

MATERIAL SCHEDULE							
ID	MATERIAL IMAGE	TYPE AND/OR LOCATION	MANUFACTURER	MODEL NAME	PRODUCT DIMENSIONS	FINISH	NOTES/ DESCRIPTIONS
CEMENT PANEL							
1.		FIBERCEMENT PANEL 01	James Hardie		PANEL SIZE VARIES, USE 10-FOOT SHEET	TEXTURE SMOOTH AND TO BE PAINTED WITH SW 6326 FIREWEED RED OR SIM	ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE.
2.		FIBER CEMENT PANEL 02	James Hardie		4'-0" x 10'-0" PANEL	TEXTURE SMOOTH AND TO BE PAINTED WITH SW 7064 PASSIVE OR SIM	ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE.
3.		FIBER CEMENT PANEL 03	James Hardie		4'-0" x 10'-0" PANEL	TEXTURE SMOOTH AND TO BE PAINTED WITH SW 7069 IRON ORE OR SIM	ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE.
METAL							
5.		CORRUGATED METAL	AEP SPAN	NU-WAVE CORRUGATED METAL	34 2/3" COVERAGE	PREFINISHED, GUN METAL OR SIM	
6.		METAL FLASHING	BY CONTRACTOR	BY CONTRACTOR	NA	PREFINISHED METAL FLASHING BLACK OR SIM	
7.		METAL FLASHING	BY CONTRACTOR	BY CONTRACTOR	NA	PREFINISHED METAL FLASHING SW 7065 ARGOS OR SIM	
8.		METAL FEATURES: HANDRAILS, BALCONIES, AND CANOPIES	BY CONTRACTOR	BY CONTRACTOR	NA	PREFINISHED POWDER COATED METAL FEATURES BLACK OR SIM	
9.		METAL FEATURES: HANDRAILS AND BALCONIES	BY CONTRACTOR	BY CONTRACTOR	NA	PREFINISHED POWDER COATED METAL FEATURES SW 7637 OYSTER OR SIM	
VINYL							
10.		WINDOWS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	BLACK VINYL	REFER TO WINDOW SCHEDULE FOR SPECIFIC LOACTIONS.
11.		WINDOWS	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	WHITE VINYL	REFER TO WINDOW SCHEDULE FOR SPECIFIC LOACTIONS.
WOOD							
4.		VERTICAL LARCH WOOD SIDING	BY CONTRACTOR	BY CONTRACTOR	1" X 5"	SHOU SUGI BAN OR SIMILAR BLACKENED WOOD	MIX OF DEEP CHAR AND SHALLOW CHAR SHOU SUGI BAN
12.		CEDAR TONGUE AND GROOVE SOFFIT	BY CONTRACTOR	BY CONTRACTOR	1" X 6"	CLEAR CEDAR	PROVIDED AT UNDERSIDE OF ROOF DECK AND CANOPY

PRINT IN COLOR

- RENDERED ELEVATION NOTES**
- PROVIDE ALUMINUM GUARDRAIL, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - PROVIDE CANOPY FOR WEATHER PROTECTION, POWDER COATED STEEL BY OTHERS, COORDINATE WITH STRUCTURAL AND PROVIDE SUBMITTAL FOR ARCHITECT AND STRUCTURAL TO REVIEW.
 - PREFABRICATED BOLT-ON ALUMINUM JULIET BALCONY, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - PROVIDE SCUPPER AND DOWNSPOUT TO CONNECT TO BIOPLANTER. REFER TO CIVIL PLANS ON SHEET C3.
 - PROVIDE EXHAUST VENT AT SIDING, SHROUD PAINTED TO MATCH SIDING COLOR, REFER TO DR SHEETS FOR COLOR, TYP.
 - PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F., TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - ROOF PROFILE BEHIND PARAPET.
 - PROJECTED GRADE 4 FEET ABOVE EXISTING/FINISHED GRADE AT FACE OF BUILDING FOR FAR EXEMPTION PER SMC 23.47A.013.B.2
 - PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY, WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F. AS STRUCTURAL BUILDING OVERHANG PER SMC 23.53.035.B. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.

Architect of Record
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 610 2nd Avenue
 Seattle, WA 98104
 206.297.1284
 www.b9architects.com

Project:
2210 Eastlake Avenue E

Location:
 2210 Eastlake Ave E
 Seattle, WA 98102

SDCI Number: 3036179-LU
 6772985-CN

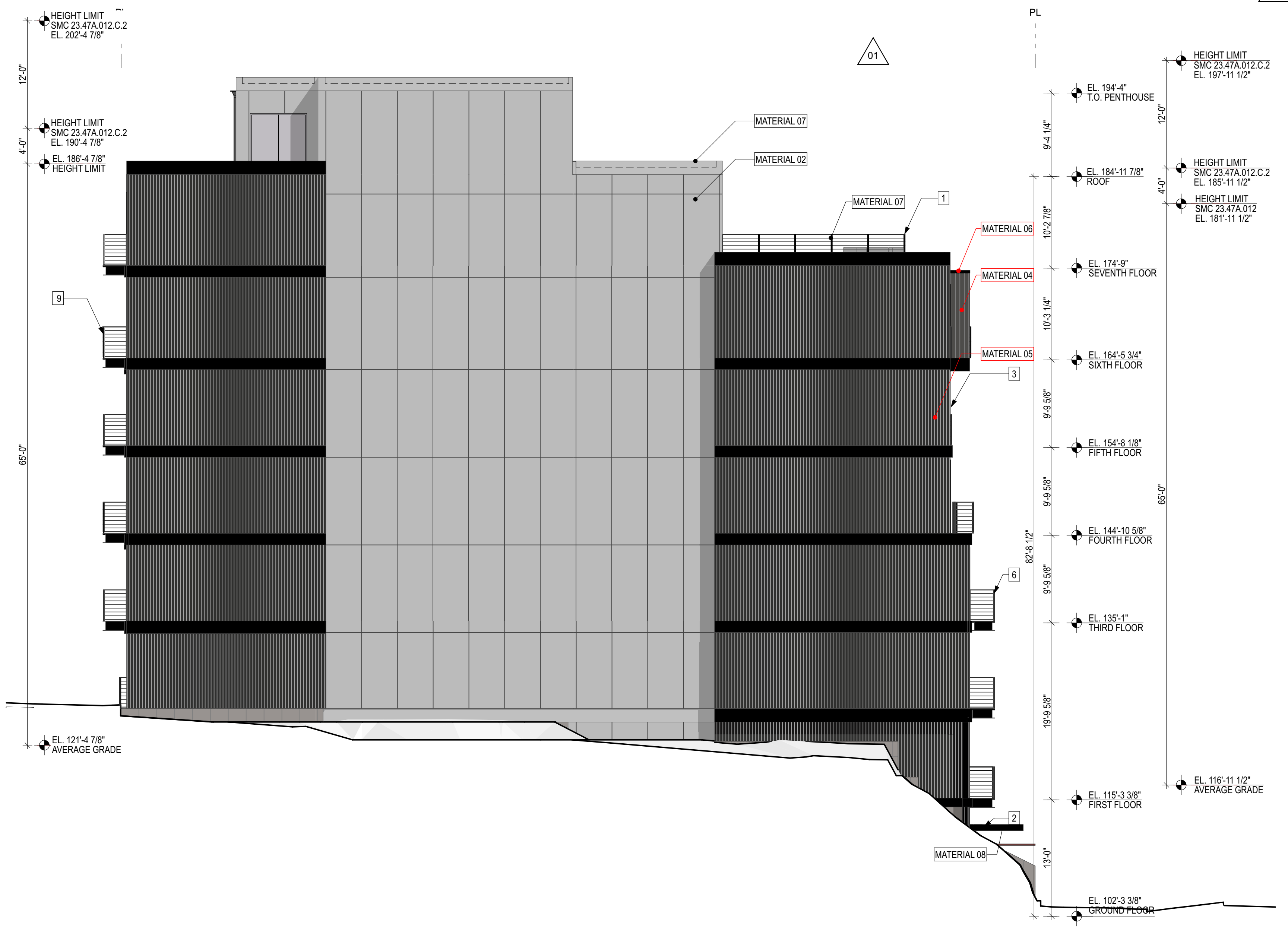
9814 REGISTERED ARCHITECT
Bradley G. Khouri
 BRADLEY G. KHOURI
 STATE OF WASHINGTON
 Professional Stamp

Issue ID	Issue Name	Issue Date
	Master Use Permit	11/17/20
	Building Permit Set	1/15/21
1	MUP CORRECTIONS 1	4/20/21
2	MUP CORRECTIONS 2	7/16/21
3	BP CORRECTIONS 1	9/7/21
4	MUP CORRECTIONS 3	9/27/21

