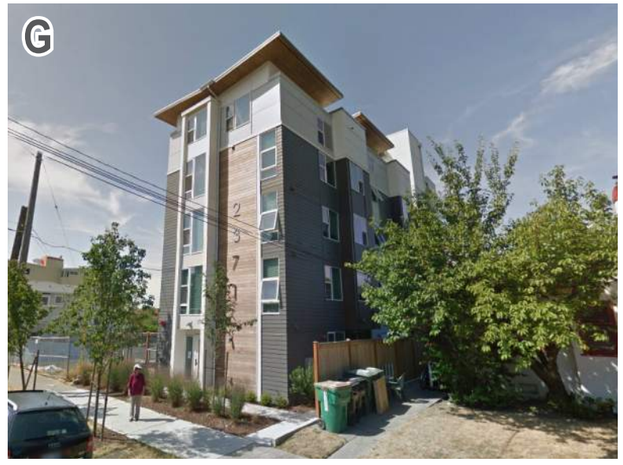
2352 FRANKLIN AVE E
SINGLE FAMILY HOUSE
PROGRAM: 1 Detached Garage

2321 FRANKLIN AVE E
TOWNHOUSES
PROGRAM: 4 Units / 4 Parking Stalls

2331 FRANKLIN AVE E
APARTMENT
PROGRAM: 11 Units / 4 Parking Stalls

2359 FRANKLIN AVE E
APARTMENT
PROGRAM: 61 Units / 42 Parking Stalls

2362 FRANKLIN AVE E
APARTMENT
PROGRAM: 8 Unit / 8 Parking Stalls



2371 FRANKLIN AVE E
APARTMENT
PROGRAM: 43 Micro-Housing

2338 FRANKLIN AVE E
APARTMENT
PROGRAM: 6 Units / 5 Parking Stalls

2358 FRANKLIN AVE E
TOWNHOUSE
PROGRAM: 6 Units / 6 Parking Stalls

2306/2310 FRANKLIN AVE E
TOWNHOUSES
PROGRAM: 8 Units / 8 Parking Stalls

DEVELOPMENT PRECEDENTS

The fabric of the Eastlake neighborhood is marked by buildings that range is age from the time of settlement to present. On most blocks there is a mix of housing types including single family, townhouses, and small to medium apartment buildings.

For comparably scaled apartment buildings there is a mix of ages, scales and styles. The palette of materials and secondary architectural elements varies both between and within eras.

URBAN DESIGN ANALYSIS
STREET ELEVATIONS

FRANKLIN AVE E
FACING EAST

E LOUISA ST — LR3

FRANKLIN AVE E
FACING WEST

E LYNN ST — LR3

N

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LR3 E LYNN ST

LR3 E LOUISA ST

URBAN DESIGN ANALYSIS
STREET ELEVATIONS

ALLEY
FACING EAST

E LOUISA ST — LR3

ALLEY
FACING WEST

E LYNN ST — LR3

N

LR3 E LYNN ST

LR3 E LOUISA ST

SITE ANALYSIS
SURVEY + SITE FEATURES

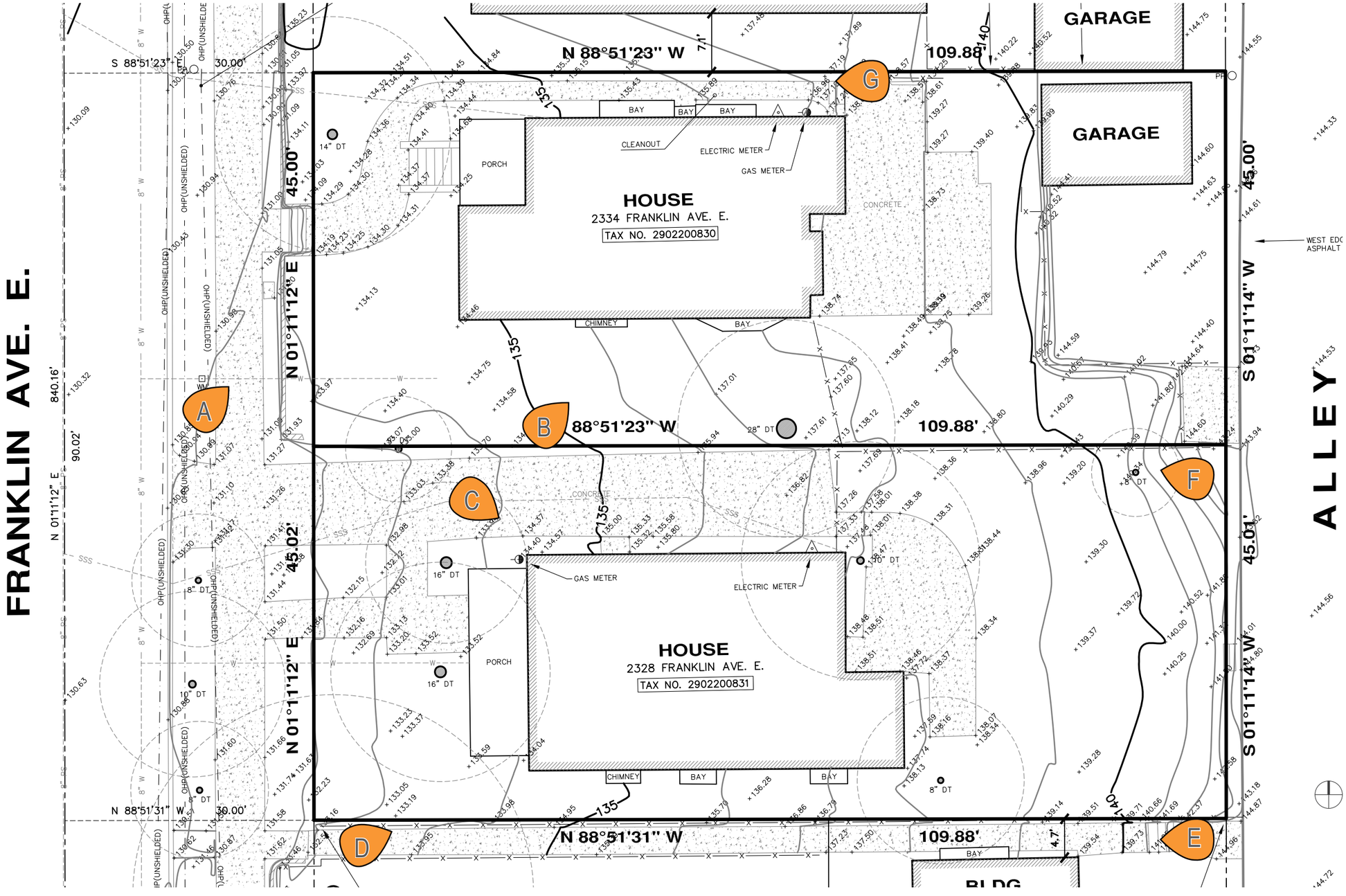
SURVEY

THE WEST 41 FEET OF LOT 6, BLOCK 14, EDE'S AND KNIGHT'S ADDITION SUPPLEMENTAL TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 2 OF PLATS, PAGE 194, RECORDS OF KING COUNTY, WASHINGTON.

LOT 6, BLOCK 14, EDE'S AND KNIGHT'S ADDITION SUPPLEMENTAL TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 2 OF PLATS, PAGE 194, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THE WEST 41 FEET THEREOF.

SITE FEATURES

The project site is composed of two lots that total 9,900 sf. It is currently occupied by two older single family houses and their accessory structures. The site generally slopes from the east to the west with a 10' drop from the alley to the street. To the west is Franklin Ave E with apartments and single family houses. To the east is a narrow paved alley and a row of houses and apartments with associated garages.



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A

B

C

D

E

F

G

SITE ANALYSIS
SITE CHARACTER - MASSING & TYPES

BOX WITH PUNCHED WINDOWS

2359 FRANKLIN AVE E
APARTMENT

1920 EASTLAKE AVE E
MIXED USE ASSISTED LIVING

1823 EASTLAKE AVE E
APARTMENT

2027 EASTLAKE AVE E
APARTMENT

STACKED DECK

2362 FRANKLIN AVE E
APARTMENT

2352 YALE AVE E
APARTMENT

NON HIERARCHICAL

2321 FRANKLIN AVE E
TOWNHOUSES

2303 FRANKLIN AVE E
APARTMENT

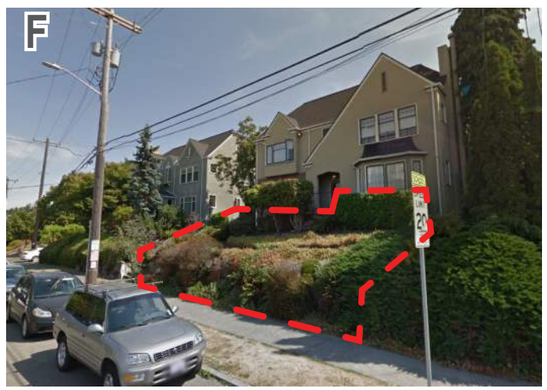
RHYTHM BUILDINGS

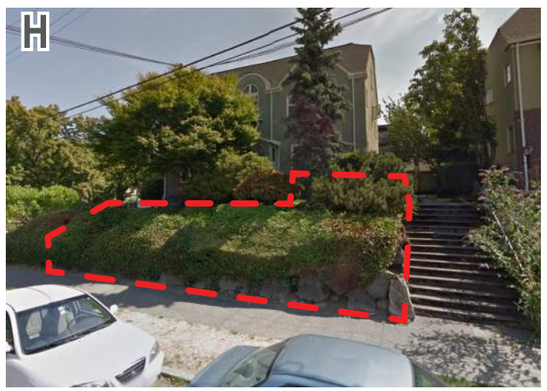
2358 FRANKLIN AVE E
TOWNHOUSE

2306/2310 FRANKLIN AVE E
TOWNHOUSES

SITE ANALYSIS
SITE CHARACTER - SETBACK BUFFER

The buildings in the neighborhood around the site are generally set back generously from the street. Most single family homes have a landscaped front yard with stairs. Most townhouses and apartments provide a well developed planting area as common space and privacy buffer.





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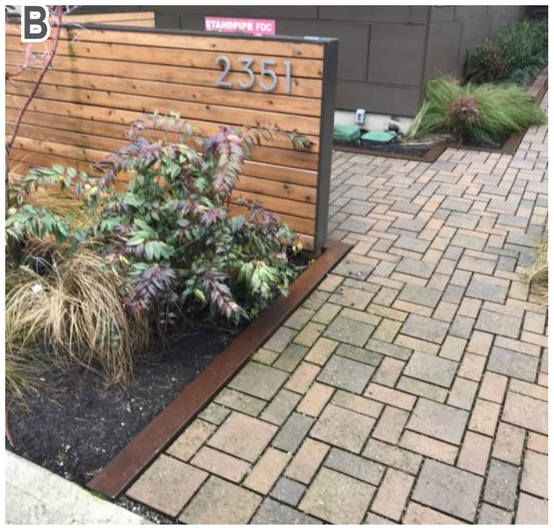
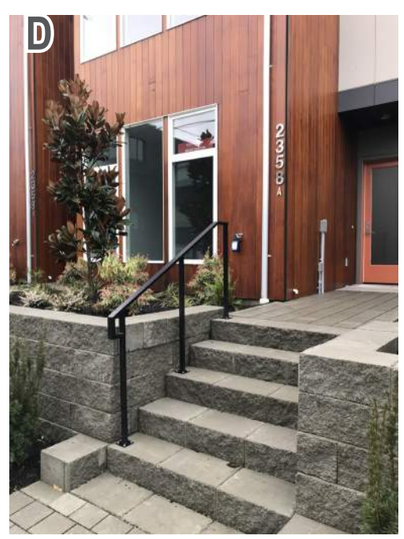
SITE ANALYSIS
SITE CHARACTER - ENTRY AND STAIRS

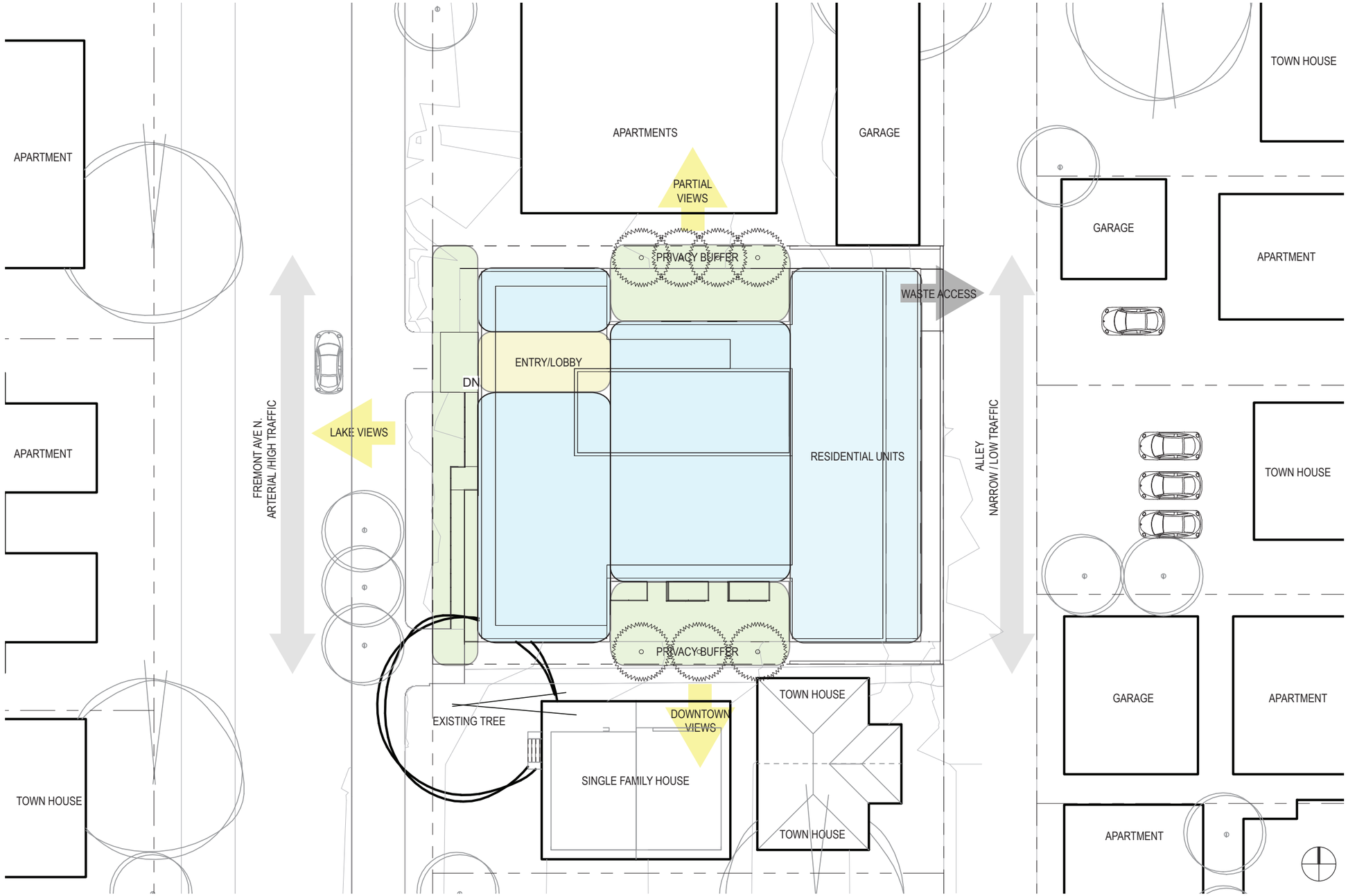
The neighborhood around the site is a mix of single and multifamily housing from a variety of eras. A notable commonality is a setback area between the buildings and the sidewalk. Along the west side of Franklin, the entries are level with the street. Along the east side of Franklin the buildings sit up on a 2'-4' tall plinth above the street. Stairways that connect the buildings to the street figure prominently in the entry sequence