City Stamp

Rendered Elevations

DR.04



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



4 STREET VIEW LOOKING NORTHEAST



3 STREET VIEW LOOKING NORTHEAST



2 ALLEY VIEW LOOKING SOUTHWEST

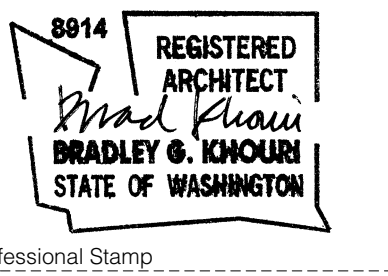


1 STREET VIEW LOOKING EAST

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2210 Eastlake Avenue E

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Response to Guidance

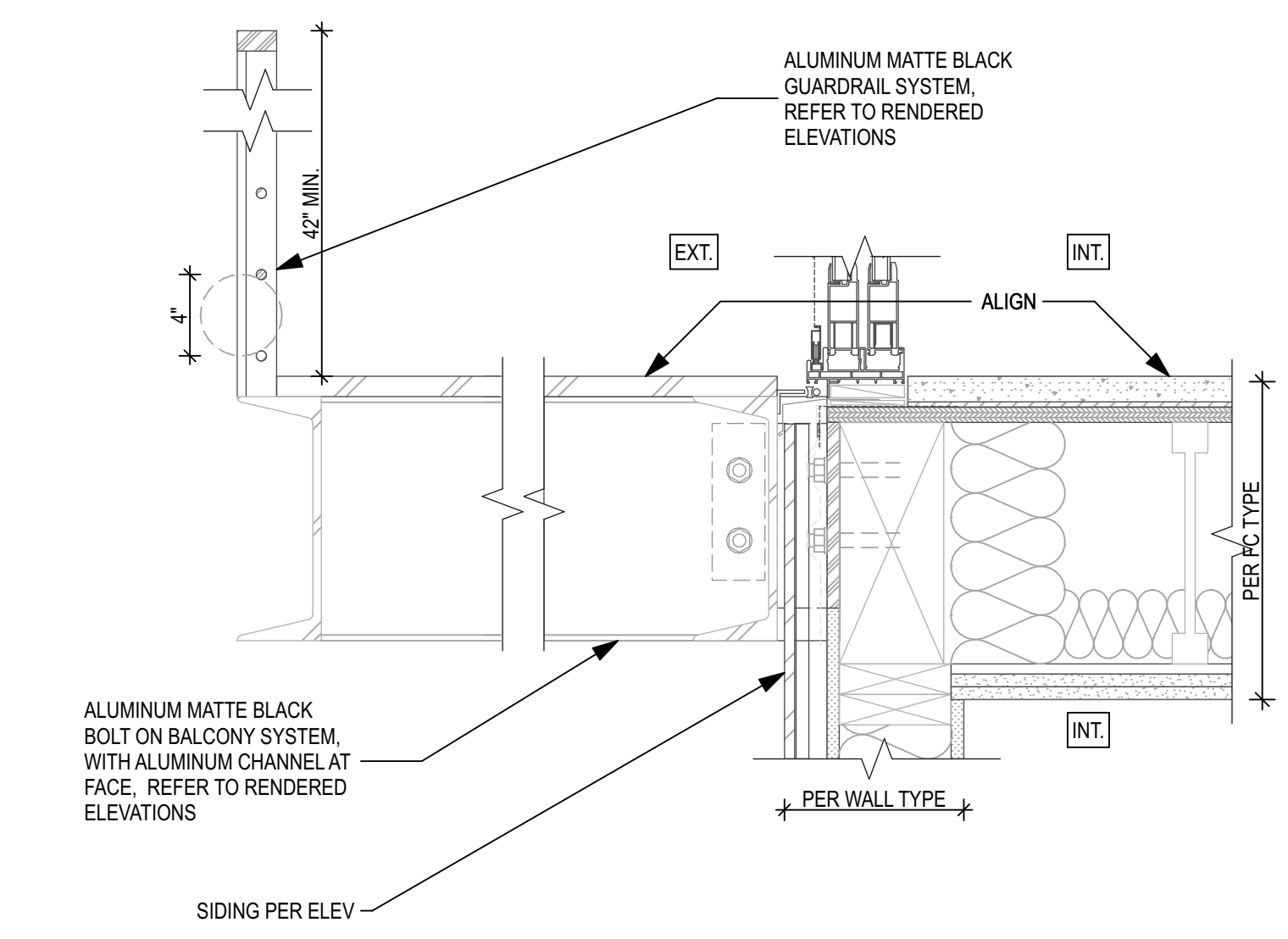
DR.05



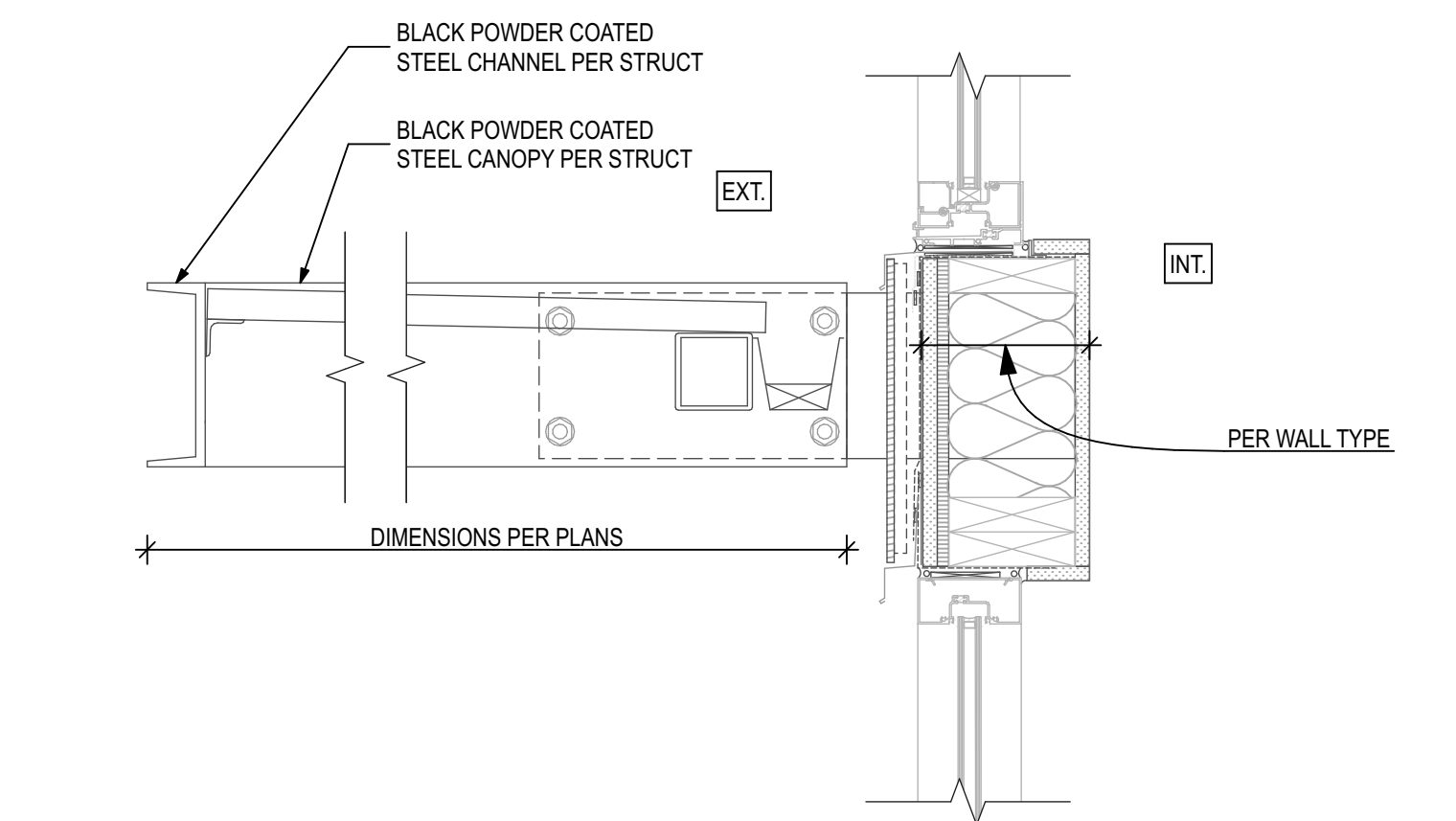
7 PEDESTRIAN VIEW LOOKING SOUTHEAST AT SIGNAGE



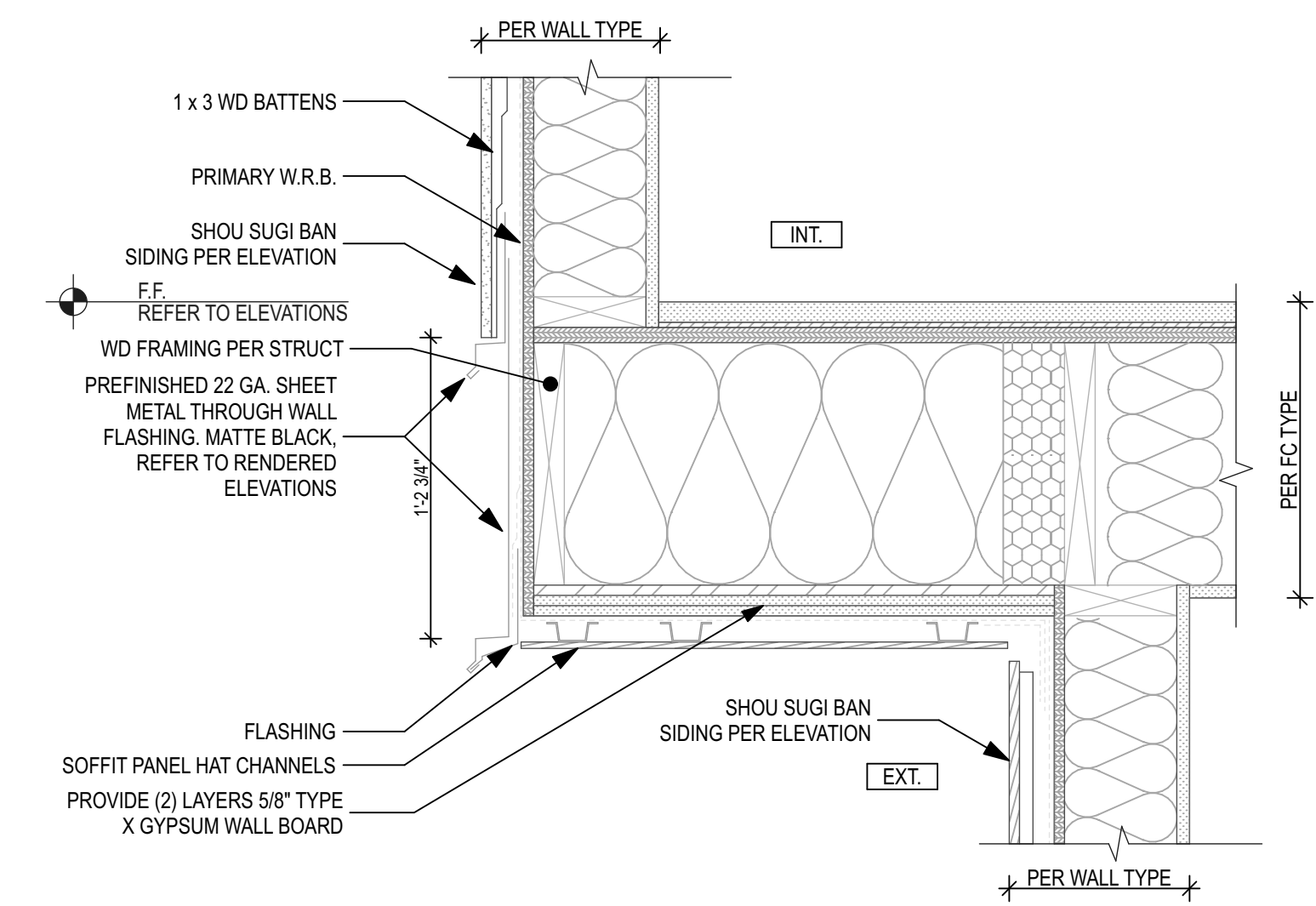
3 PEDESTRIAN VIEW LOOKING NORTHEAST AT SIGNAGE



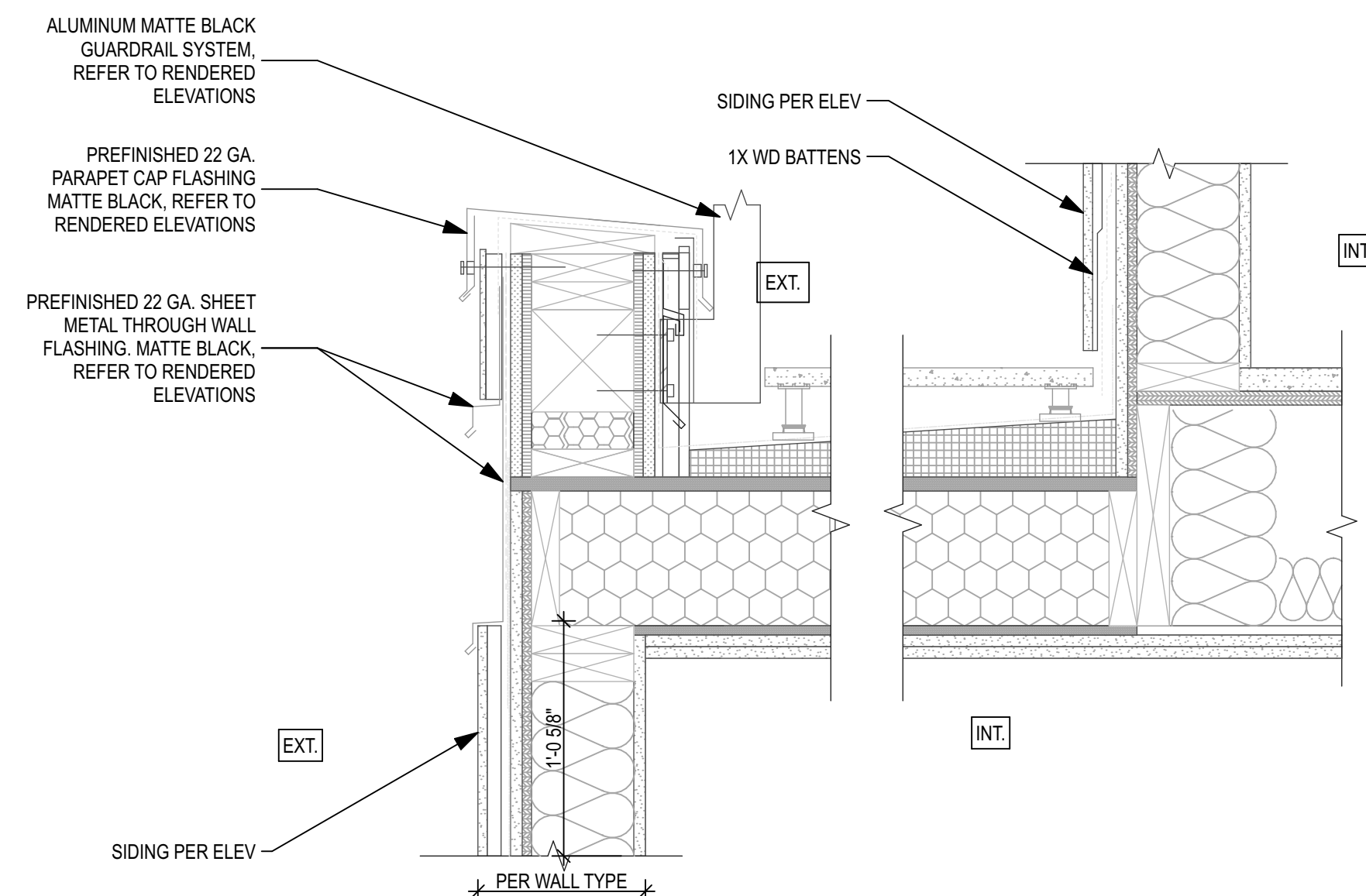
5 BOLT ON ALUMINUM BALCONY DETAIL



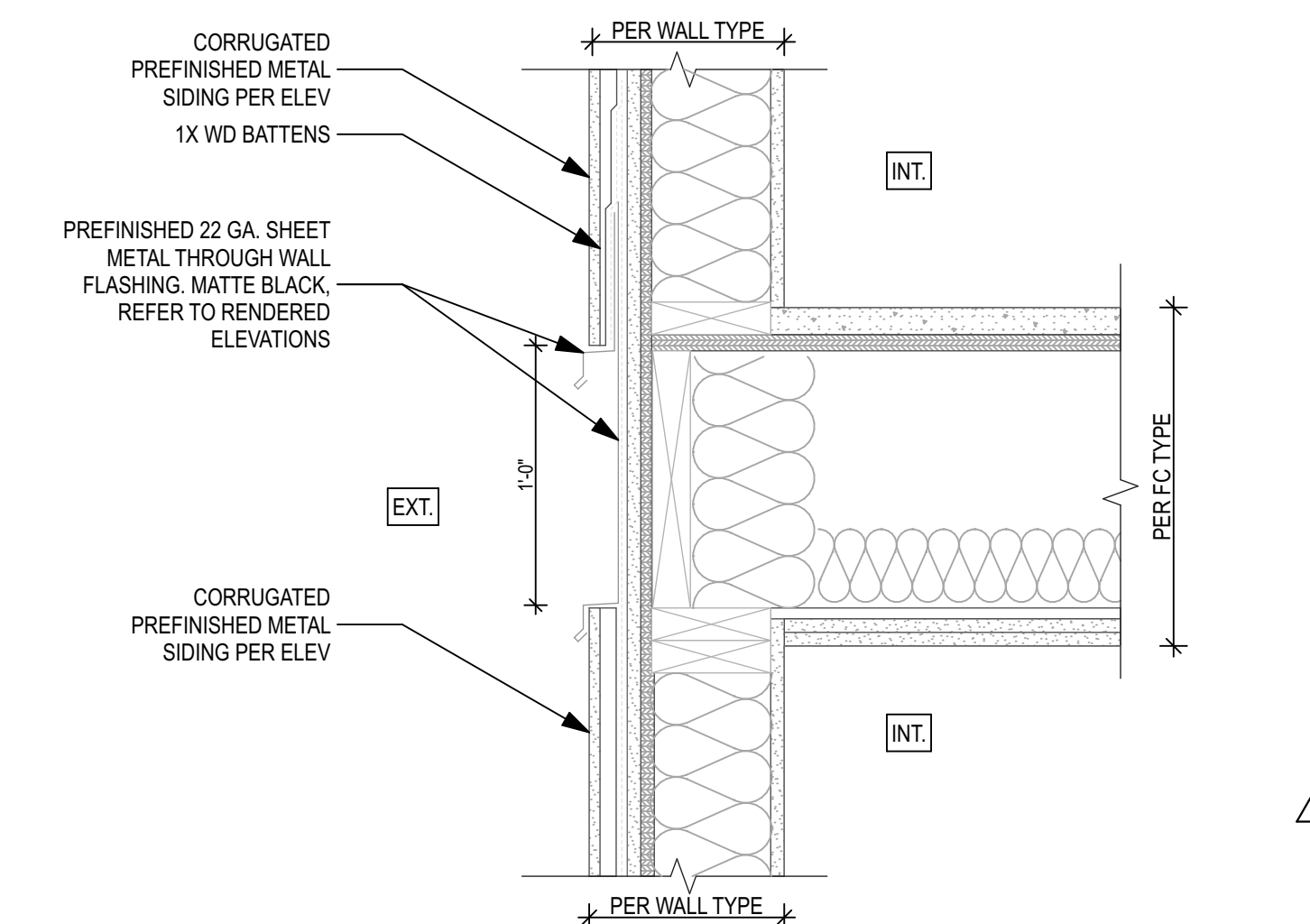
2 DETAIL AT STOREFRONT CANOPY



6 DETAIL AT CANTILEVER



4 DECK AT RECESS DETAIL



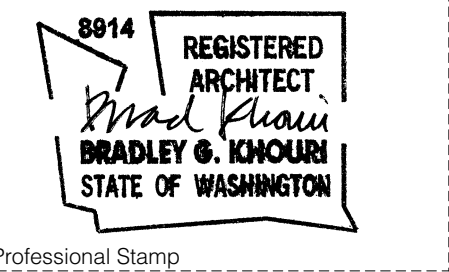
1 MATERIAL TRANSITION AT FLOOR DETAIL

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Issue ID	Issue Name	Issue Date
3	BP CORRECTIONS 1	9/7/21
4	MUP CORRECTIONS 3	9/27/21