SITE ANALYSIS
SITE CONSIDERATIONS

- VIEWS:
  360° lake and downtown views
- STREET PLINTH:
  Generous setbacks and raised plinth along the street
- ALLEY, DISTANCE TO NEIGHBOR:
  Large privacy buffer across the alley.
- NORTH/SOUTH PRIVACY:
  South neighbor has very few facing windows.
  North neighbor has a few more windows, needs privacy screening
- TREE:
  Large tree close to SW corner
- INTERFACE WITH SLOPE
  10’ grade drop along the site creates challenges for the interface between grade and floor levels.
- AMENITY AREA/PRIVACY:
  Ground level amenity areas create privacy conflicts with ground level and basement units



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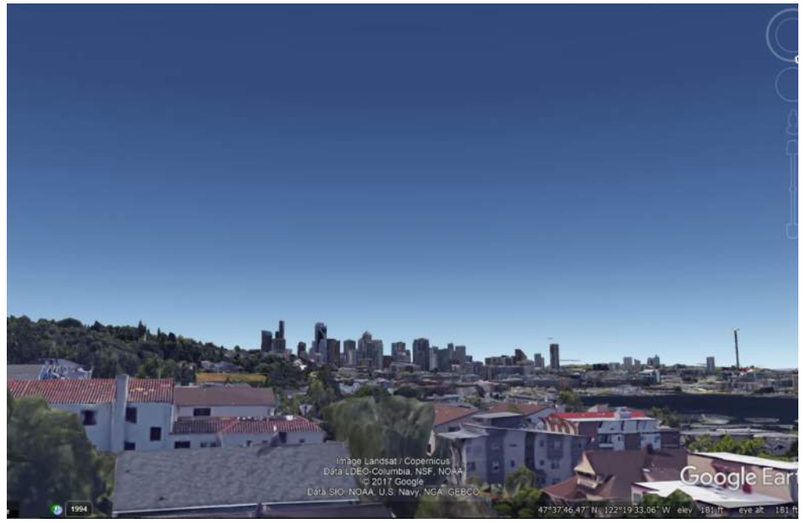
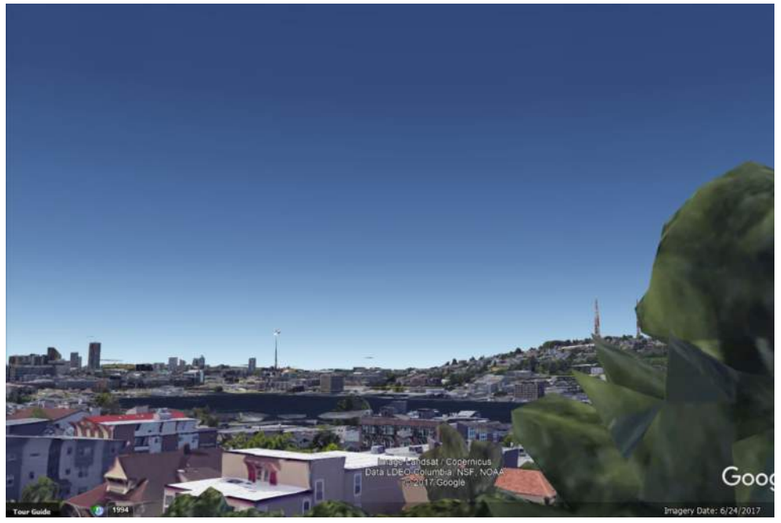


SOUTH VIEW

WEST VIEW

NORTH VIEW



SOUTHWEST VIEW

NORTHWEST VIEW

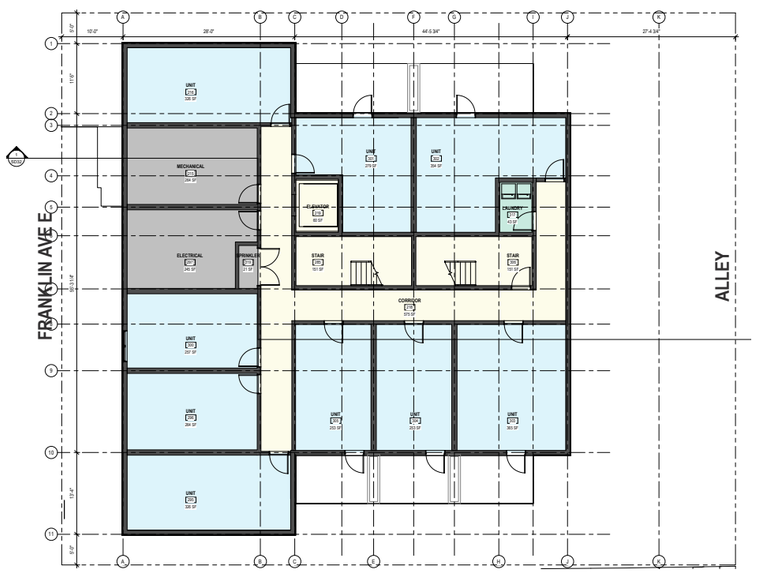
STANDARDS + GUIDELINES

ZONING: LR3 / EAST LAKE RESIDENTIAL URBAN VILLAGE

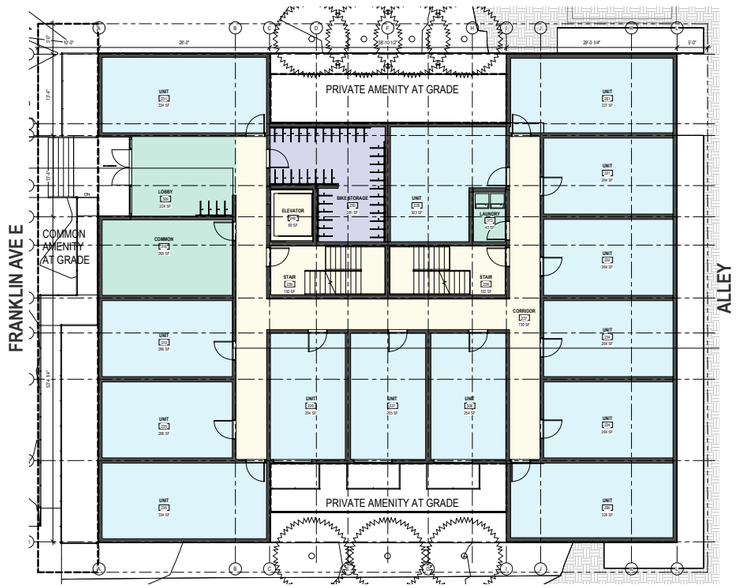
CITATION	TOPIC	CODE STATEMENT	NOTES
23.45.510	FAR Limit	2.0 (Built Green 4-Star)	1.99 Provided (Vested pre MHA)
23.45.512	Density Limit	No Limit (Built Green 4-Star)	
23.45.514.A	Structure Height	40’ Base Height Limit +4’ for partially below grade stories +4’ for open railings, planters, skylights, clerestories, parapets and firewalls on roof +10’ for stair penthouse (max. 15/20% roof coverage) +16’ above limit for elevator penthouses	See section on page 38
23.45.518	Setbacks and Separations	Front 5’ min. Rear 10’ min. with alley Side 5’ min. - facades 40 or less in length 5’ min., 7’ avg. - facades 40’ or greater in length Upper level setback 16’ above 44’ height	Rear setback departure required to accomodate with street scape continuity
23.45.522	Amenity areas	25% of lot area (2,475 sf), 50% to be at grade common (1,238 sf)	885 sf common provided at grade, 3,518 sf common provided on roof 999 sf private provided at grade, departure required for 50% at grade common
23.45.524	Landscaping	Green Factor of 0.6 or greater, street trees required	
23.45.527	Structure Width and Facade Length	150’ Max. Structure width 65% Max of length of lot line (71.5’) for facade length within 15’ of property line	80’ Provided 56’ Provided
23.54.015	Parking	None required - frequent transit in an Urban Village	0 parking provided
23.54.015	Bicycle Parking	1 per 4 for standard dwelling units; 0.75 per SEDU	0.75 * 56 SEDU = 42 Bikes (Vested pre Bike Parking Legislation)
23.54.040	Solid waste and recycling	375 sf + 4 sf for each additional unit above 50 Required (399 sf)	375 Provided, SPU Approved

EDG Fees Paid:	03.13.2018 (Vesting Date)
EDG Public Meeting:	05.09.2018
Planner’s Report:	06.16.2018
MUP Submission:	07.25.2018 (Within 90 Days from EDG Report)
MHA in Effect:	04.19.2019
Bike Parking Legislation:	04.02.2019

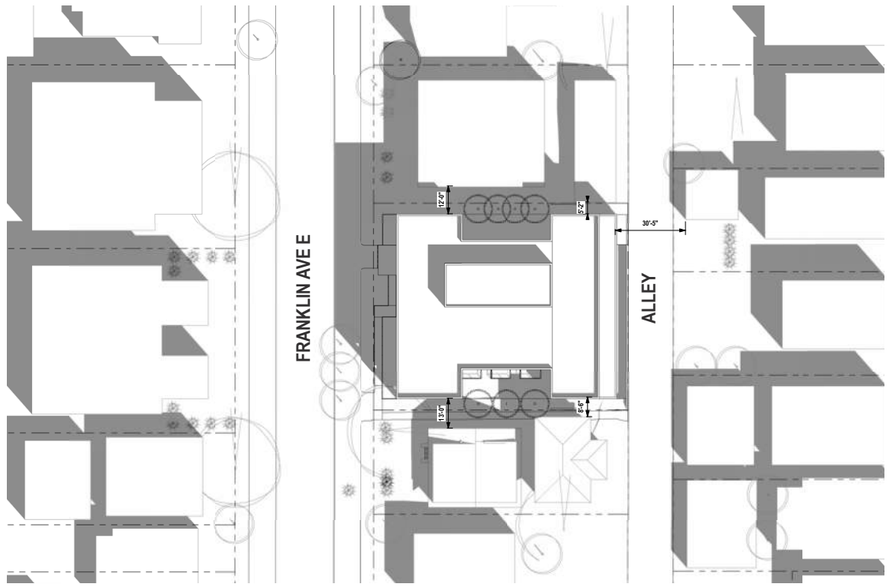
PREFERRED OPTION C FROM EDG
LEVEL PLANS



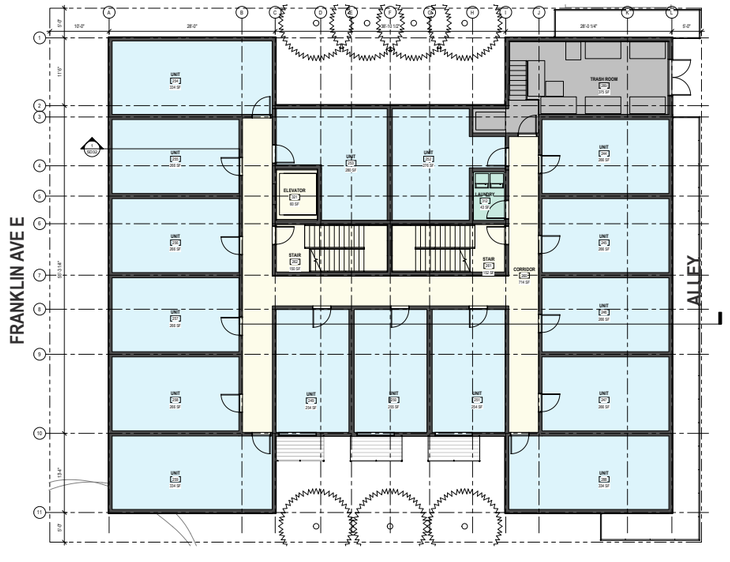
LEVEL 1 PLAN



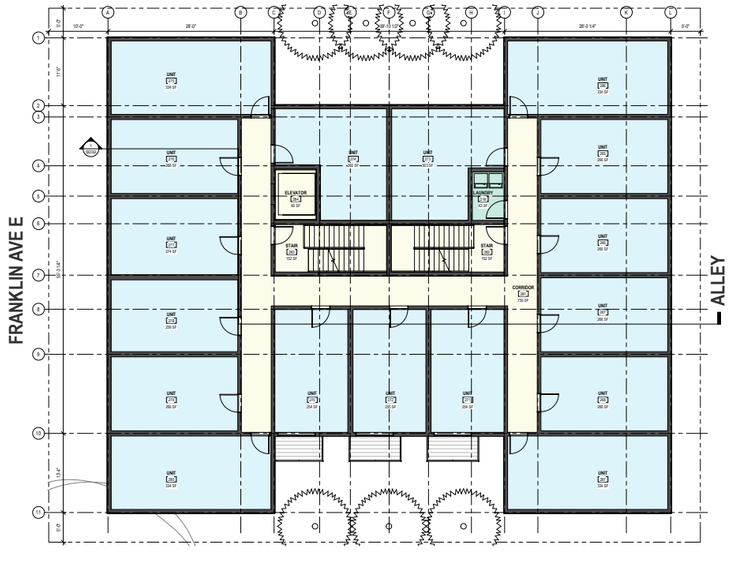
LEVEL 2 PLAN



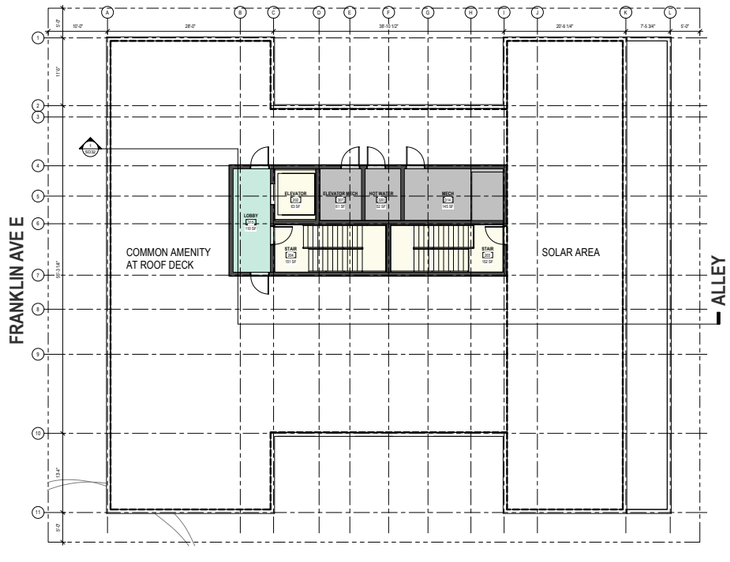
VICINITY PLAN



LEVEL 3 PLAN



LEVEL 4 PLAN



ROOF PLAN

BIKE ROOM

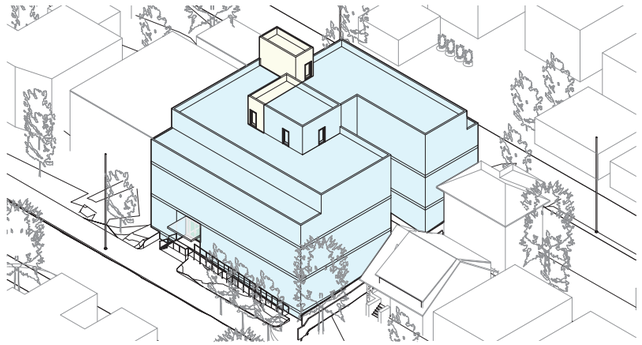
UTIL.

CIRCULATION

UNIT

AMENITY

DESIGN OPTIONS AT EDG
COMPARATIVE ANALYSIS



SCHEME A - “C” SHAPE

Units: 56
Parking: 0
Gross Floor Area: 23,510 s.f.
FAR = 1.98

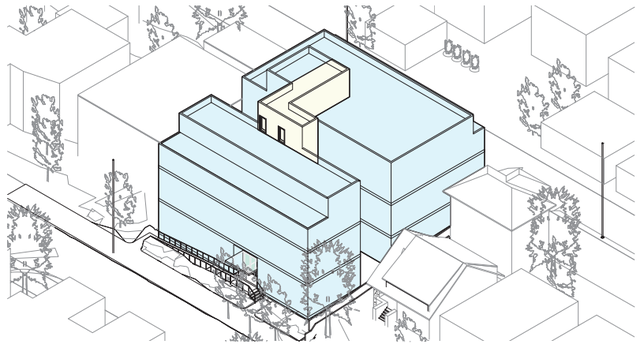
DESCRIPTION

Scheme A maximizes the development potential, organizing units around a C shaped internal courtyard. Strict adherence to developement standards creates some undesirable privacy relationships at ground level

ADVANTAGES
- No Departures

CHALLENGES
- Low quality open space [DC3.C2 Amenities and Features]
- Larger impact on neighboring property by bulky massing with wide side facade[CS2.C5 Respect for Adjacent Sites]
- Less quality daylight due to restriction to side facade fenestration [CS1.B2 Daylight and Shading]
- Less floor area on roof for solar panel facilities. Less south facing windows for passive solar gain [CS1.A1 Energy Use] [CS1.B1 Sun and Wind]

NO DEPARTURES



SCHEME B - “H” SHAPE

Units: 55
Parking: 0
Gross Floor Area: 24,130 s.f.
FAR = 1.97

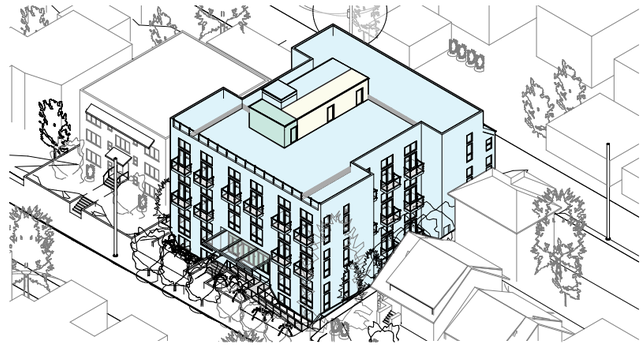
DESCRIPTION

Scheme B improves privacy relationships and access to natural light by organizing the project around a larger, more cohesive linear courtyard .

ADVANTAGES
- More units with good light + ventilation [CS1.B2 Daylight and Shading]
- Controlled privacy relationships.

CHALLENGES
- Privacy with neighboring sites [CS2.C5 Respect for Adjacent Sites]
- Narrow amenity area and open space
- Less quality daylight due to restriction to side facade fenestration [CS1.B2 Daylight and Shading]
- Less floor area on roof for solar panel facilities. Less south facing windows for passive solar gain [CS1.A1 Energy Use] [CS1.B1 Sun and Wind]

DEPARTURES
- At-grade common amenity area departure required to provide better privacy relationships for units at the ground floor.



SCHEME C - “I” SHAPE (Preferred Scheme)

Units: 56
Parking: 0
Gross Floor Area: 24,549 s.f.
FAR = 1.99

DESCRIPTION

Two single-loaded bar are connected by a circulation core corridor loaded with units facing better daylight direction. Front setback was increased to keep the streetscape continuity of the neighborhood. And two private courtyards for ground floor units provide better privacy relationships with neighbors.

ADVANTAGES
- Most units with good light + ventilation [CS1.B2 Daylight and Shading]
- Decent common entry amenity area and private amenity area, as well as rooftop common amenity
- Side courtyards lowers impact on adjacent SFR’s [CS2.D3 Zone Transition]
- Greater privacy for units and adjacent buildings [CS2.C5 Respect for Adjacent Sites]
- More floor area on roof for solar panel facilities. More south facing windows for passive solar gain [CS1.A1 Energy Use] [CS1.B1 Sun and Wind]

DEPARTURES
- Rear setback departure required to maintain streetscape continuity
- Upper level setback departure required to provide more coherent massing, larger rooftop amentiy space, and more area for rooftop solar panels
- At-grade common amenity area departure required to provide better privacy relationships for units at the ground floor.

LEVEL PLANS
BASEMENT LEVEL

BIKE ROOM

UTIL.

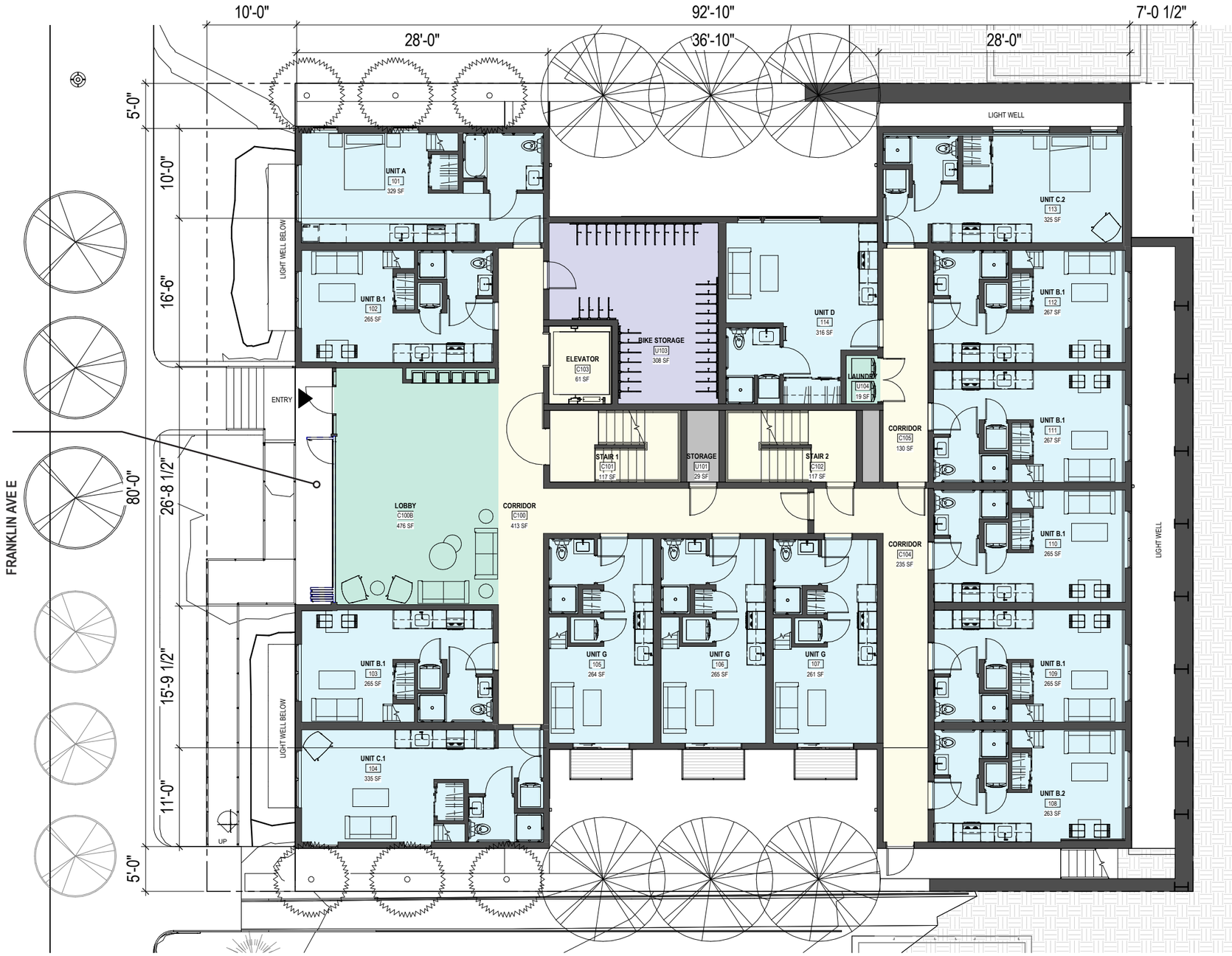
CIRCULATION

UNIT

AMENITY

NORTH FOR ALL PLANS

LEVEL PLANS
1ST LEVEL



UPDATES FROM EDG:
CENTERED ENTRY

BIKE ROOM

UTIL.

CIRCULATION

UNIT

AMENITY

NORTH FOR ALL PLANS

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

LEVEL PLANS
2ND LEVEL

BIKE ROOM

UTIL.

CIRCULATION

UNIT

AMENITY

NORTH FOR ALL PLANS

LEVEL PLANS
3RD LEVEL

UPDATES FROM EDG:
GEOMETRY SETBACK
FOR TRANSFORMER
CLEARANCE

BIKE ROOM

UTIL.

CIRCULATION

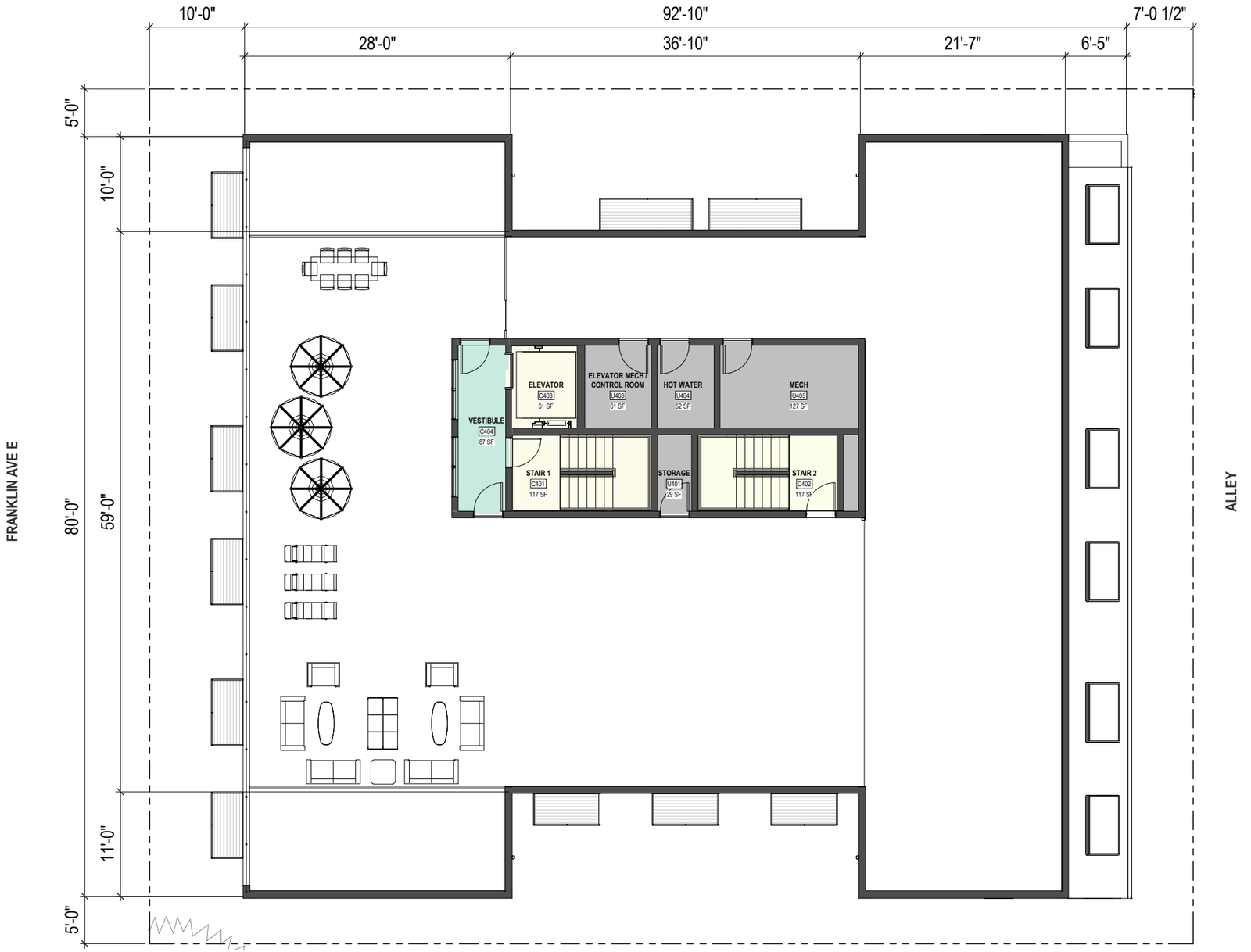
UNIT

AMENITY

NORTH FOR ALL PLANS

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

LEVEL PLANS
ROOF



BIKE ROOM

UTIL.