Response to Recommendation Conditions
DR.06

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 15, BLOCK 9, GREENE'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2, PAGE 73, RECORDS OF KING COUNTY, WASHINGTON;

EXCEPT THE WEST 7.50 FEET THEREOF CONDEMNED FOR EASTLAKE AVENUE IN KING COUNTY SUPERIOR COURT CAUSE NO. 56815, UNDER ORDINANCE NUMBER 14883 OF THE CITY OF SEATTLE.

BASIS OF BEARINGS

NAD 83(2011) WASHINGTON NORTH STATE PLANE COORDINATES PER GPS OBSERVATIONS

REFERENCES

- R1. RECORD OF SURVEY, VOL. 49, PG. 06, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 122, PG. 188, RECORDS OF KING COUNTY, WASHINGTON.
- R3. SHORT SUBDIVISION NO. 2500310, VOL. 192, PG. 070-073, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88 PER CITY OF SEATTLE BENCHMARK SNV-5095 2" BRASS CAP SET 0.5'N OF MID PT OF CURVE INTX BACK CONC WALK IN THE SW CORNER OF INTX OF EASTLAKE AVE E & E BOSTON ST. ELEV=100.511'

SURVEYOR'S NOTES

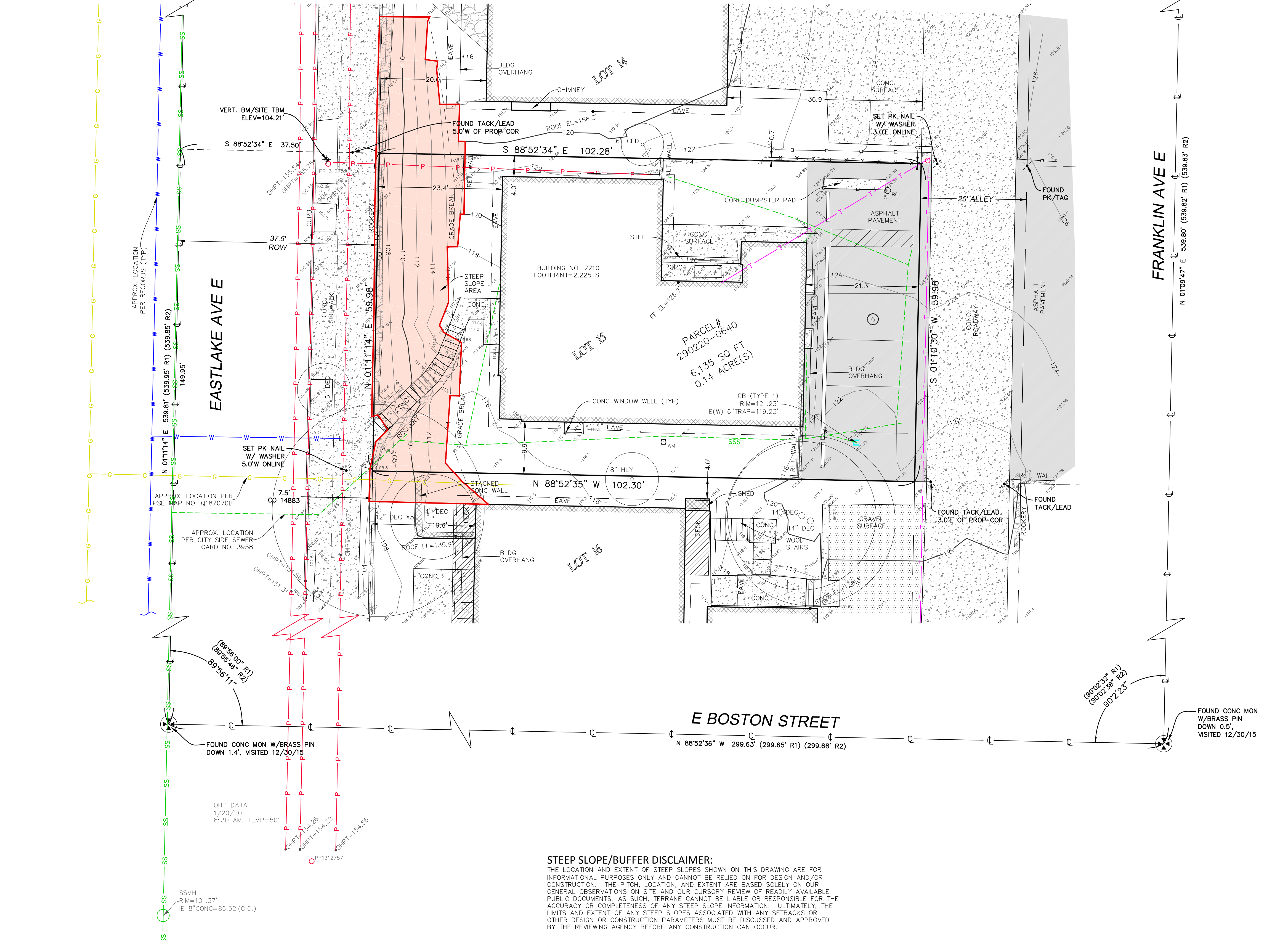
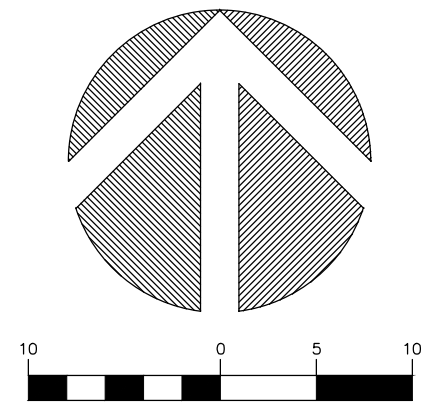
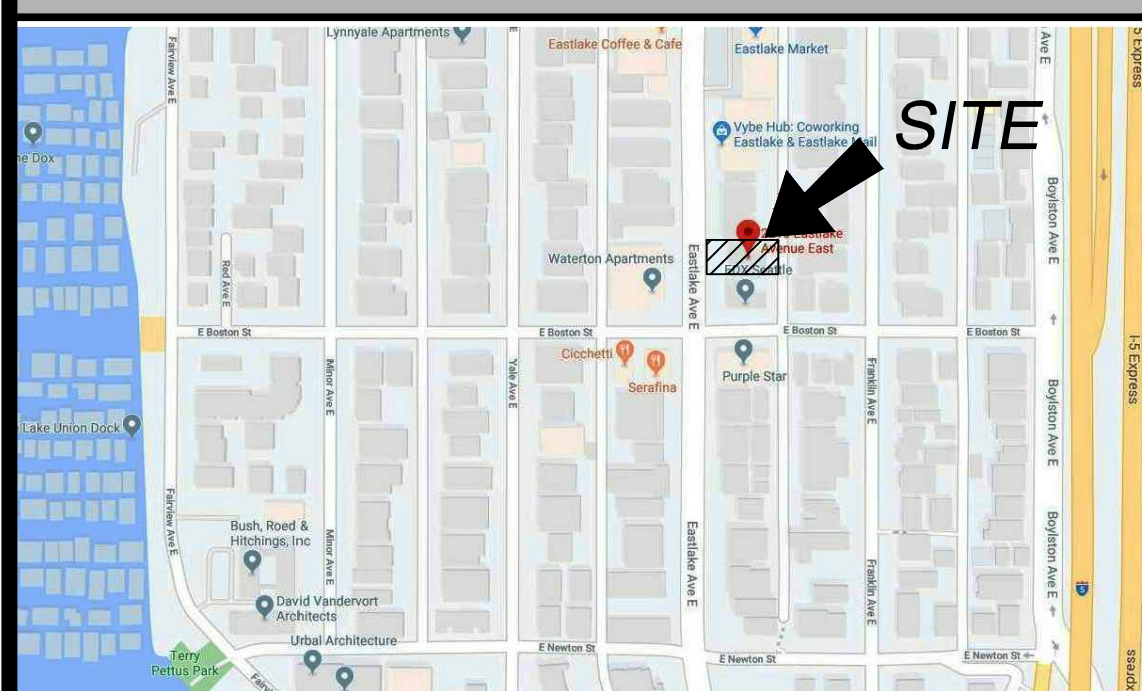
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2020. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 290220-0640
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 6,135 S.F. (0.14 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	BENCHMARK		BUILDING
	ASPHALT SURFACE		C.C.
	BOLLARD		CATCH BASIN
	BUILDING		CEDAR
	CONCRETE SURFACE		CORNER
	CENTERLINE ROW		DECIDUOUS
	RETAINING WALL		ELEVATION
	DECK		FINISH FLOOR
	FENCE LINE (CHAIN LINK)		HOLY
	FENCE LINE (WOOD)		MONUMENT
	GAS LINE		OVERHEAD POWER
	GRAVEL SURFACE		PROPERTY
	MONUMENT IN CASE (FOUND)		RECORD DATA
	NAIL AS NOTED		SANITARY SEWER MANHOLE
	POWER (OVERHEAD)		SANITARY SIDE SEWER
	POWER POLE		SQUARE FEET
	PRIVATE INLET		
	ROCKERY		
	SEWER LINE		
	SEWER MANHOLE		
	STEEP SLOPE AREA		
	TELEPHONE (OVERHEAD)		
	TREE (AS NOTED)		
	WATER LINE		
	WATER METER		
	PARKING SPACES		

VICINITY MAP

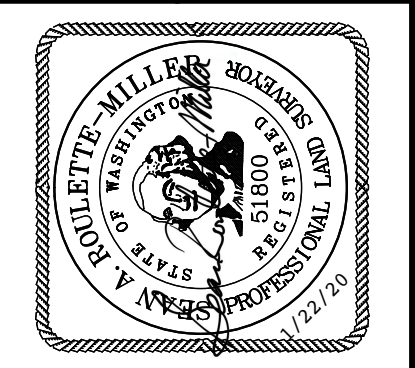
N.T.S.



STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

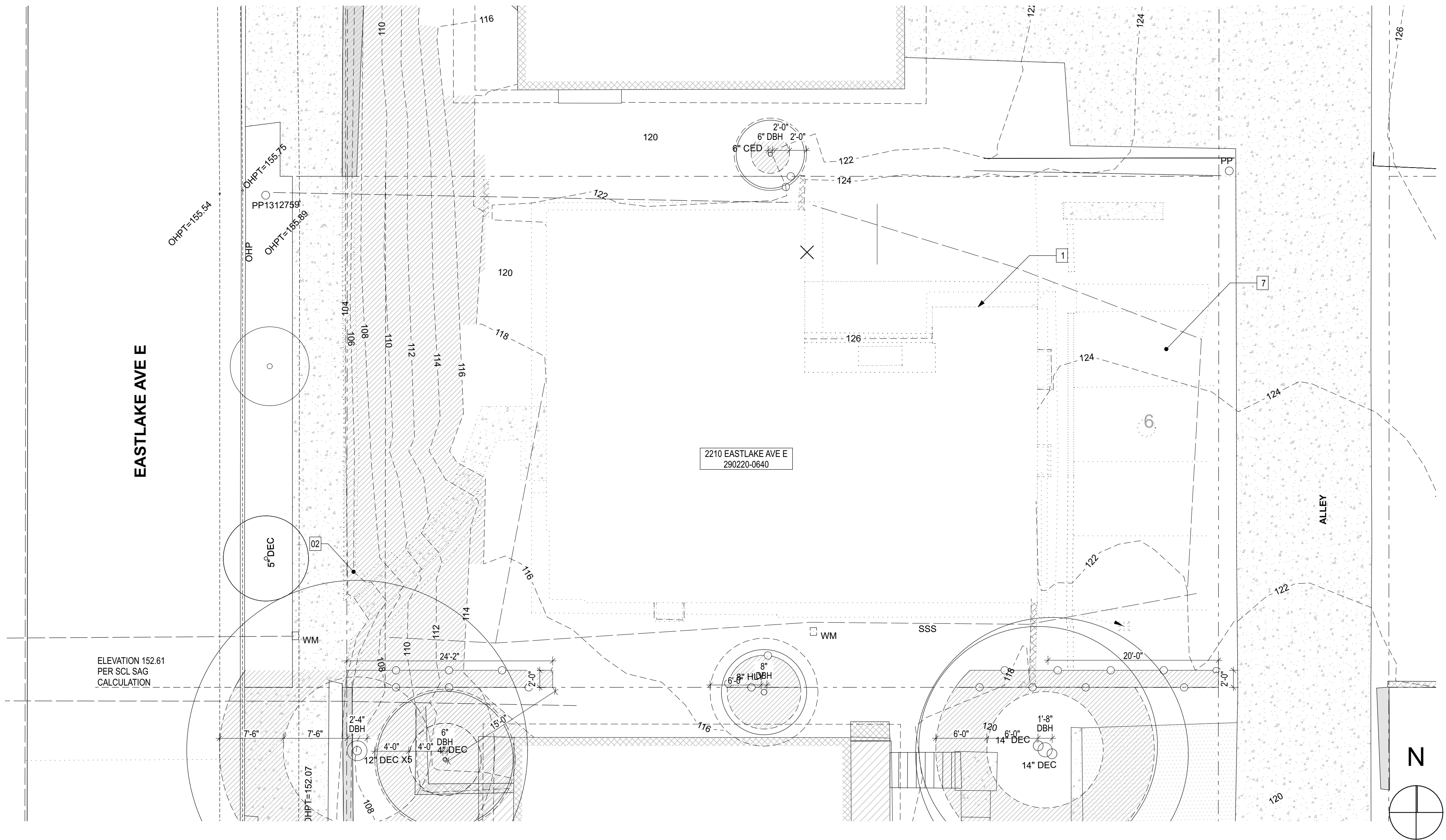
measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 NE 1/4 OF SW 1/4 SEC 20, TWP. 25N., RGE 12E., W.1.M.
 PARCEL NO. 290220-0640
COHEN PROPERTIES
 2210 EASTLAKE AVE E
 SEATTLE, WA 98102