CIRCULATION

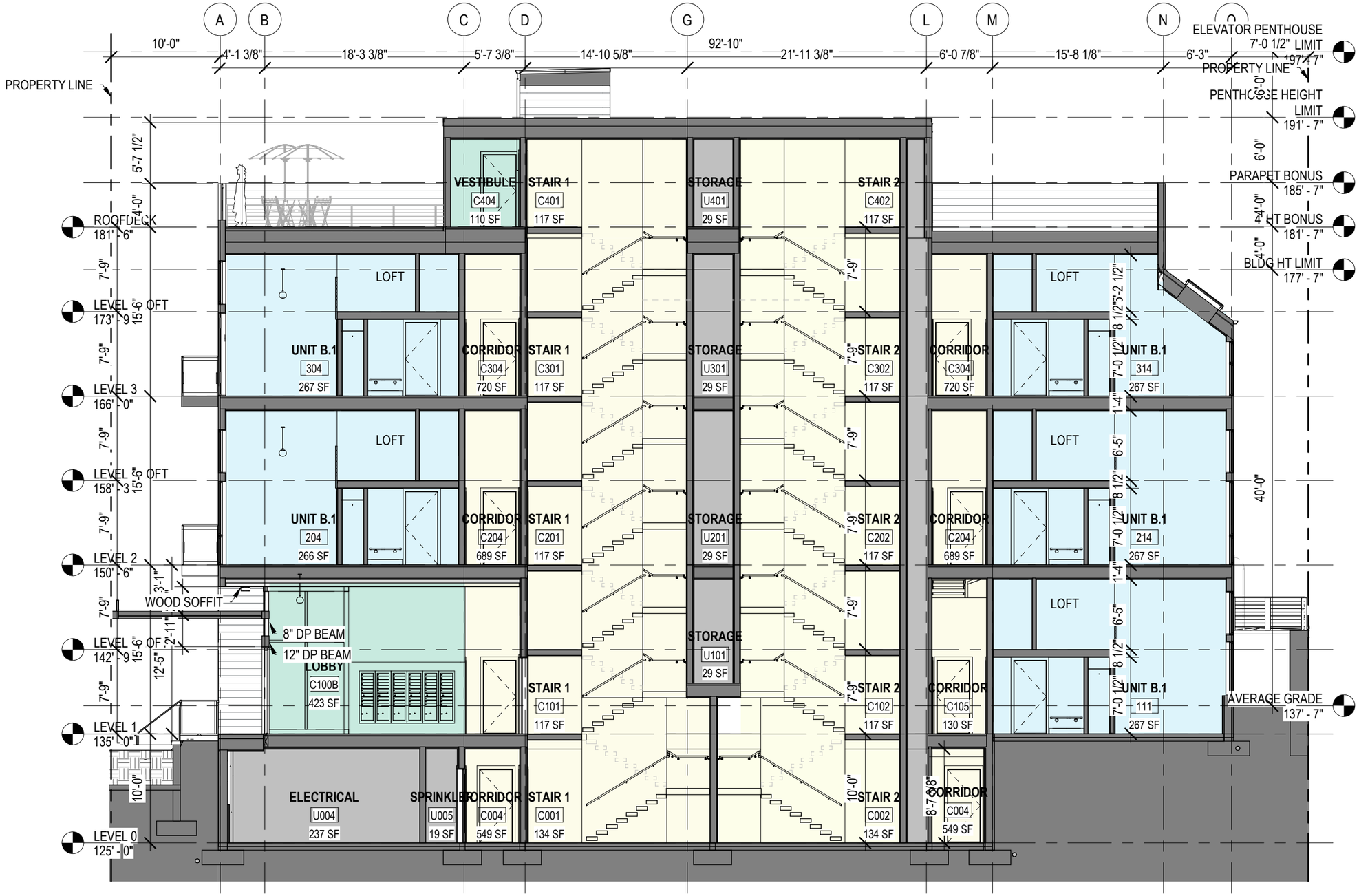
UNIT

AMENITY

NORTH FOR ALL PLANS

BUILDING SECTIONS

EAST-WEST TRANSVERSE SECTION THROUGH LOBBY + STAIRS



NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

BUILDING SECTIONS

NORTH-SOUTH LONGITUDINAL SECTION THROUGH COURTYARDS

BUILDING ELEVATIONS
WEST ELEVATION

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

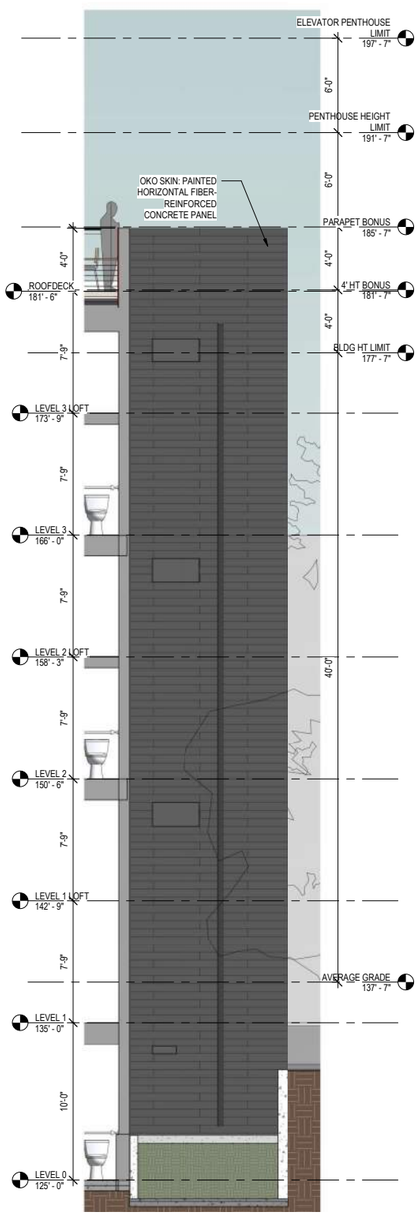
BUILDING ELEVATIONS
EAST ELEVATION

BUILDING ELEVATIONS
NORTH ELEVATION

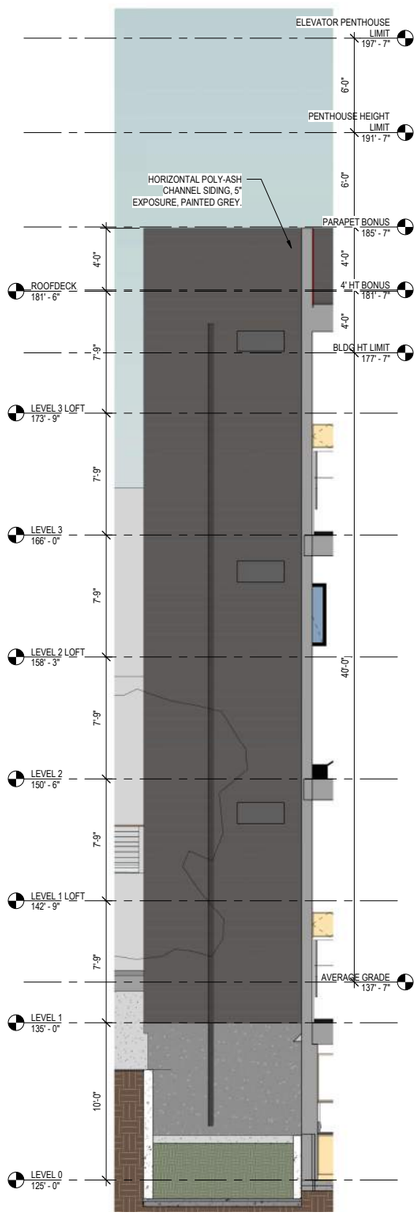
NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

BUILDING ELEVATIONS
SOUTH ELEVATION

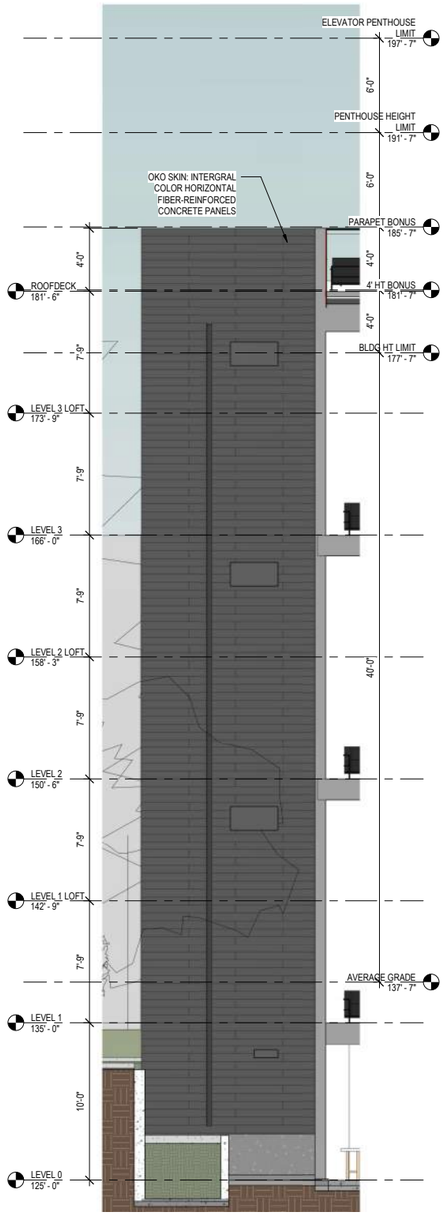
BUILDING ELEVATIONS
COURTYARD ELEVATIONS



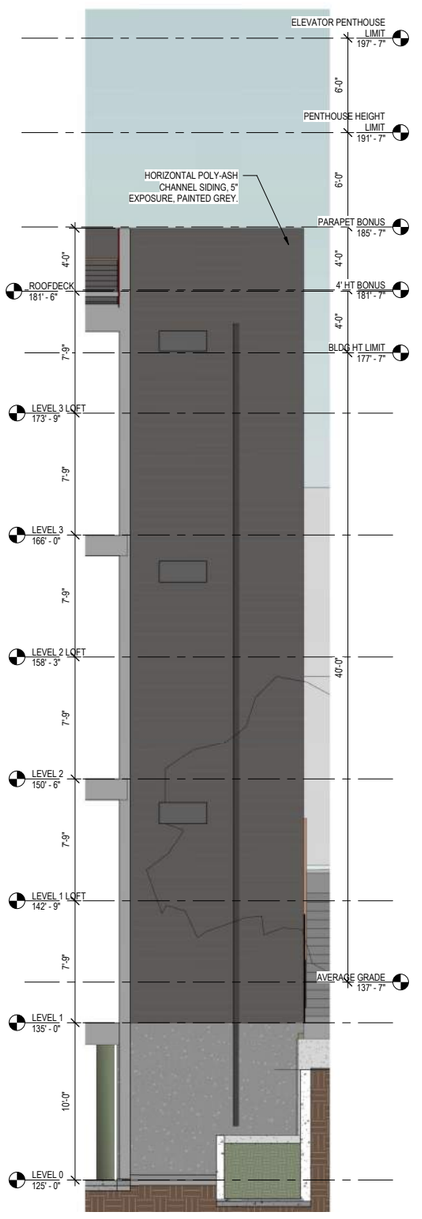
North Courtyard:
West Elevation



North Courtyard:
East Elevation



South Courtyard:
West Elevation



South Courtyard:
East Elevation

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

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RESPONSE TO EARLY DESIGN GUIDANCE

1. MASSING

a. The Board supported the applicant's preferred massing scheme, Scheme C. The Board appreciated the strong street wall, the increased front setback, and the privacy relationships between the subject building and the adjacent properties on either side. However, the Board also found merit in Scheme B, particularly the separation between the two main building volumes. The Board recommended that the applicant proceed with Scheme C but suggested that the applicant study how some of the benefits of Scheme B – including increased access to daylight and the relief provided by separating the building into two volumes – could be incorporated into Scheme C. (DC2-A)

DESIGN RESPONSE: No response required. The project has continued with the development of Scheme C.

2. TOPOGRAPHY

a. Due to existing topography, the subject lots are situated significantly above sidewalk level, increasing the perceived height of any proposed structure. The Board asked that the applicant be mindful of this additional perceived height and use modulation, materials, and proportions that do not further exaggerate the perceived height of the structure. (CS1-C)

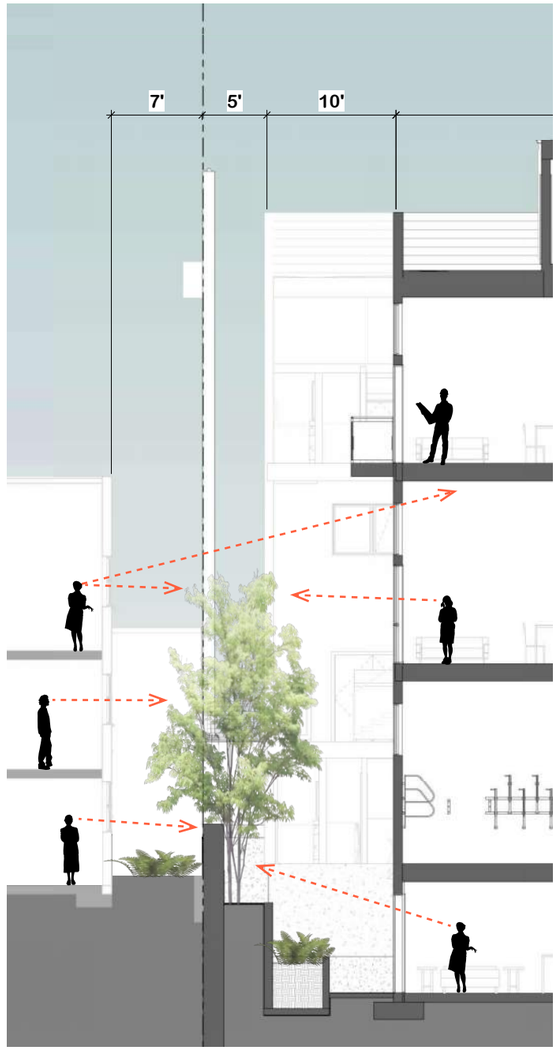
DESIGN RESPONSE: We have continued to develop the project in a manner consistent with the precedents outlined in the EDG packet, focusing on a simple, "whole" building design with a restrained, high quality material palette and simple massing consistent with the surrounding fabric. We have emphasized the use of secondary massing elements that break down the perceived scale of the building, such as the entry porch, projecting balconies, grouping of the windows, and replacement of the parapet with a glass railing system.

b. The Board was concerned about how topography will impact the quality of proposed basement-level units. Prepare additional section drawings and renderings of the basement-level courtyard conditions for the recommendation phase of review. Develop these spaces to provide abundant natural light, greenery, and a sense of connection to the rest of the development. (CS1-B-2, CS1-C-1)

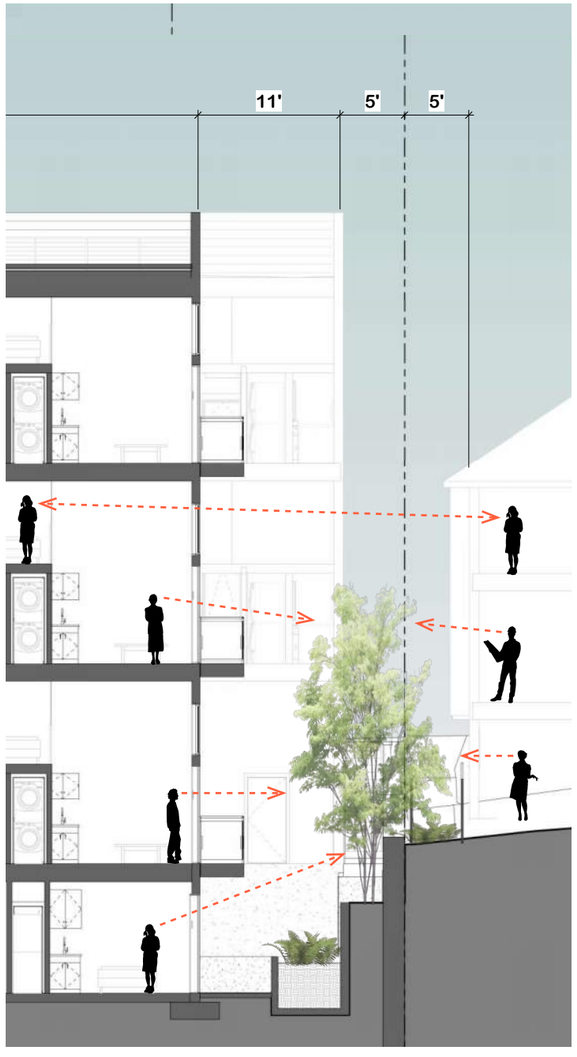
DESIGN RESPONSE: Section drawings have been provided to demonstrate access to light for the basement units. Along the front façade, a gentle terracing that extends across the front of the building to bring light into the basement. The north and south facing basement units have walk-out terraces and large double glass doors. For the east facing units we have increased the setbacks from five feet (5') to seven feet (7') to allow for a more generous light well to serve those units.

NORTHWEST PERSPECTIVE - FRANKLIN AVE E

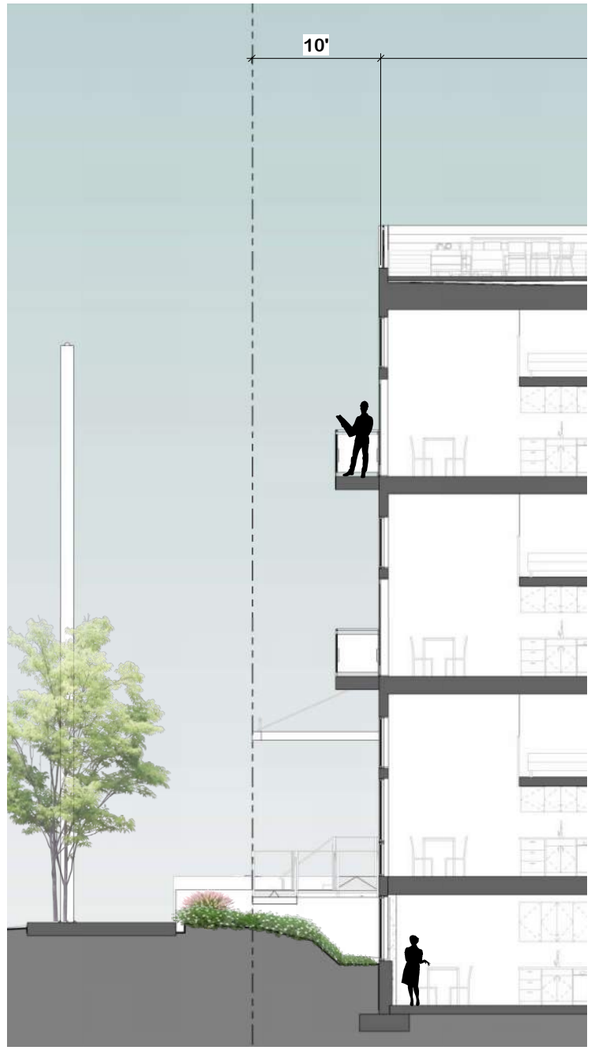
RESPONSE TO EARLY DESIGN GUIDANCE
BASEMENT UNIT PRIVACY / LANDSCAPE DETAIL



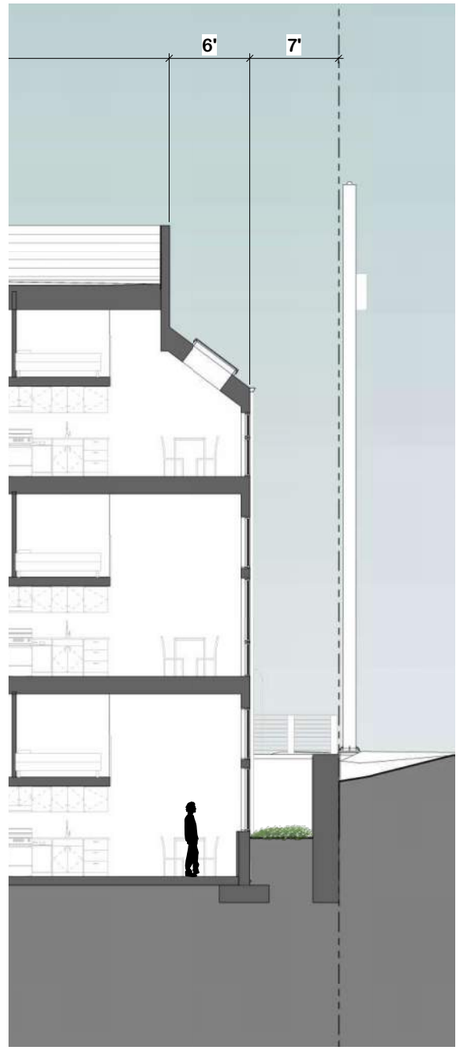
South Courtyard



North Courtyard



West Street Facing Window Well



East Alley Facing Window Well

RESPONSE TO EARLY DESIGN GUIDANCE
PRIVACY STUDIES

3. RELATIONSHIP TO BLOCK

a. Make a strong connection to the street with a prominent entry. Develop the entry as an amenity space to serve as a "gathering point" for residents and visitors. (CS2-B-2, PL3-A, DC-1)

DESIGN RESPONSE: The entry area has been redesigned to be more expansive and to include some exterior space that is connected to the lobby via a fold-slide door that can be opened for special occasions.

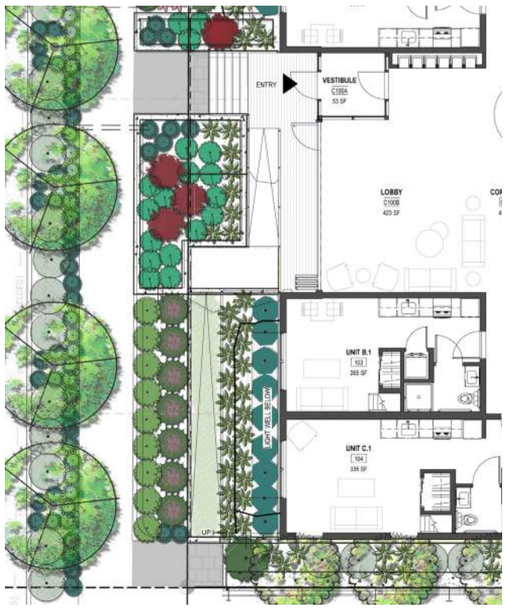
b. The entry location is out of character with the symmetrical, balanced facades common throughout the neighborhood. Adjust the size and location of the entry as necessary to better fit with the existing pattern. (DC2-B-1) .

DESIGN RESPONSE: The entry has been relocated to be in a central, symmetrical location.

c. Generous front setbacks are a common feature on the subject block. The Board noted that the proposed 10-foot front setback is adequate but encouraged a further setback if possible. Thoughtfully design the ADA-access ramp so that it does not dominate the front setback area. Use landscaping and hardscape materials that help to blend the access ramp with the larger development. (CS2-C-2, CS3-A, DC3-C-1).

DESIGN RESPONSE: The ramp has been designed as a thin steel structure that floats above the terraced landscaping so that it does not visually dominate the front entry facade and does not unduly block access to natural light for the basement units.

NORTHWEST PERSPECTIVE - FRANKLIN AVE E



ENTRY PLAN

SOUTHWEST PERSPECTIVE - FRANKLIN AVE E

4. ARCHITECTURAL CONCEPT

a. The Board complimented the choice of precedent images and directed that the design presented at the Recommendation meeting should clearly reference these design inspirations. (DC2-B-1)

DESIGN RESPONSE: Noted. Further detail will be provided in the recommendation packet

b. The Board gave guidance to provide a strong roof termination, particularly on the street-facing façade. The roof deck railing needs to be thoughtfully integrated with the primary façade or pulled back from the street edge to hide it from view. (DC2-B-1, DC3-A-1).

DESIGN RESPONSE: Along the street facing façade the top of the building terminates in a glass railing in lieu of a more conventional parapet. The glass railing help reduce the apparent scale of the building and draws human activity right up to the edge of the building face. Pulling the railing back from the

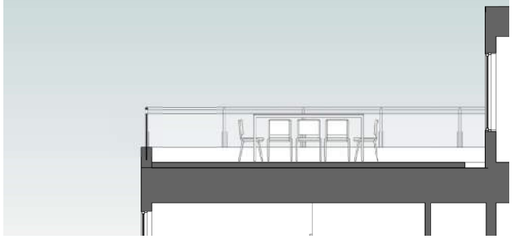
"WHOLE BUILDING"PRECEDENT NEAR THE SITE

OPTION 1: GLASS RAILING

ADVANTAGE:

1. Align with "Whole Building" concept, thus blend in the context nicely;
2. Reduces visual building height by using transparant glass railing;
3. Creates better view from roofdeck;
4. Utilize full potential of roofdeck amenity.

GLASS RAILING SECTION



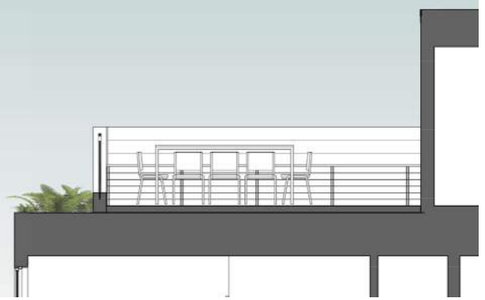
RESPONSE TO EARLY DESIGN GUIDANCE
BUILDING TOP ANALYSIS

OPTION 2: SETBACK + GREEN ROOF

DISADVANTAGE:

1. Doesn’t reduce visual building height from the street much from option 1.
2. Reduces common amenity at roofdeck.

SETBACK + PLANTATION SECTION

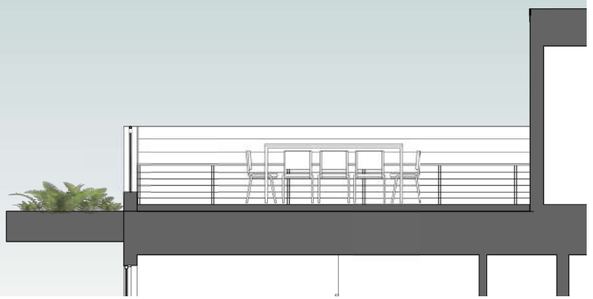


OPTION 3: GRASS CANOPY

DISADVANTAGE:

1. Heavy canopy conflicts with “Whole Building“ concept, thus don’t blend in the context;
2. Reduces natrual light gain for the third level lofts;
3. Plantings on the canopy create risk of falling for residents and maintenance staff.

GRASS CANOPY SECTION



RESPONSE TO EARLY DESIGN GUIDANCE

5. MATERIALS

a. Both the existing neighborhood character and the type of development proposed (condominium building) require high quality, long-lasting materials. The use of brick is strongly encouraged. (CS3-A, DC4-A).