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4498 support@terrane.net
 www.terrane.net

JOB NUMBER:	192397
DATE:	1/22/20
DRAFTED BY:	TLR
CHECKED BY:	SRM
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	
1 OF 1	



NO GROUND DISTURBANCE ASSOCIATED WITH THIS STFI DEMOLITION PERMIT.

PROJECT INFORMATION

ADDRESS 2210 EASTLAKE AVE E
SEATTLE WA 98102

OWNER EASTLAKE PARTNERS LLC
713 N 43RD STREET
SEATTLE WA 98103

ARCHITECT B9 ARCHITECTS
610 2ND AVE
SEATTLE WA 98104

STRUCTURAL ENGINEER MALSAM TSANG STRUCTURAL ENGINEERING
122 S JACKSON ST #210
SEATTLE WA 98104

CIVIL ENGINEER BLUELINE GROUP
25 CENTRAL WAY
KIRKLAND WA 98033

LANDSCAPE ARCHITECT ROOT OF DESIGN
P.O. BOX 232
STANWOOD WA 98292

LEGAL DESCRIPTION LOT 15, BLOCK 9, GREENE'S ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2, PAGE 73, RECORDS OF KING COUNTY, WASHINGTON:

EXCEPT THE WEST 7.50 FEET THEREOF CONDEMNED FOR EASTLAKE AVENUE IN KING COUNTY SUPERIOR COURT CASE NO. 56815, UNDER ORDINANCE NUMBER 148830F OF THE CITY OF SEATTLE.

KING COUNTY APN # 290220-0640

SDCI PROJECT # 3036179-LU
6772985-CN
6842371-DM

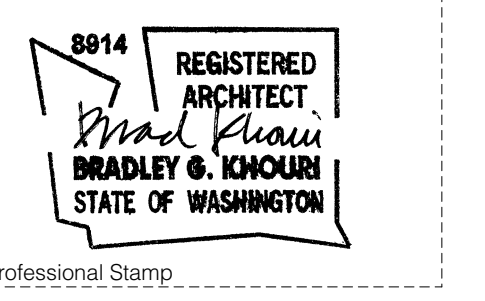
Architect of Record

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610 2nd Avenue
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Project:
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Location:
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Seattle, WA 98102

SDCI Number: 3036179-LU
6772985-CN



BASIC ZONING INFORMATION

ZONE NC2-65 (M2)

URBAN CENTER EASTLAKE RESIDENTIAL URBAN VILLAGE

LOT SIZE 6,135 SF

FAR SMC 23.47A.013 NC2-65 (M2) : 4.5, OUTSIDE OF STATION OVERLAY

ALLOWABLE FAR AREA: 6,135 SF X 4.5 = 27,607 SF

HEIGHT SMC 23.47A.012 65'-0" BASE HEIGHT

SETBACKS SMC 23.47A.014.B AN UPPER-LEVEL SETBACK IS REQUIRED ALONG ANY REAR OR SIDE LOT LINE THAT ABUTS A LOT IN AN LR, MR, OR HR ZONE OR THAT ABUTS A LOT THAT IS ZONED BOTH COMMERCIAL AND LR, MR, OR HR IF THE COMMERCIAL ZONED PORTION OF THE ABUTTING LOT IS LESS THAN 50 PERCENT OF THE WIDTH OR DEPTH OF THE LOT

AMENITY AREA SMC 23.47A.024 5% OF TOTAL GROSS FLOOR AREA, AMENITY AREAS SHALL NOT BE ENCLOSED

PARKING SMC 23.54.015 EXISTING 6
REQUIRED 0
PROPOSED 0

FREQUENT TRANSIT CORRIDOR YES

DESIGN REVIEW SMC 23.41.004 TABLE A.B ADMINISTRATIVE DESIGN REVIEW

PROJECT DESCRIPTION: CONSTRUCT A RESIDENTIAL APARTMENT STRUCTURE WITH 8 STORIES ABOVE STREET LEVEL. THE STRUCTURE WILL HAVE (58) RESIDENTIAL UNITS AND (1) COMMERCIAL SPACE AT SIDEWALK LEVEL. THE EXISTING STRUCTURE WILL BE DEMOLISHED.

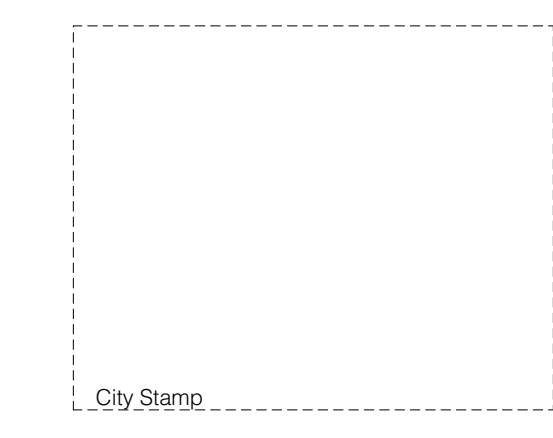
ACCESS: SMC 23.53; SMC 23.47A.032 EASTLAKE AVENUE E
ALLEY CONNECTING FROM E BOSTON ST

APPLICABLE CODES SEATTLE LAND USE CODE
2015 SEATTLE BUILDING CODE
2015 WASHINGTON STATE ENERGY CODE

DEMO PLAN NOTES

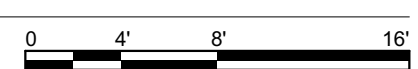
- EXISTING STRUCTURE TO BE DEMOLISHED.
- EXISTING ROCKERY AND STAIRS TO BE DEMOLISHED.
- NO GROUND DISTURBANCE IS PROPOSED UNDER THIS DEMOLITION PERMIT.
- DRAINAGE REVIEW IS CONCURRENT WITH THE BUILDING PERMIT UNDER RECORD #6772985-CN.
- SUBSURFACE EXCAVATION IS PROPOSED AS PART OF THE BUILDING PERMIT UNDER RECORD #6772985-CN.
- BELOW GRADE FOUNDATION AND SLAB TO REMAIN UNTIL CONSTRUCTION PERMIT IS ISSUED.
- EXISTING ASPHALT PAVEMENT AREA AT ALLEY TO REMAIN.

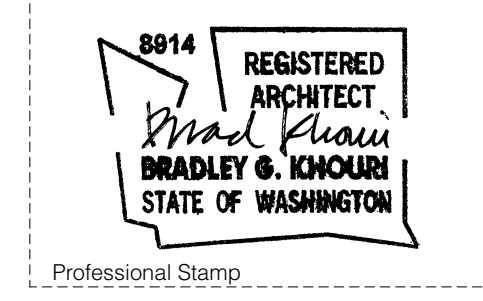
Issue ID	Issue Name	Issue Date
	Master Use Permit	11/17/20
	Building Permit Set	1/15/21
1	MUP CORRECTIONS 1	4/20/21
2	MUP CORRECTIONS 2	7/16/21
3	BP CORRECTIONS 1	9/7/21
4	MUP CORRECTIONS 3	9/27/21