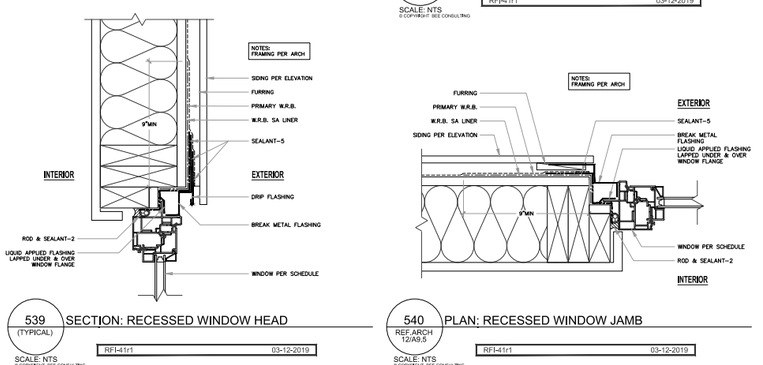
DESIGN RESPONSE: The proposed design proposes the use of OKO-skin siding at the primary public facades. OKO is a heavy duty, integrally colored fiber cement siding plank that has a material quality and visual heft that is reminiscent of masonry, without the attendant weight and waterproofing issues associated with masonry veneer. We have used OKO skin at previous project such as the Hamilton Apartments to provide a high quality, durable siding material that conveys heft, permanence, and material quality.

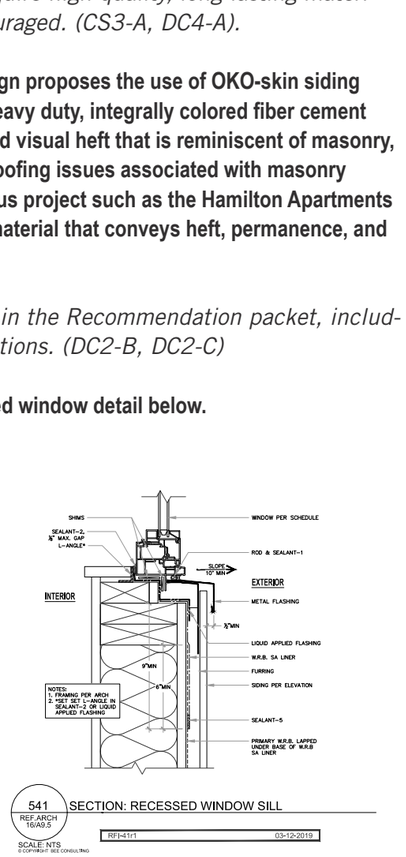
b. Provide detailed window diagrams in the Recommendation packet, including depth of glazing and mullion locations. (DC2-B, DC2-C)

DESIGN RESPONSE: Please see recessed window detail below.

RECESSED WINDOW DETAILS:

WINDOW SILL ▶
WINDOW HEAD ◀
WINDOW JAMB ▼

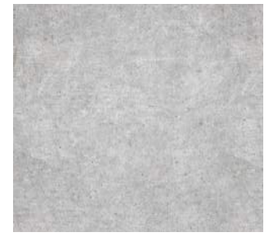




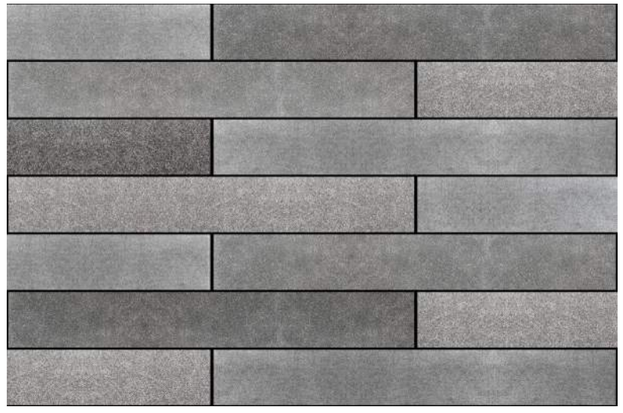
D. Vinyl Windows - Black

E. Aluminum Storefront
Black powdercoat finish

F. Steel Railings - Black
W/ clear tempered glass infill panel panels



G. Concrete
Columns, foundations & pre-cast stair treads



A. Oko Skin - Grey
Open joint rainscreen boards (showing color/texture variation)

B. Boral Poly Ash panel - Grey
Painted channel siding panel

C. Cedar Soffit
1X4 Tongue and Groove w/ Clearcoat

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

B. Boral Poly Ash Panel

- Grey painted channel siding panel
- SW 7019 - Gauntlet Gray. Acrylic latex exterior paint. Satin gloss
- Boards: Smooth 4’x10’ boral (poly-ash) channel siding panel
- Horizontal joints @ each floor line will show a 1/2” ‘z’ flashing, flush with the board

D. Black Vinyl Windows

- Mikron SuperCapSR Black

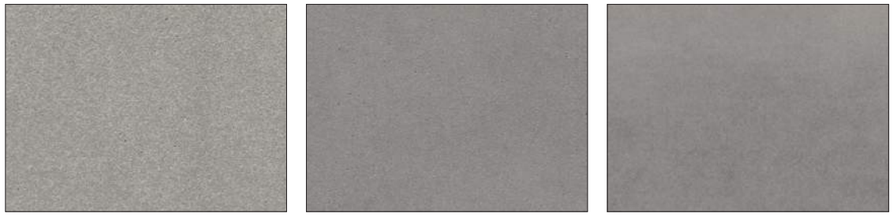
E. Aluminum Storefront

- Kawneer Black 29
- Black powdercoat finish

F. Black Steel Railings

- Black with clear tempered glass infill panels
- Balcony and roof deck railings
- Similar for metal canopies

A. Oko Skin



- Grey open joint rainscreen boards (showing color/texture variation)
- Tower siding: Rieder oko skin in chrome. Texture mix of: matt, ferro light, ferro

C. Cedar Soffit

- 1X4 tongue and groove with clearcoat
- Soffit at entry

G. Concrete

- Columns, foundations & precast stair treads
- Use smooth clean MDO formwork for a well-crafted finish
- Use form ties with recessed conical tie holes
- Sack and patch form tie holes and any rock pockets larger than 1”
- Grind smooth any ridges or fins

6. LANDSCAPING

a. At the Recommendation meeting, the Board would like to see additional section drawings at side property lines & courtyards. Show proposed terraces and landscaping and how they relate to basement-level units. (DC3-A, DC3-B)

DESIGN RESPONSE: See Basement Unit Privacy / Landscape Detail sections on page 39 and Privacy Sections on page 50.

b. The Board encouraged the use of landscaping on side property lines for screening and privacy purposes; however, clarified that the use of large evergreen trees, as suggested by the applicant at the meeting, is not appropriate as they will further shade these courtyard areas year-round. Use landscaping or other screening techniques that provide a buffer while allowing sufficient light to reach these spaces. (CS1-B-2, DC3-A, DC3-B)

DESIGN RESPONSE: Layered deciduous plantings, such as Acer griseum (Paperbark Maple) and Cornus sericea (Midwinter Fire Dogwood) will provide screening and year-round interest, while allowing sun to penetrate in the winter.

PLANT SCHEDULE

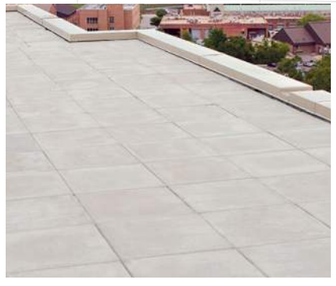
TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Acer griseum GF Small Tree	Paperbark Maple	1.5" Cal.	6
	Magnolia `Galaxy` GF Small/Med, Ok Under Wires, Approved by SDOT 10/16/2019	Galaxy Magnolia	2" Cal.	5
	Magnolia grandiflora `Little Gem` GF Small Tree	Dwarf Southern Magnolia	1.5" Cal.	6
	Parrotia persica `Vanessa` GF Small/Med Plant	Persian Parrotia	2" Cal.	1

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Abelia x grandiflora `Sunshine Daydream` GF Plant List Variety, DT, +24"	Variegated Abelia	1 gal.	9
	Clematis armandii `Snowdrift` GF Plant List, DT, +24"	Evergreen Clematis	1 gal.	10
	Cornus sericea `Kelseyi` GF Plant List, DT, +24"	Kelseyi Dogwood	1 gal.	16
	Cornus sericea `Midwinter Fire` GF Plant List Variety, DT, +24"	Midwinter Fire Dogwood	1 gal.	10
	Fothergilla gardenii DT, +24"	Dwarf Fothergilla	2 gal.	4
	Hebe x `Red Edge` GF Plant List, DT, +24"	Hebe	1 gal.	9
	Helictotrichon sempervirens `Sapphire` DT, +24", Meets SDOT 30" Req.	Blue Oat Grass	1 gal.	84
	Hydrangea quercifolia `Pee Wee` GF Plant List, DT, +24"	Oakleaf Hydrangea	2 gal.	13
	Juncus effusus GF Plant List, Native, +24"	Soft Rush	1 gal.	90
	Mahonia nervosa GF Plant List, DT, +24"	Oregon Grape	1 gal.	18
	Polystichum munitum GF Plant List, DT, +24"	Western Sword Fern	1 gal.	136
	Prunus laurocerasus `Mount Vernon` GF Plant List, DT, +24", Meets SDOT 30" Req.	Mount Vernon Laurel	1 gal.	28
	Ribes sanguineum `King Edward VII` GF Plant List, DT, +24"	Red Flowering Currant	2 gal.	4
	Rudbeckia hirta `Cherry Brandy` GF Plant List, DT	Cherry Brandy Gloriosa Daisy	1 gal.	36
	Sarcococca hookeriana humilis	Sweet Box	1 gal.	16
	Scirpus microcarpus GF Plant List, Native, +24"	Small-fruited Bulrush	1 gal.	39
	Vaccinium ovatum GF Plant List, DT, +24"	Evergreen Huckleberry	2 gal.	11

GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	Pachysandra terminalis GF Plant List, DT	Japanese Spurge	4"	24" o.c.	106
	Sarcococca hookeriana humilis GF Plant List, DT	Sweet Box	1 gal.	30" o.c.	15

*Any changes to plant list, plant sizes, planting areas or other landscape

Permeable Paving



Roof Deck Pedestal Pavers

Standard Sidewalk / ROW Paving


Abelia ‘Sunshine Daydream’


Clematis armandii ‘Snowdrift’


Cornus sericea ‘Kelseyi’


Cornus sericea ‘midwinter fire’


Hebe ‘Red Edge’


Hydrangea quercifolia ‘Pee Wee’


Juncus ensifolius


Mahonia nervosa


Polystichum munitum


Pachysandra terminalis


Prunus laurocerasus ‘Mt Vernon’


Rudbeckia hirta ‘Cherry Brandy’


Sarcococca hookeriana ‘Humilis’


Scirpus microcarpus


Vaccinium ovatum


Helictotrichon sempervirens


Fothergilla gardenii


Ribes sanguineum ‘King Edward’


Magnolia ‘Galaxy’


Magnolia grandiflora ‘Little Gem’


Acer griseum


Parrotia persica

RESPONSE TO EARLY DESIGN GUIDANCE
ROOFTOP PERSPECTIVE

ROOF DECK PERSPECTIVE

Rosmarinus officinalis ‘Prostrata’

Lavandula x intermedia ‘Niko’

Nepeta racemosa ‘Walker’s Low’

Helictorichon sempervirens

Sedum rupestre ‘Angelina’

Sedum ‘Autumn Joy’

Bergenia cordifolia ‘Baby Doll’

Mentha suaveolens ‘Variegata’

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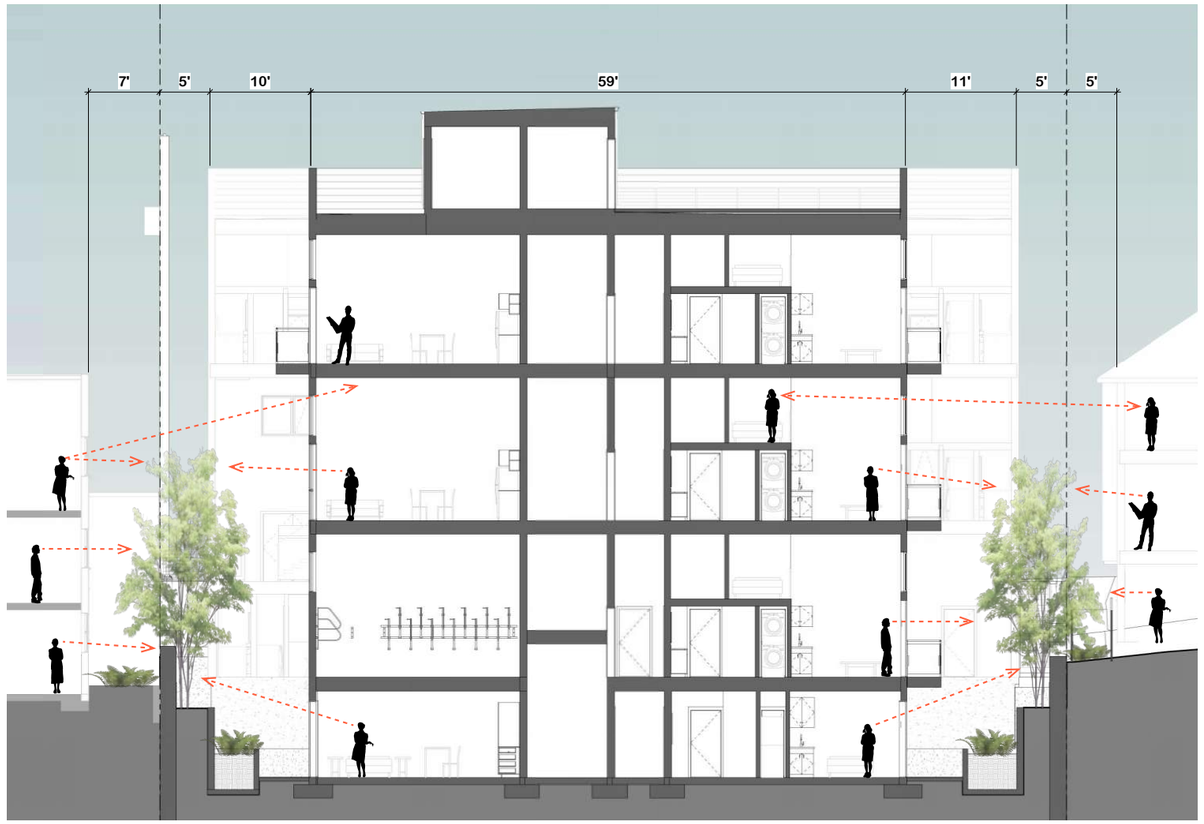
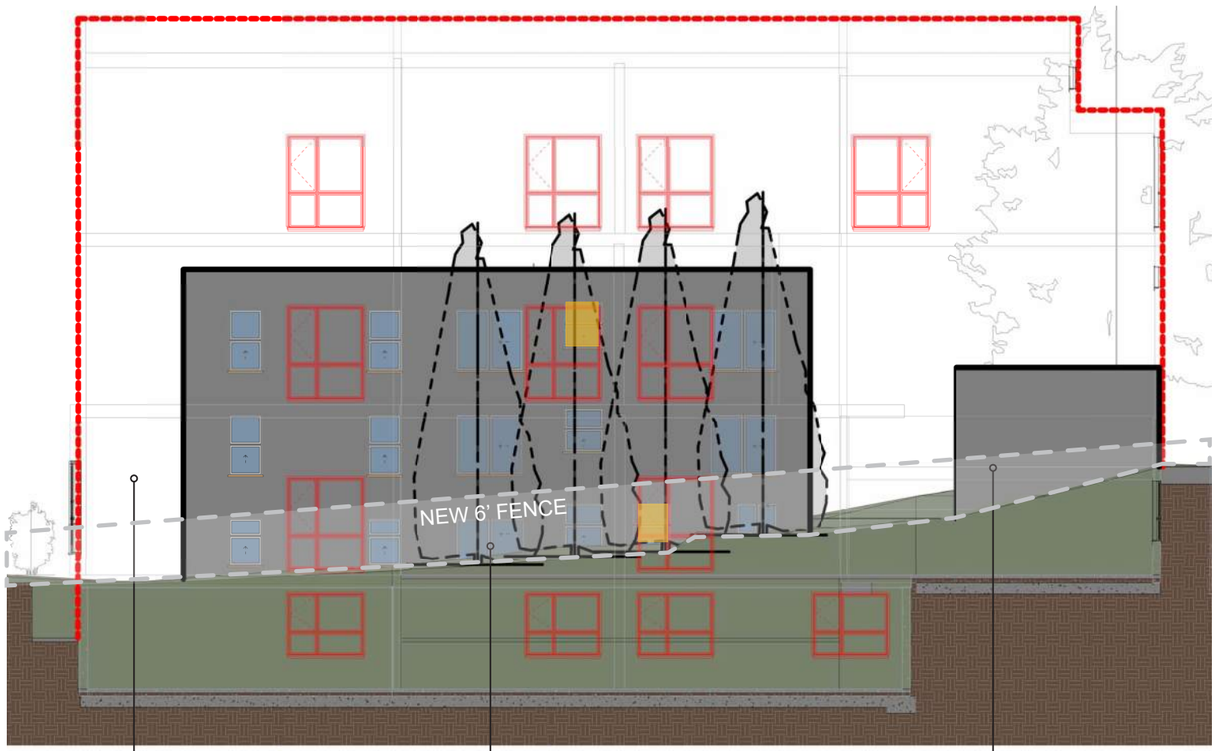
RESPONSE TO EARLY DESIGN GUIDANCE
PRIVACY SECTIONS



NORTH - SOUTH SECTION THROUGH COURTYARDS

WEST - EAST SECTION

NORTH FACADE FENESTRATION STUDY

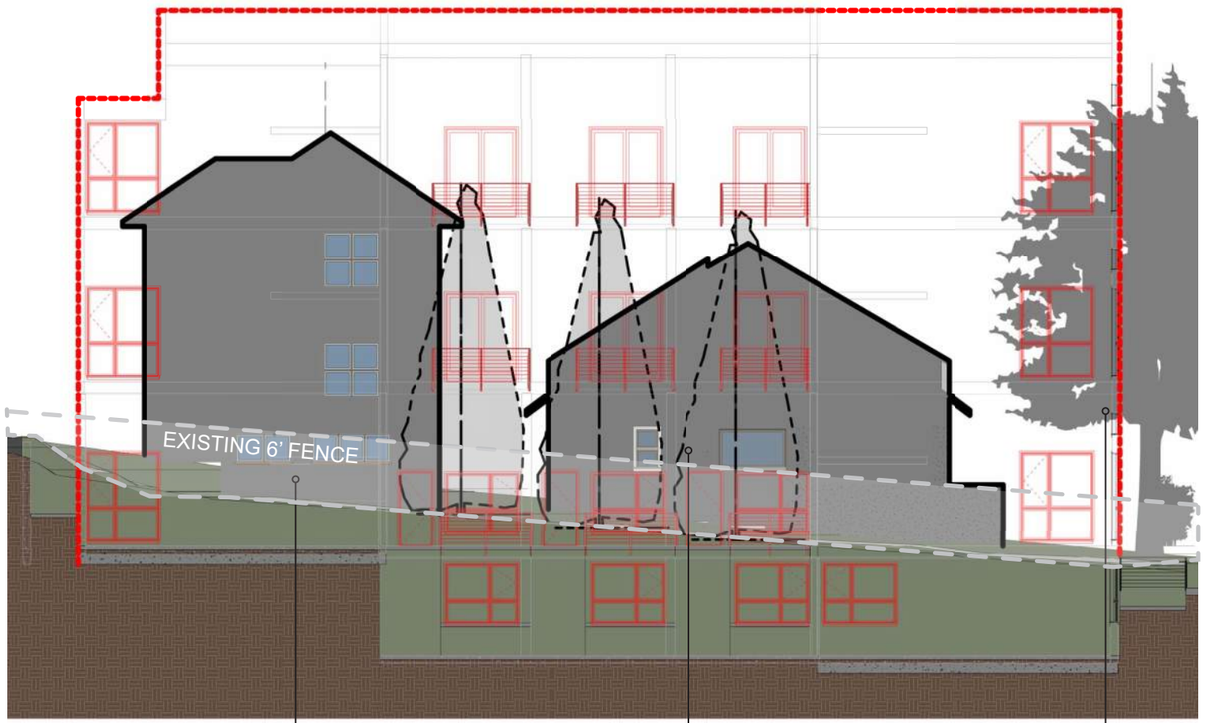


PROPOSED BUILDING
2328-2334 Franklin Ave E

MULTI-FAMILY BUILDING
2338 Franklin Ave E

GARAGE

SOUTH FACADE FENESTRATION STUDY



MULTI-FAMILY BUILDING
2326 Franklin Ave E

SINGLE FAMILY HOME
2324 Franklin Ave E

PROPOSED BUILDING
2328-2334 Franklin Ave E

OUTLINE OF PROPOSED BUILDING

GLAZING AREA OF PROPOSED BUILDING

GLAZING AREA OF ADJACENT BUILDINGS

AREA OF OVERLAP

6' FENCE

DEPARTURE REQUESTS
AMENITY AREA

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	DEPARTURE AMOUNT	RELATED STANDARDS / GUIDELINES	DESIGN IMPROVEMENTS
SMC 23.45.522.A2 - AMENITY AREA *Apartments in LR zones are required to provide a total amenity area equivalent to 25% of the lot size.* *50% of required amenity area must be at grade and provided as common use.*	*Common at-grade amenity area required: 1,237.5 SF* *Total amenity area required: 2,475 SF*	*Common At-Grade: 885 SF* *Private At-Grade: 999 SF* *Common at Roof Deck: 3,518 SF* *Total Amenity Area: 5,402SF*	*Common At-Grade: 349.5 SF*	*DC3.A1 - INTERIOR/EXTERIOR FIT* *DC3.B1 - MEETING USERS NEEDS* *DC2.B4 - MULTIFAMILY OPEN SPACE*	*PRIVACY AT GRADE* *Common open spaces at the ground level will create difficult privacy relationships with residents of the adjacent units. By contrast, the ground level open spaces can be a desirable feature that adds to the livability of the units if these areas are used as private amenity areas for the adjacent units. The rooftop deck is ample and can provide sufficient common space to serve the building as a whole.*

REQUEST #1: 23.45.522.A2
Amenity Area

STANDARD
Apartments in LR zones are required to provide a total amenity area equivalent to 25% of the lot size.
Project requirement: (9,900 SF)(.25) = 2,475 SF total
Proposed total amenity areas: 5,402 SF

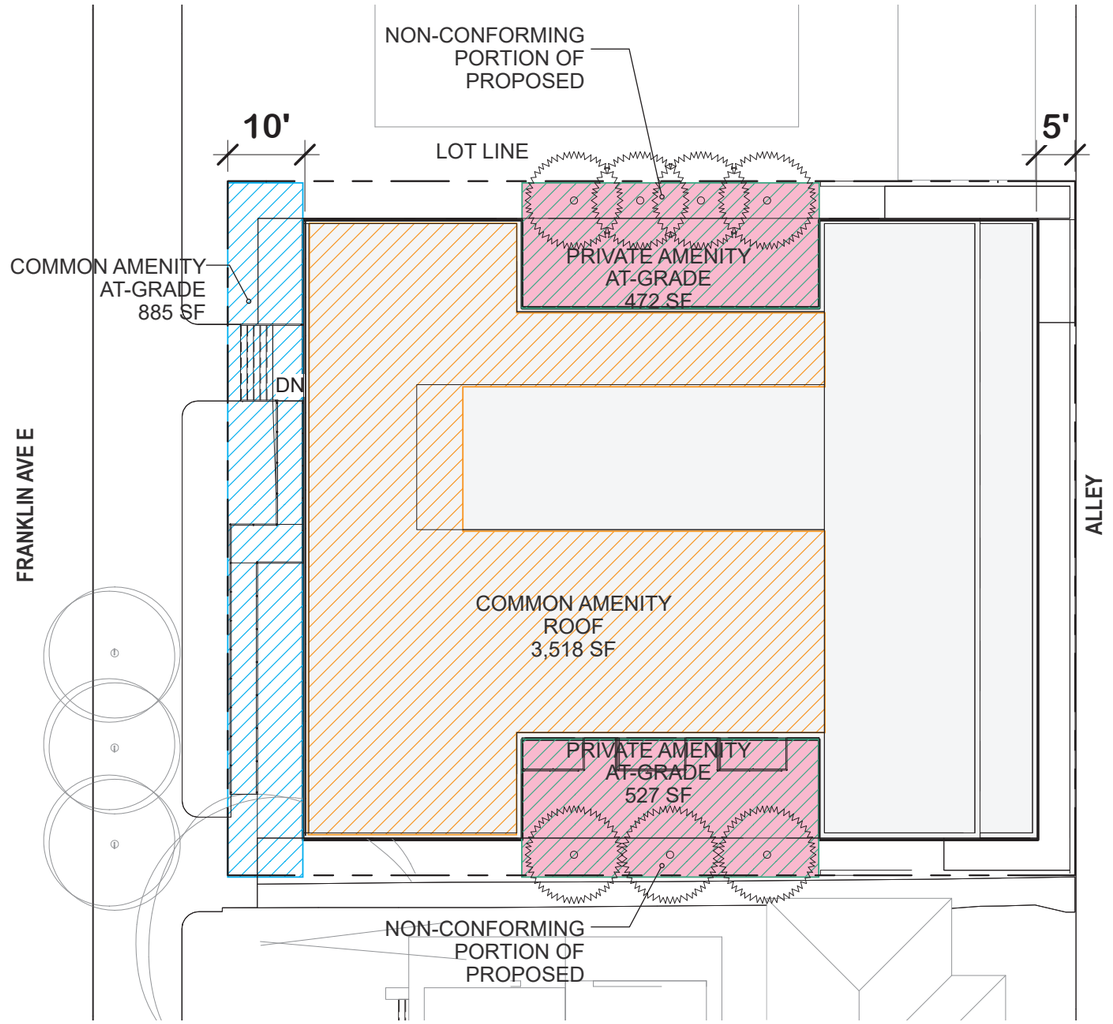
50% of required amenity area must be at grade and provided as common use.
Project requirement: (2,475 SF)(.5) = 1,237.5 SF at grade
Proposed common amenity areas:
885 SF at-grade;
3,518 SF at rooftop

PROPOSED
Allow more than half of the at-grade amenity areas to be private amenity areas, provide more common amenity areas at the upper deck.

RATIONALE
Common open spaces at the ground level will create difficult privacy relationships with residents of the adjacent units. By contrast, the ground level open spaces can be a desirable feature that adds to the livability of the units if these areas are used as private amenity areas for the adjacent units. The rooftop deck is ample and can provide sufficient common space to serve the building as a whole.