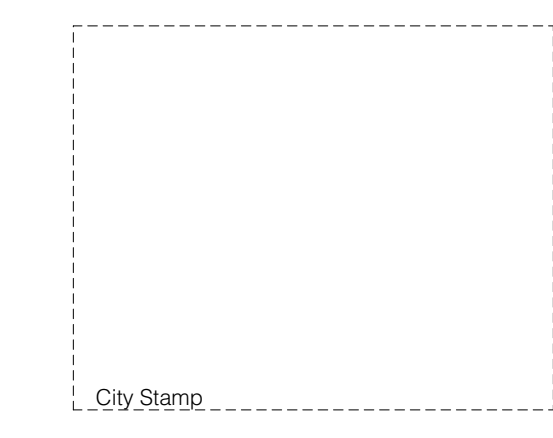
Demolition Plan

A1.01

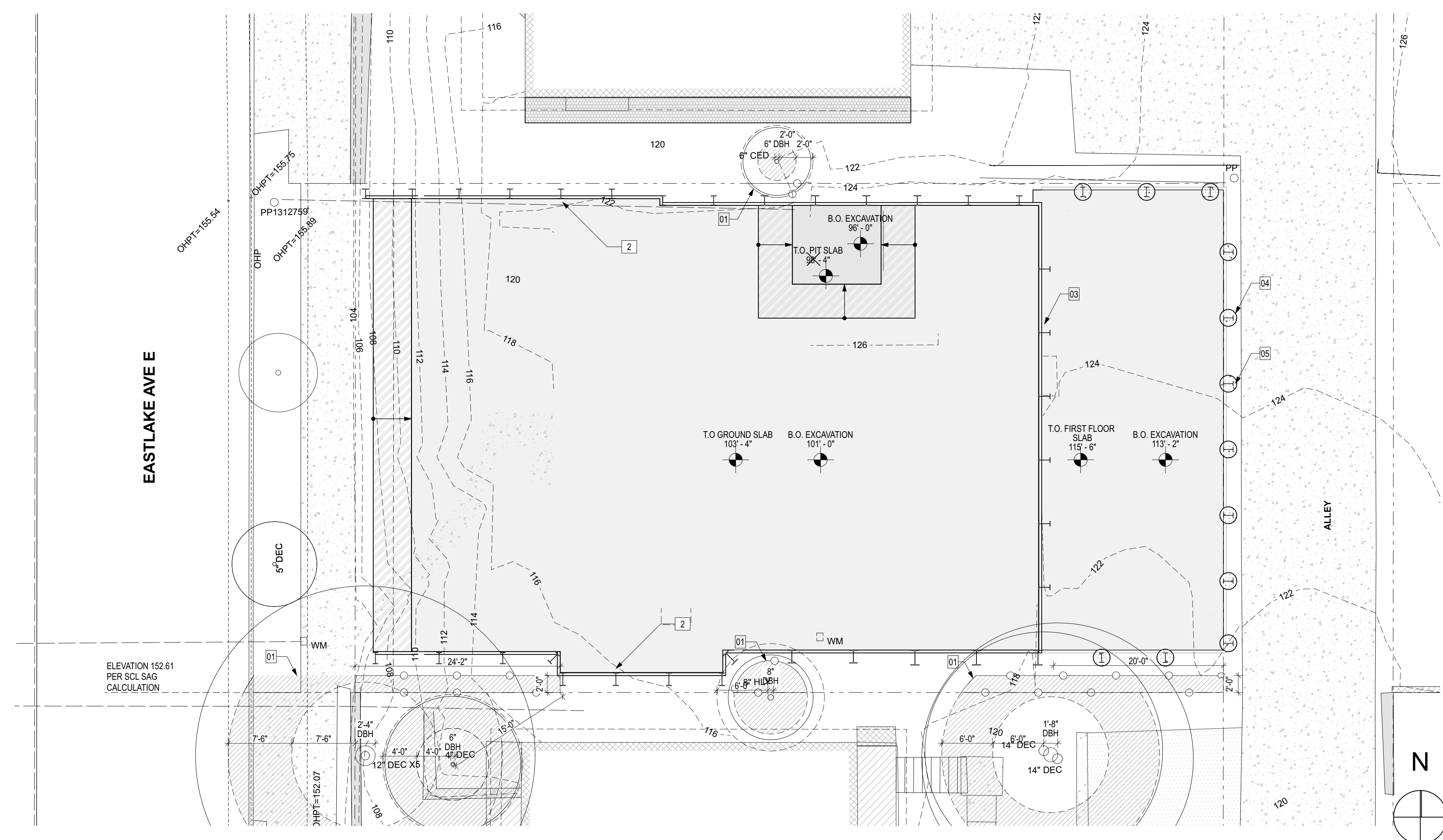
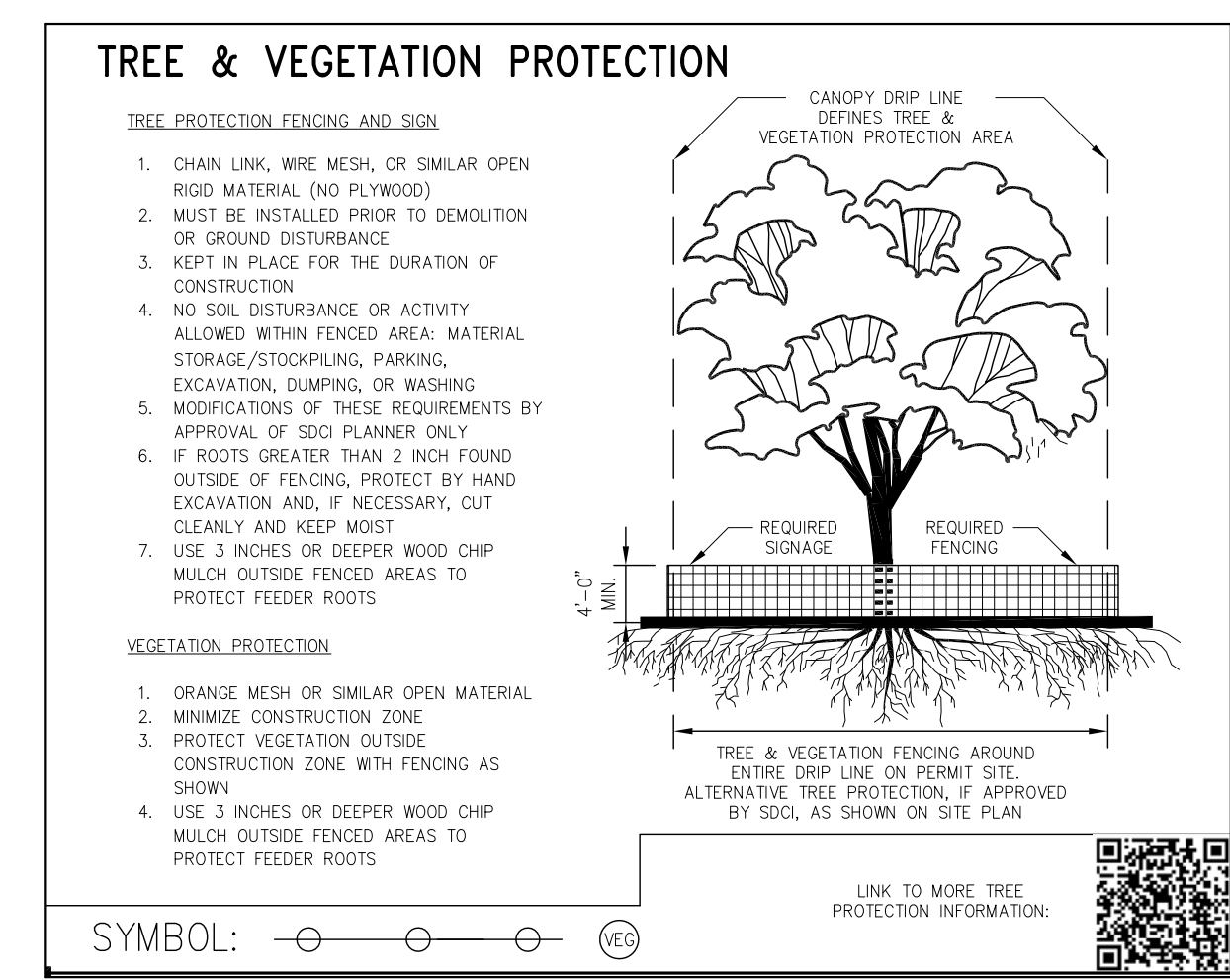
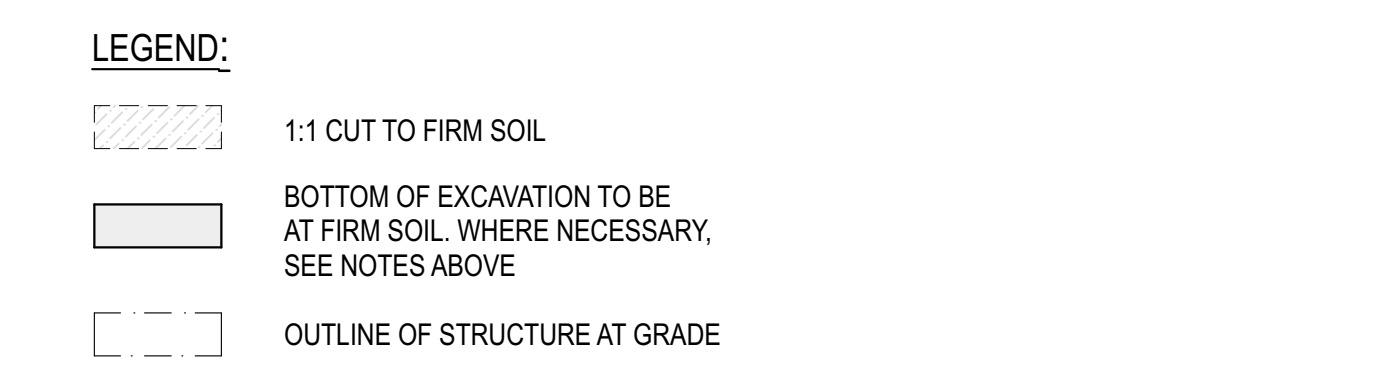




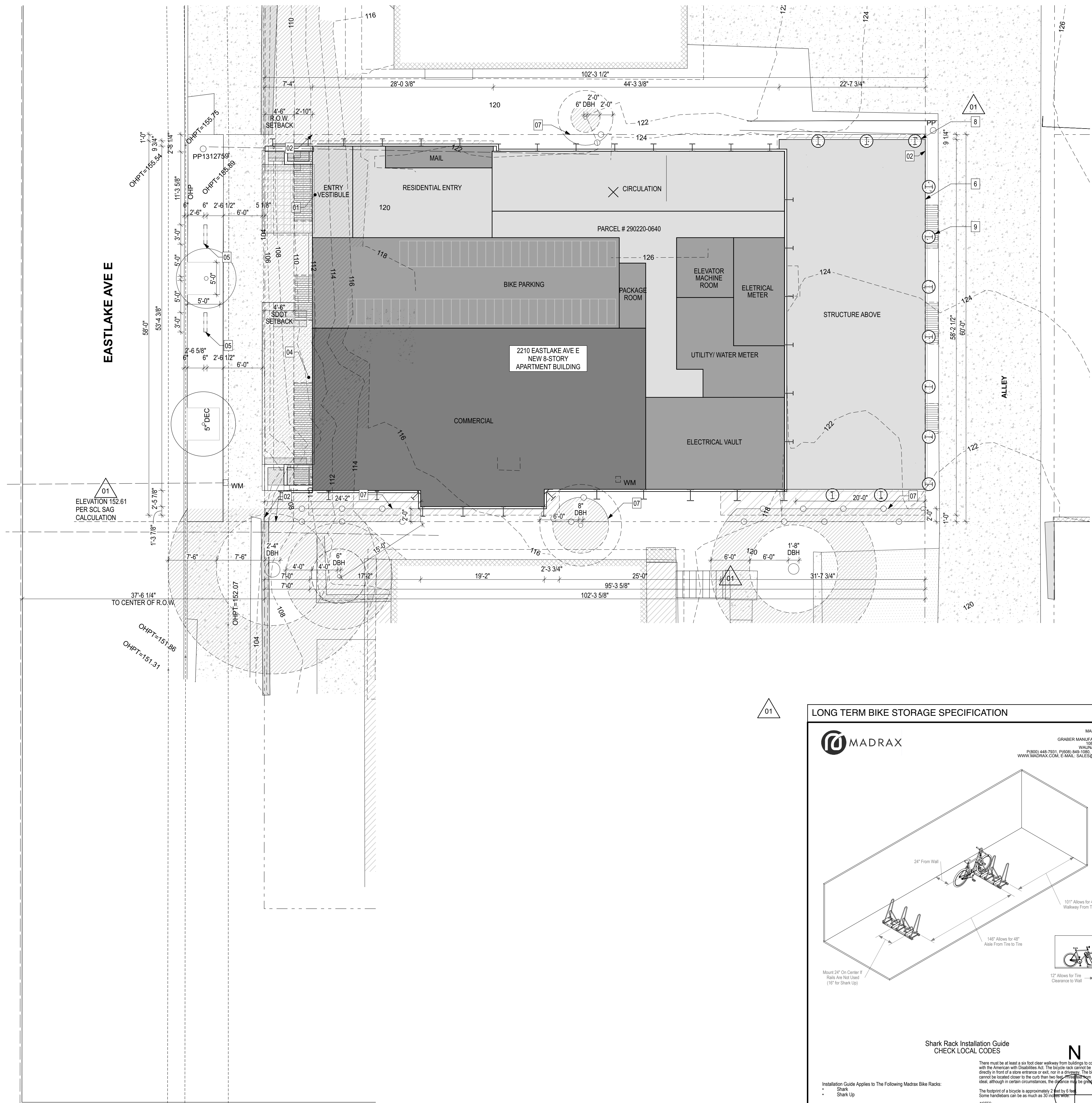
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5	SDOT Shoring PSM Permit	9/8/21



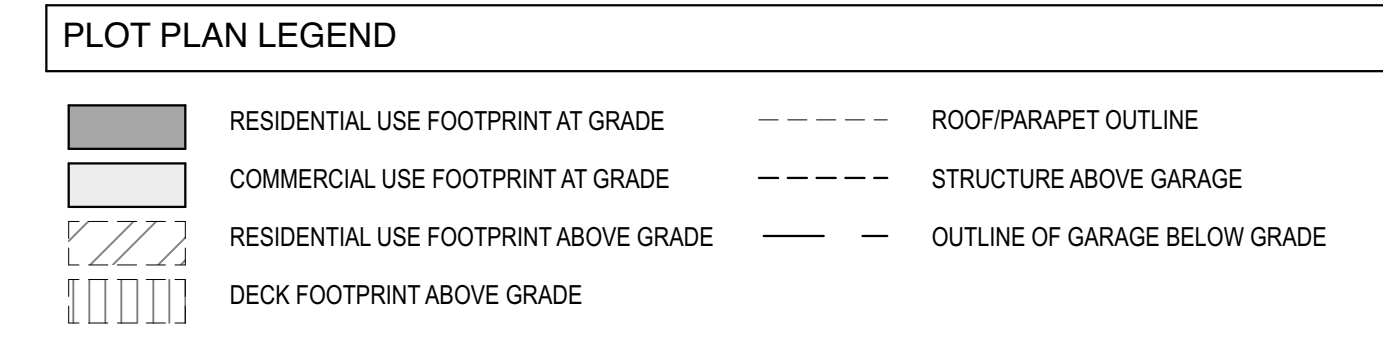
- EXCAVATION PLAN NOTES**
- TREE PROTECTION FENCING, REFER TO ARBORIST REPORT ON SHEET A0.16
 - SOLDIER PILE SHORING AT PROPERTY LINE EXCAVATION, REFER TO STRUCTURAL DRAWINGS
 - SOLDIER PILE SHORING AT STEP IN BOTTOM OF EXCAVATION, REFER TO STRUCTURAL DRAWINGS
 - SOLDIER PILE SHORING AT ALLEY PROPERTY LINE, LOCATED IN RIGHT OF WAY, CUT TOP PER SDOT STANDARDS
 - PROPOSED SHORING WITHIN R.O.W. UNDER SEPARATE SDOT PSM PERMIT, SUPSM0007756.
 - ALL SHORING ELEMENTS IN THE R.O.W. SHALL BE REMOVED TO A DEPTH OF AT LEAST 4 FEET BELOW FINISHED GRADE IN THE T.O.W. ONCE THEY ARE NO LONGER NEEDED FOR CONSTRUCTION.
- EXCAVATION PLAN LEGEND**



1 EXCAVATION PLAN
 SCALE: 1/8" = 1'-0"



- ### PLOT PLAN NOTES
- RESIDENTIAL ENTRY
 - EXISTING PROPERTY LINE
 - NOT USED
 - COMMERCIAL ENTRY
 - SHORT TERM BICYCLE PARKING PER SMC 23.54.015.D.2
 - SOLID WASTE TO BE COLLECTED FROM INTERNAL SOLID WASTE STORAGE ROOM
 - TREE PROTECTION FENCE PER ARBORIST REPORT, REFER TO SHEET A0.16
 - PROVIDE SOLDIER PILE SHORING ON SITE FOR VERTICAL EXCAVATION, REFER TO A1.02 AND STRUCTURAL DRAWINGS
 - PROVIDE SOLDIER PILE SHORING IN ALLEY R.O.W. FOR VERTICAL EXCAVATION, REFER TO STRUCTURAL DRAWINGS, SEPARATE SDOT PSM PERMIT REQUIRED, REFER TO A1.02 AND STRUCTURAL DRAWINGS



BICYCLE STORAGE REQUIREMENTS

TABLE D FOR SMC 23.54.015.D.2 MULTI-FAMILY STRUCTURES
 LONG TERM BICYCLE PARKING: 1 PER DWELLING UNIT AND 1 PER SMALL EFFICIENCY DWELLING UNIT
 FOOTNOTE 3: FOR RESIDENTIAL USES, AFTER THE FIRST 50 SPACES FOR BICYCLES ARE PROVIDED, ADDITIONAL SPACES ARE REQUIRED AT THREE-QUARTERS THE RATIO SHOWN IN THIS TABLE D

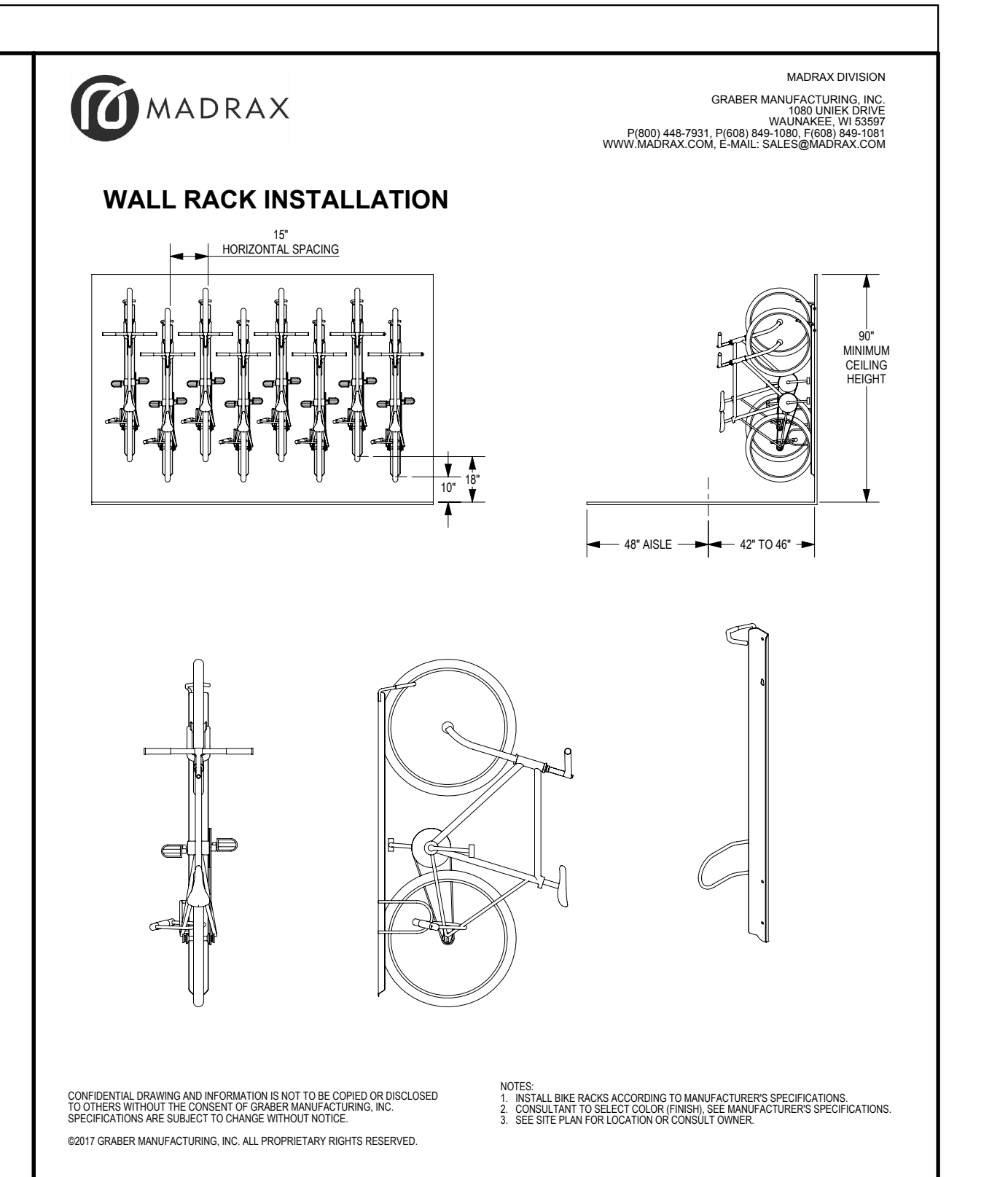
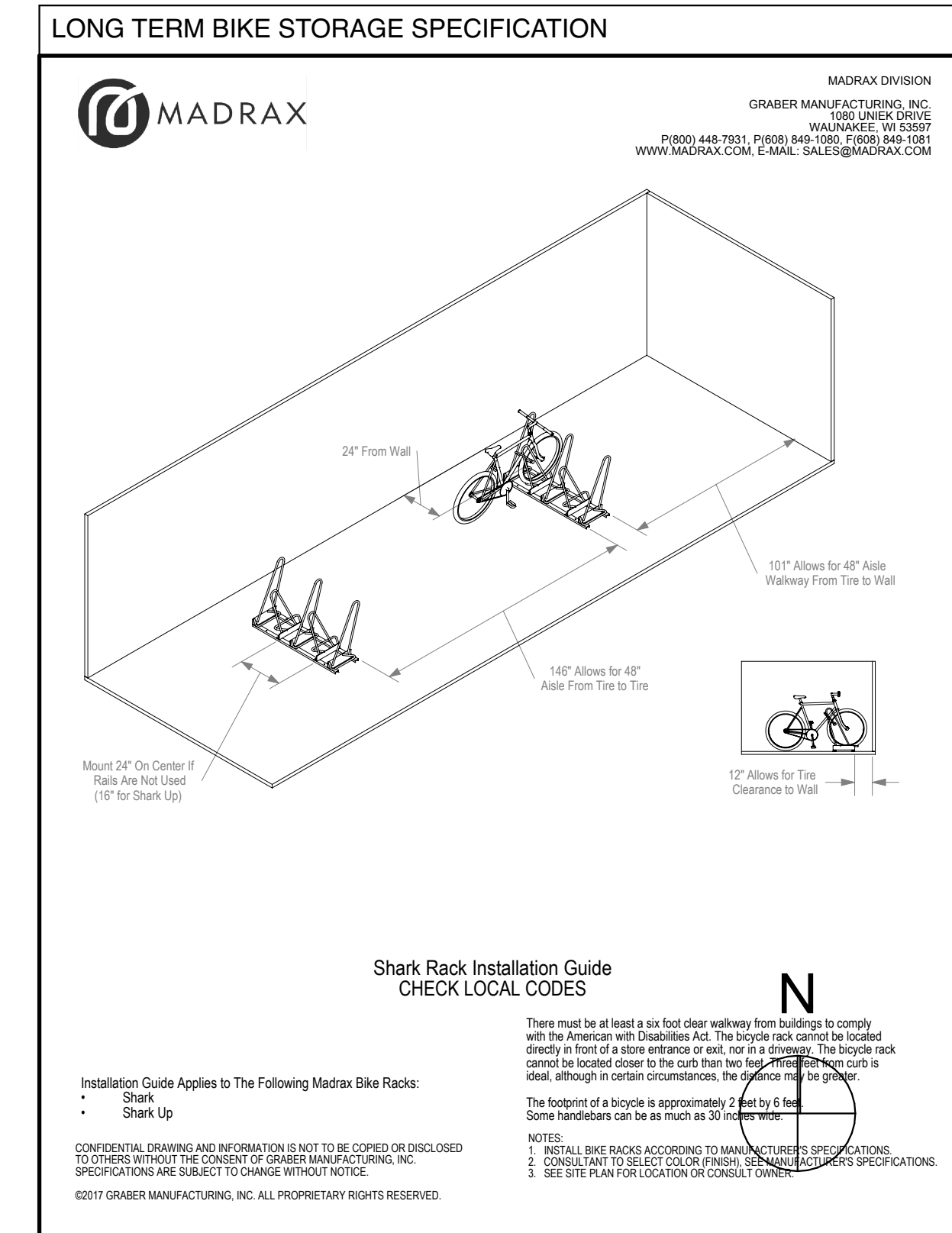
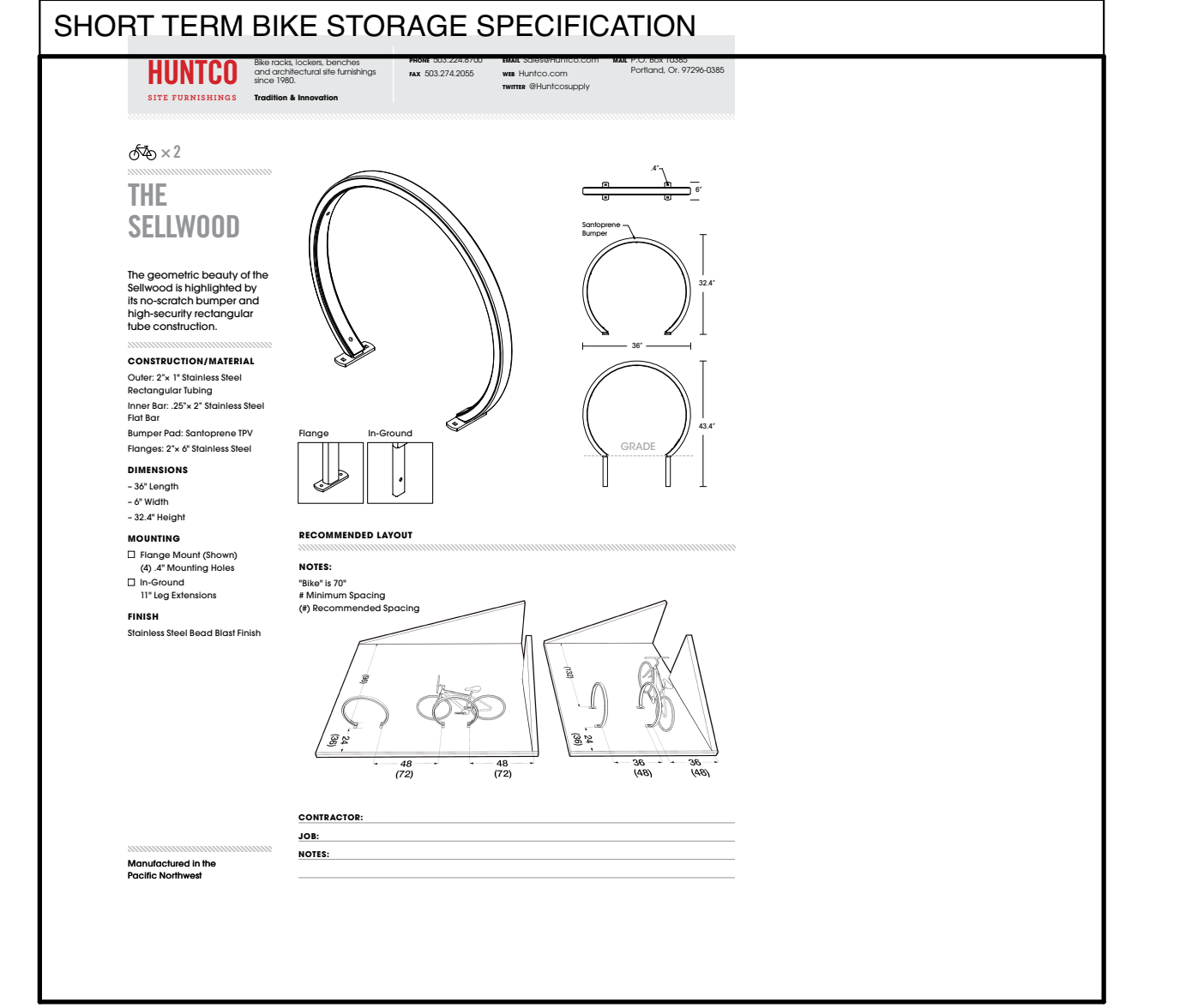
57 DWELLING UNITS = 50 + (34 X 7) = 50 + 5.25 = 55.25 LONG TERM BICYCLE PARKING STALLS REQUIRED

PROPOSED: 56 LONG TERM BICYCLE PARKING STALLS

SHORT TERM PARKING: 1 PER 20 DWELLING UNITS

57 DWELLING UNITS / 20 DWELLING UNITS = 3 SHORT TERM STALLS

TOTAL PROPOSED: 59 BICYCLE PARKING STALLS



Architect of Record

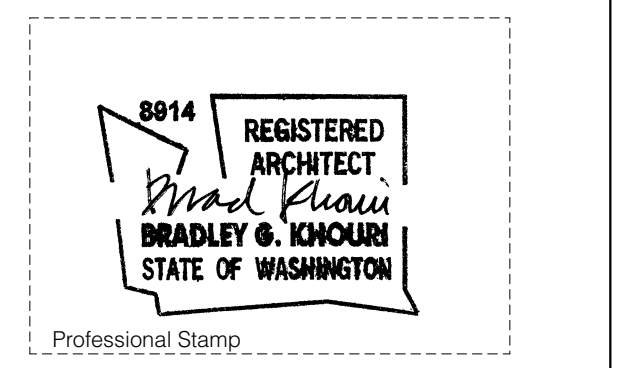
b9 architects

610 2nd Avenue
 Seattle, WA 98104
 206.297.1284
 www.b9architects.com

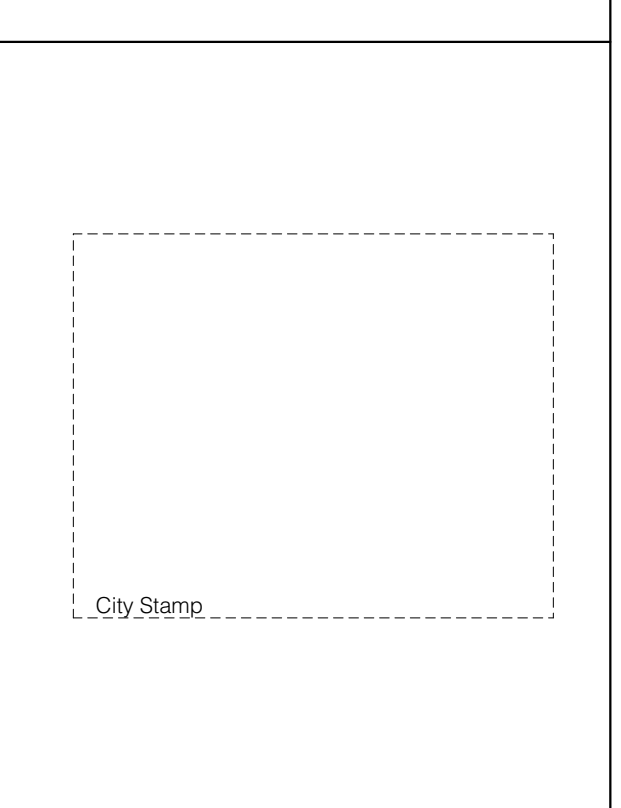
Project:
2210 Eastlake Avenue E

Location:
 2210 Eastlake Ave E
 Seattle, WA 98102

SDCI Number: 3036179-LU
 6772985-CN



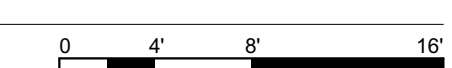
Issue ID	Issue Name	Issue Date
	Master Use Permit	11/17/20
	Building Permit Set	1/15/21
1	MUP CORRECTIONS 1	4/20/21
2	MUP CORRECTIONS 2	7/16/21
3	BP CORRECTIONS 1	9/7/21
4	MUP CORRECTIONS 3	9/27/21
5	SDOT Shoring PSM Permit	9/8/21