DC3.A1 - INTERIOR/EXTERIOR FIT
DC3.B1 - MEETING USERS NEEDS
DC2.B4 - MULTIFAMILY OPEN SPACE

ENTRY COMMON AMENITY



PROPOSED SCHEME

NORTH FOR ALL PLANS

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

DEPARTURE REQUESTS
REAR SETBACK

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED AT EDG	PROPOSED AT REC	DEPARTURE AMOUNT	RELATED STANDARDS / GUIDELINES	DESIGN IMPROVEMENTS
SMC 23.45.518.A - SETBACKS Required rear setbacks in LR zones for apartments with alley	*10' minimum.*	*5'*	*7'*	*3'*	*(CS2.A1 / SENSE OF PLACE; (CS2.B2 / CONNECTION TO THE STREET). (CS2.D2 / EXISTING SITE FEATURES).*	*The existing streetscape is marked by a generous front setback. By expanding this setback we can help the project to be more compatible with the surrounding pattern of development. By contrast, there are no significant privacy or massing relationships along the alley that are served by a large rear setback.*

REQUEST #2: 23.45.518.A
Setbacks and Separations

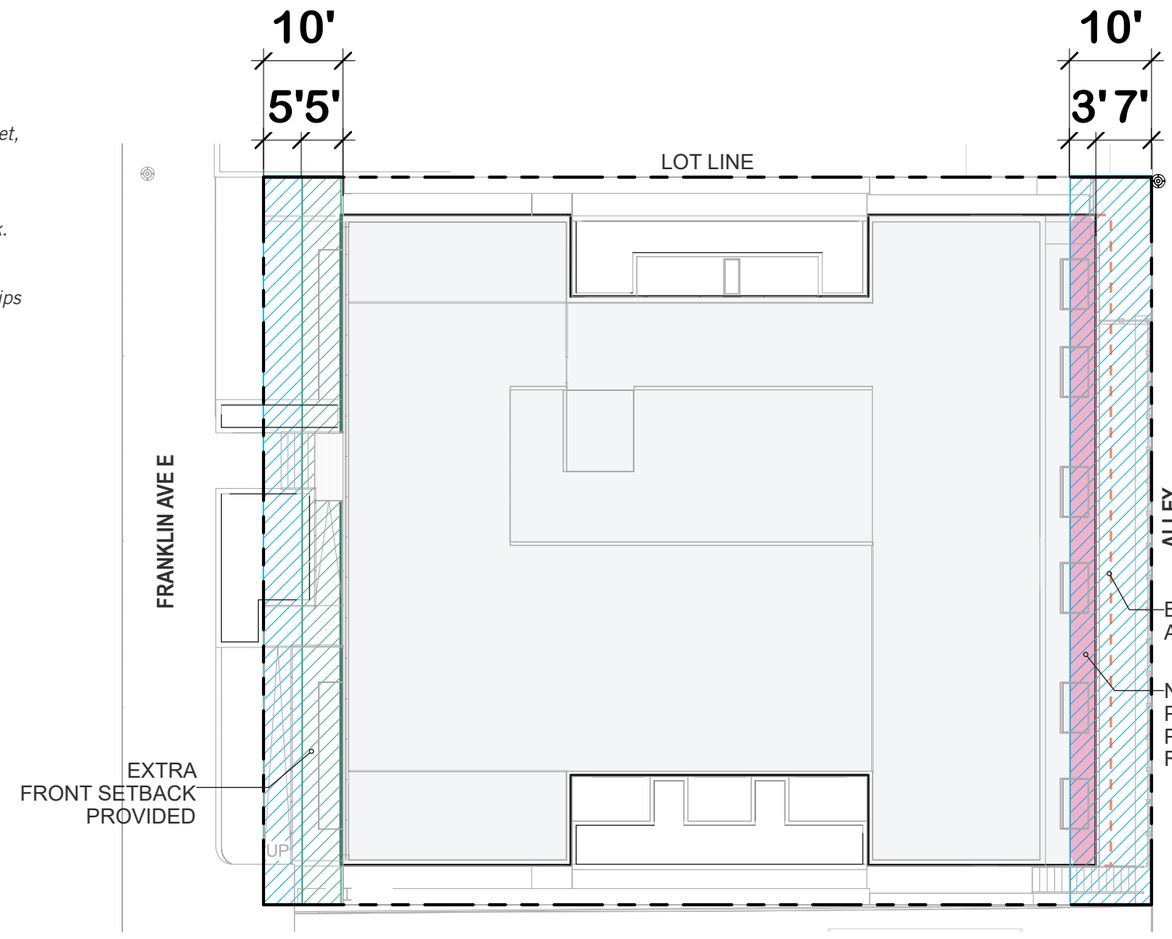
STANDARD
Required rear setbacks in LR zones for apartments with alley:

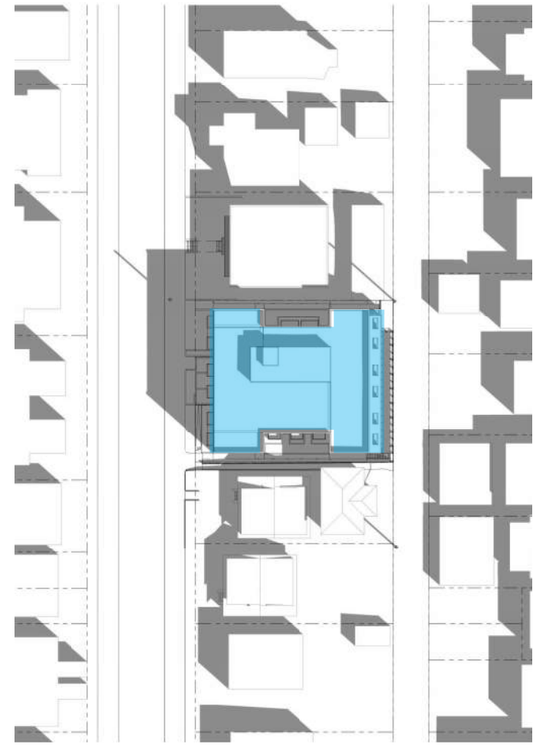
· *10' minimum.*

PROPOSED
Allow a 7' rear setback along the alley, rather than the 10' required, while providing a 10' for front setback along the street, rather than the 5' required.

RATIONALE
The existing streetscape is marked by a generous front setback. By expanding this setback we can help the project to be more compatible with the surrounding pattern of development. By contrast, there are no significant privacy or massing relationships along the alley that are served by a large rear setback.

(CS2.A1 / SENSE OF PLACE;
(CS2.B2 / CONNECTION TO THE STREET).
(CS2.D2 / EXISTING SITE FEATURES).





PROPOSED SCHEME

NORTH FOR ALL PLANS

DEPARTURE REQUESTS
UPPER LEVEL SETBACK

REQUEST #3: 23.45.518.L2
Setback and Separations

STANDARD
In LR zones, a minimum upper-level setback from all street lot lines is required in addition to any required ground-level setback:

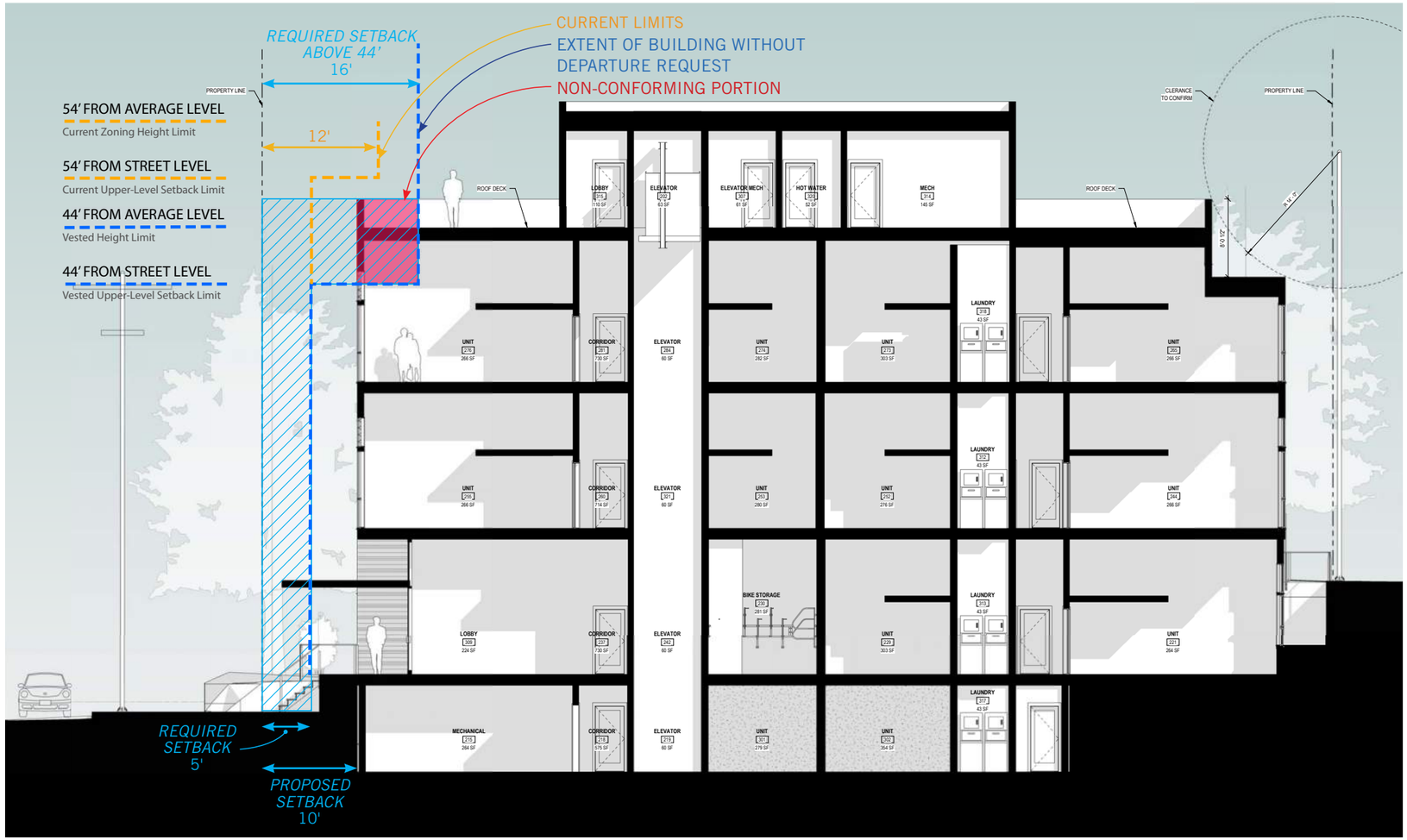
- *For structures with a 40 foot height limit, the upper-level setback requirement is 16 feet above a height of 44 feet.*

PROPOSED
Allow a consistent 10' front setback for the full height of the building.

RATIONALE
Granting this departure would have a minimal effect on to the overall street facade scale but would allow for a more coherent building massing that is in keeping with the simple platonic building forms found throughout the neighborhood. Removal of the upper level setback will also allow for a larger common amenity area on the roof deck.

(DC2.B1 / FACADE COMPOSITION)
(DC3.B1 - MEETING USERS NEEDS)
(DC2.B4 - MULTIFAMILY OPEN SPACE)

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	DEPARTURE AMOUNT	RELATED STANDARDS / GUIDELINES	DESIGN IMPROVEMENTS
SMC 23.45.518.L2 - SETBACK AND SEPARATIONS *In LR zones, a minimum upper-level setback from all street lot lines is required in addition to any required ground-level setback*	*VESTED:* *For structures with a 40 foot height limit, the upper-level setback requirement is 16 feet above a height of 44 feet.* *CURRENT:* *For structures with a 50 foot height limit, the upper-level setback requirement is 12 feet above a height of 54 feet.*	*10'*	*VESTED:* *6'* *CURRENT:* *0'*	*(DC2.B1 / FACADE COMPOSITION)* *(DC3.B1 - MEETING USERS NEEDS)* *(DC2.B4 - MULTIFAMILY OPEN SPACE)*	*Granting this departure would have a minimal effect on to the overall street facade scale but would allow for a more coherent building massing that is in keeping with the simple platonic building forms found throughout the neighborhood. Removal of the upper level setback will also allow for a larger common amenity area on the roof deck.*



PROPOSED SCHEME

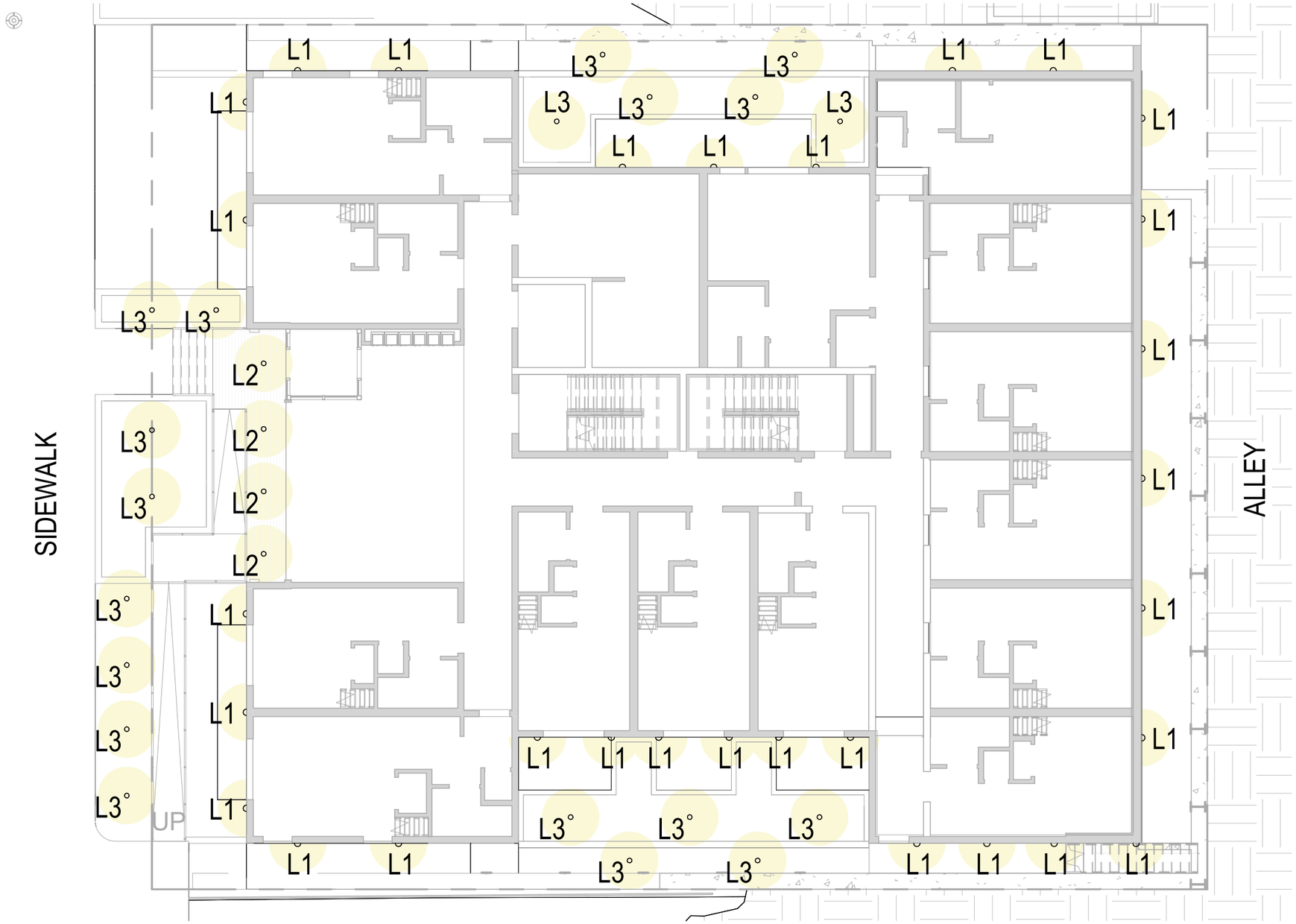
NORTH FOR ALL PLANS

NEIMAN TABER
ARCHITECTURE FOR THE NORTHWEST

L1: Recessed Downlight

L2: Wall Lantern

L3: Landscape Path Light



DESIGN DEVELOPMENT
SHADOW STUDIES