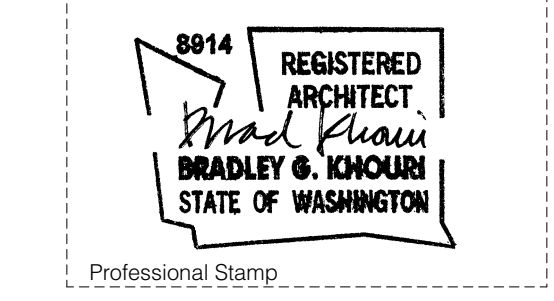


Plot Plan

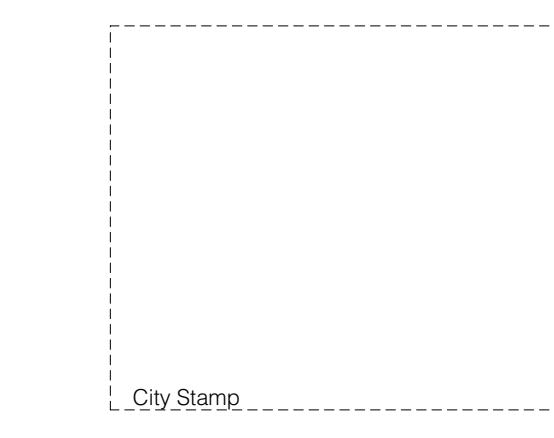
A1.10

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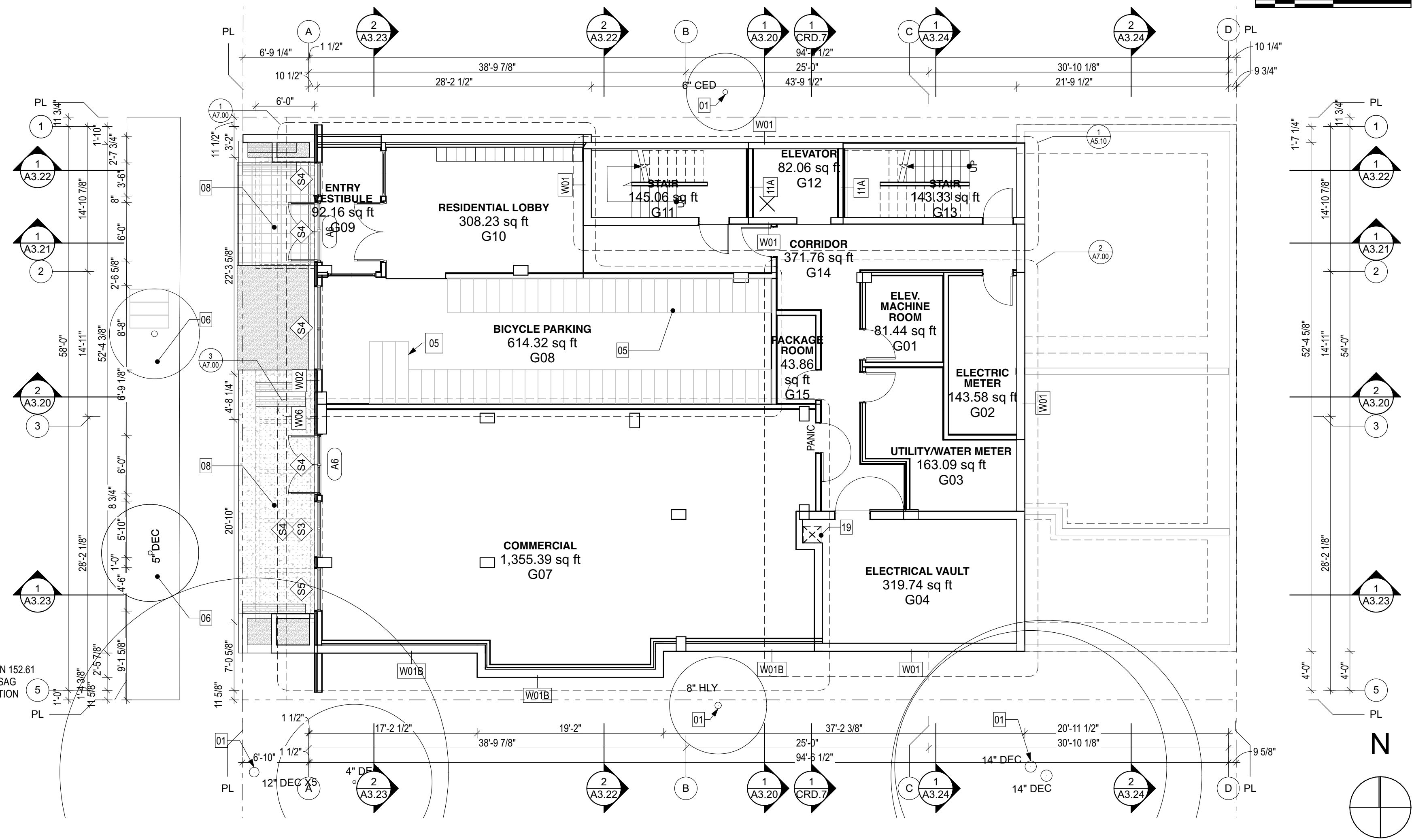
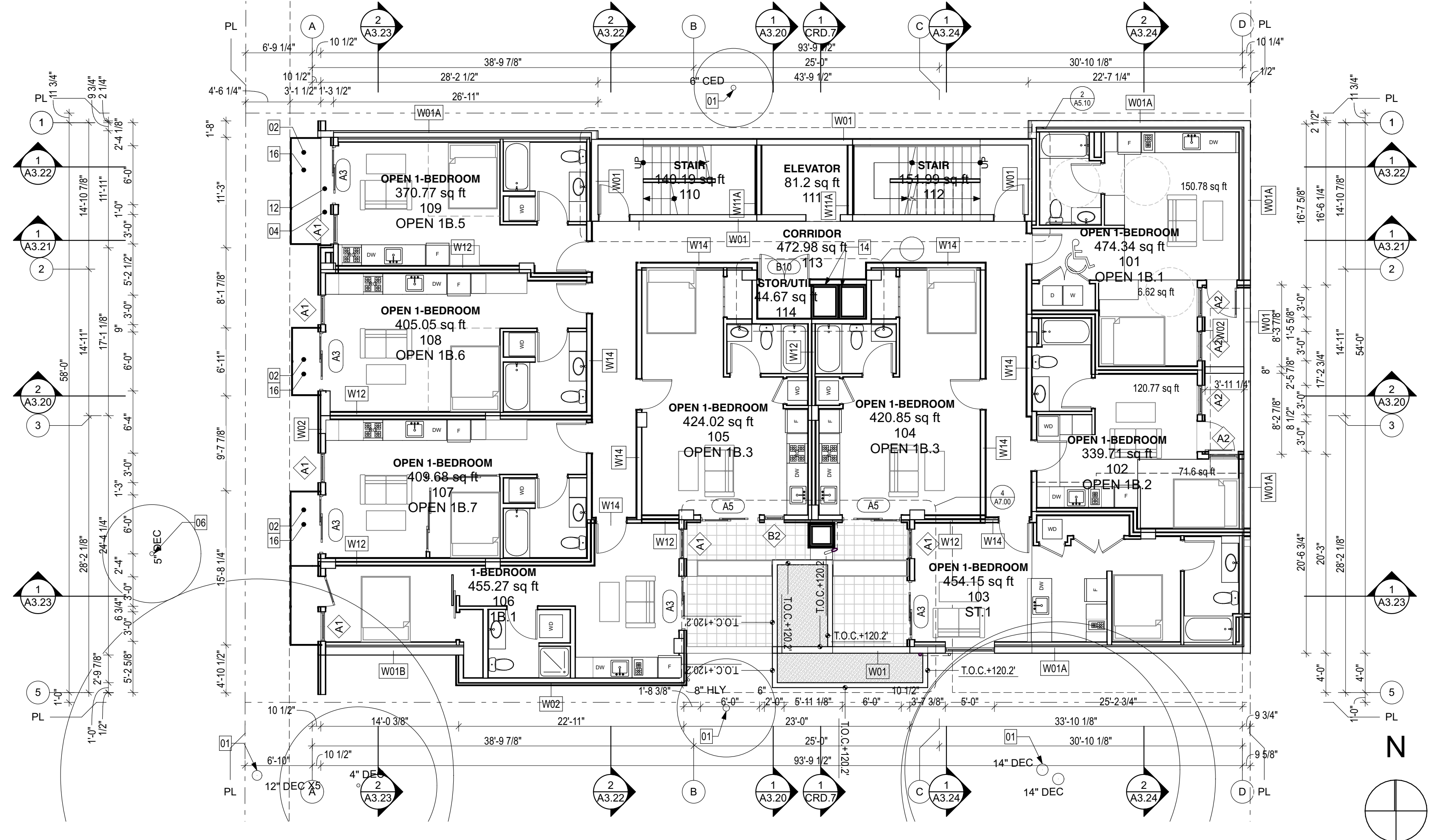




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- PLAN NOTES**
- TREE PROTECTION AREA TO BE PROVIDED, REFER TO SHEET A1.10 FOR TREE PROTECTION AREAS
 - PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F., TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - PREFABRICATED BOLT-ON JULIET BALCONY, TYP. WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F., TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - RECESSED BALCONY, SLOPE ROOF BELOW MIN. 1/4" PER FOOT, MIN.
 - PROVIDE BICYCLE PARKING. REFER TO A1.10 FOR PRODUCT SPECIFICATION
 - STREET TREE, REFER TO LANDSCAPE PLAN
 - PROVIDE BIO-RETENTION PLANTER, REFER TO CIVIL PLANS
 - CANOPY OVERHANG
 - SCUPPER AND DOWNSPOUT ROUTE TO BIO-PLANTER. REFER TO CIVIL SHEETS.
 - PROVIDE A 3HR VERTICAL SHAFT AT ALL FOUR SIDES FOR SCL TRANSFORMER VAULT EXHAUST
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 - SCL TRANSFORMER VAULT EXHAUST LOCATION AT CEILING OF VAULT ROOM

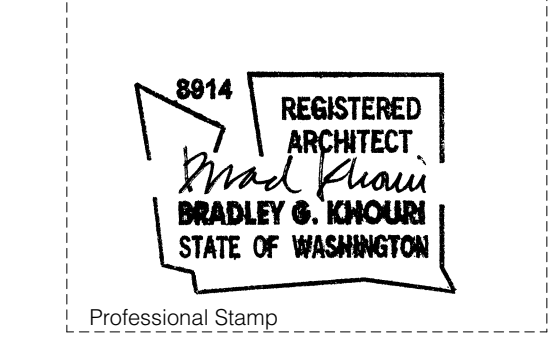


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 - SCL TRANSFORMER VAULT EXHAUST LOCATION AT CEILING OF VAULT ROOM

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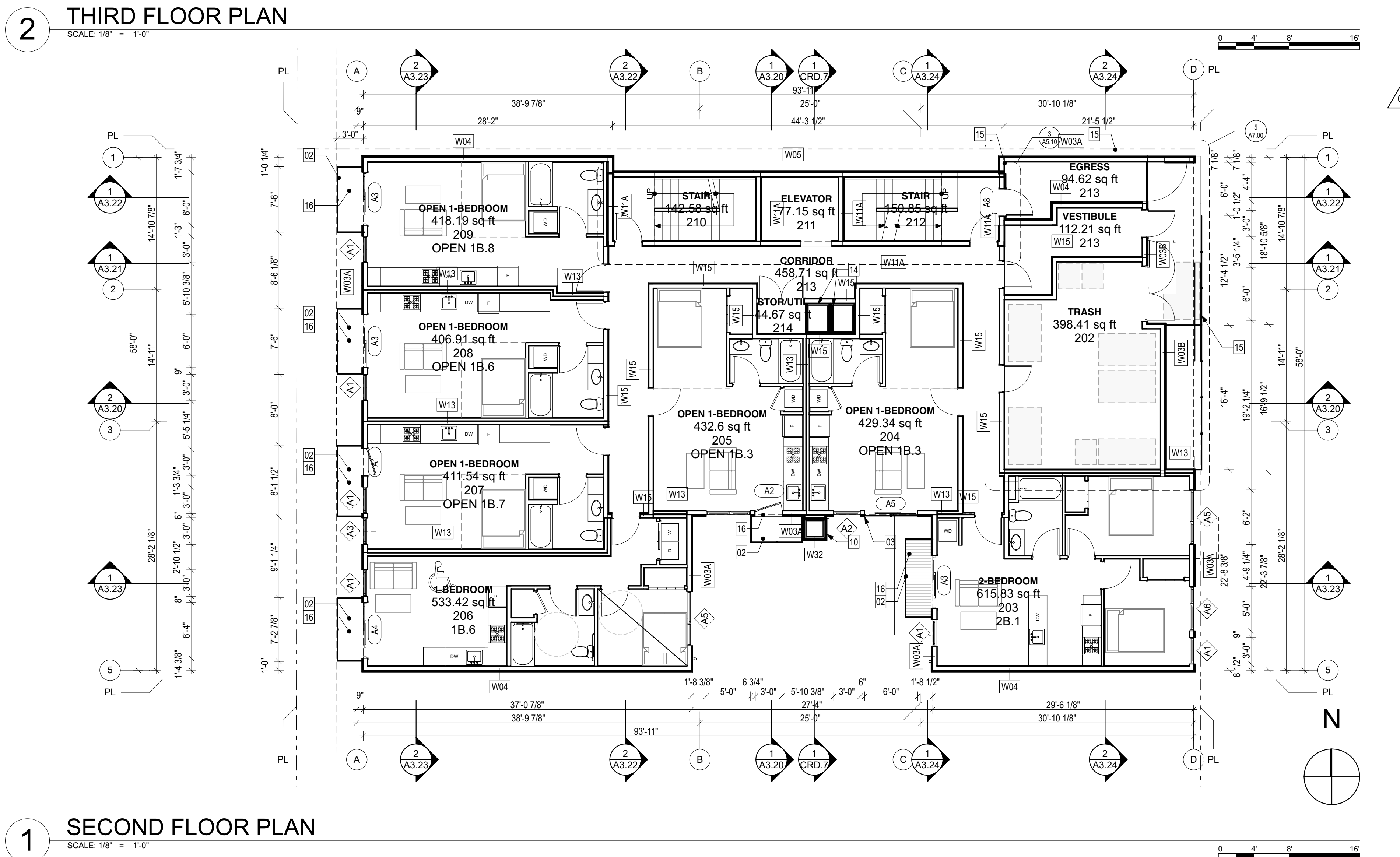
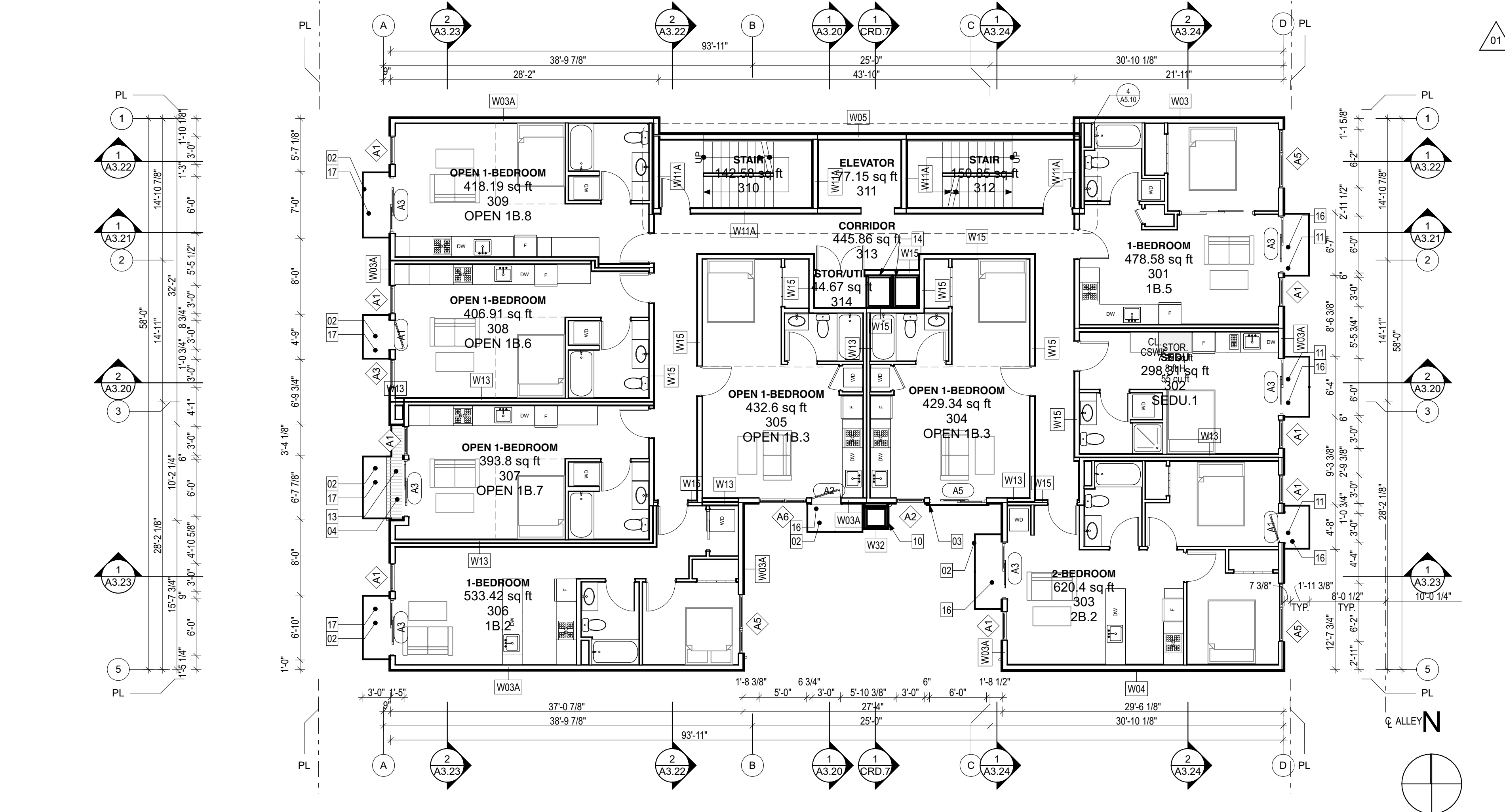


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Second / Third Floor Plan

A2.20



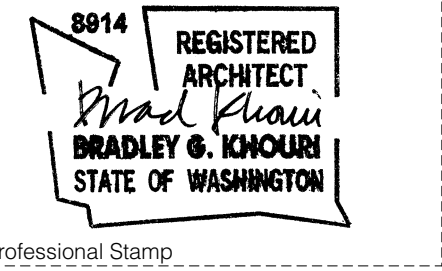
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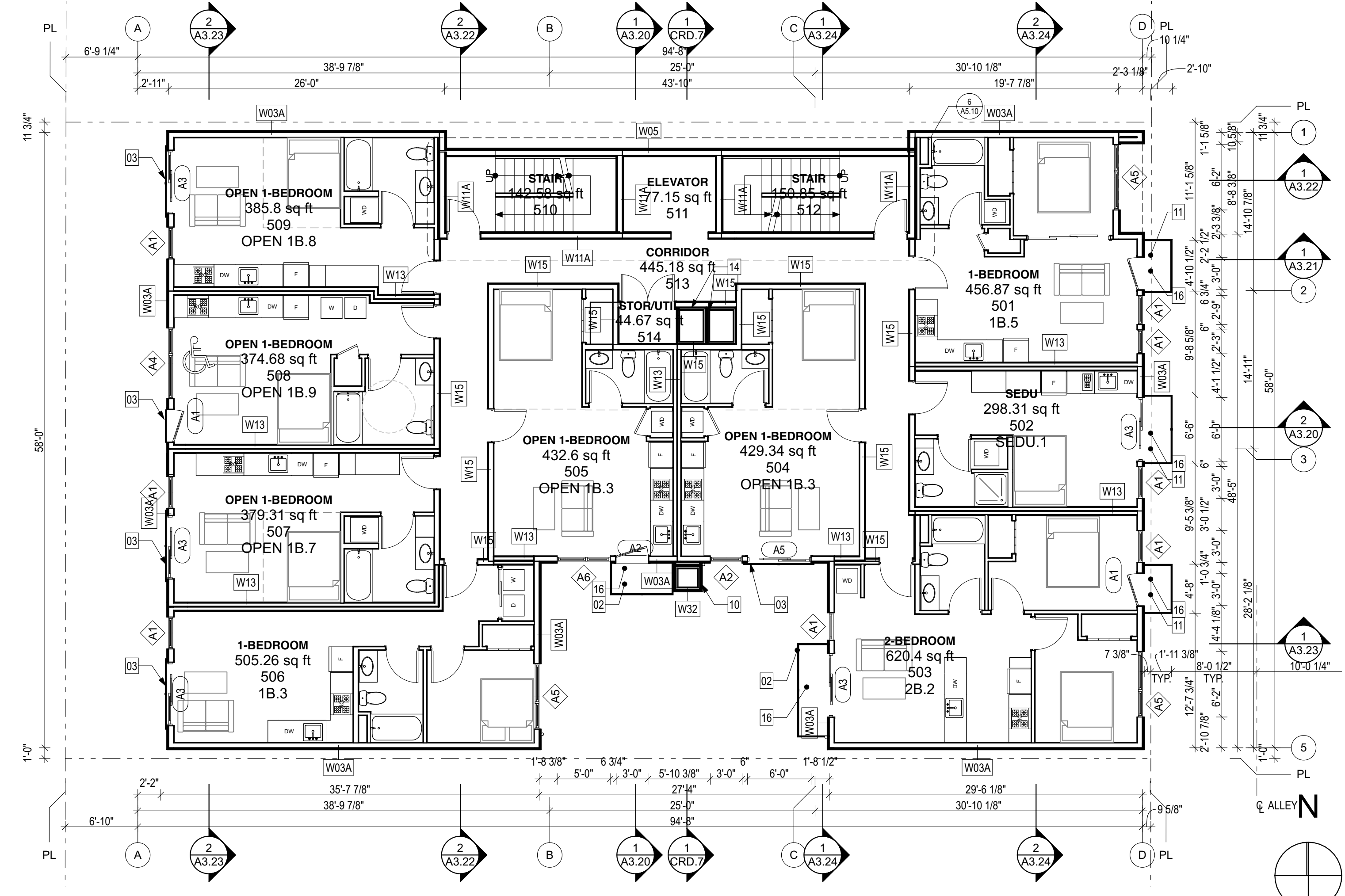
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Fourth / Fifth Floor Plan

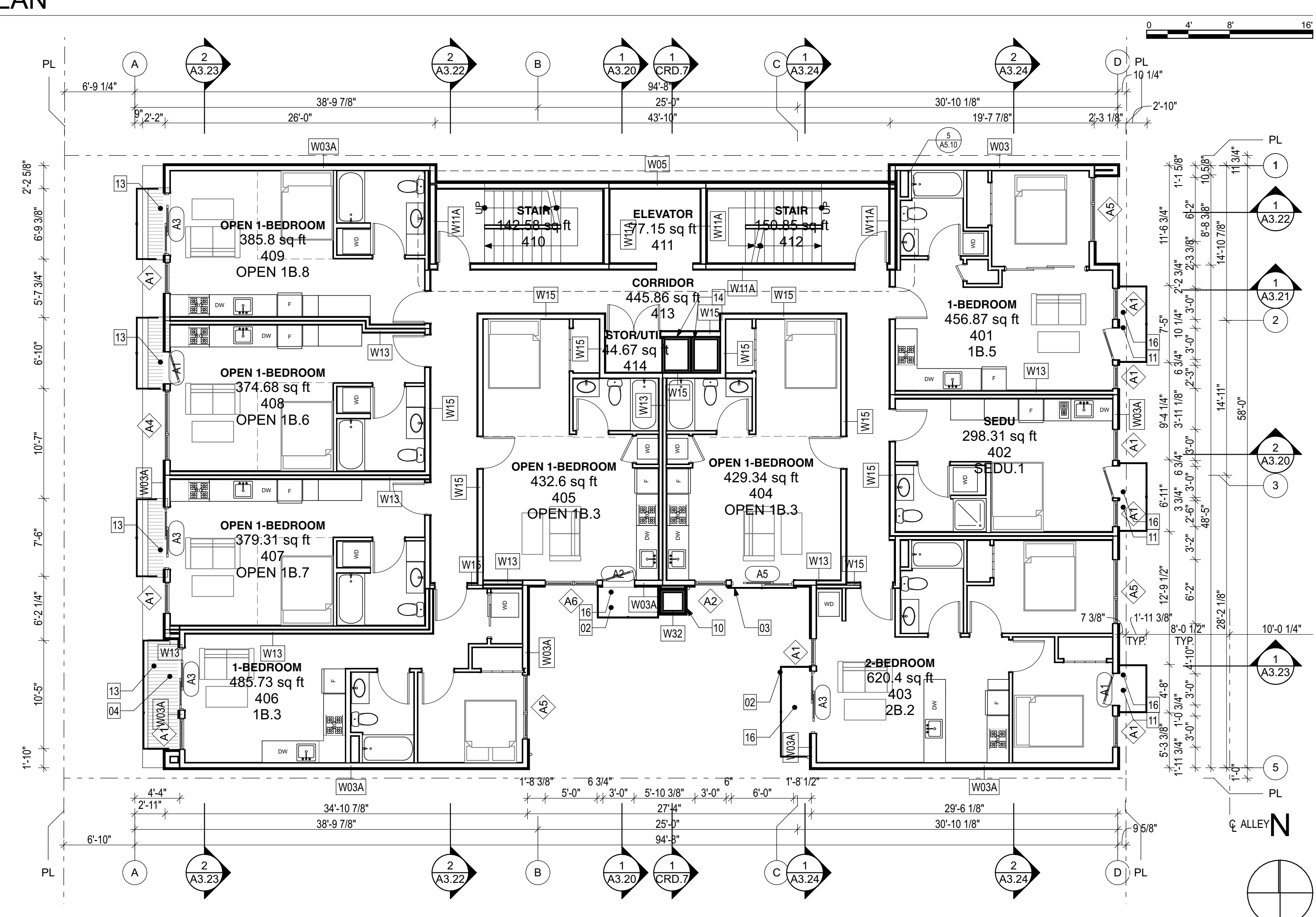
A2.30

PLAN NOTES

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- PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F., TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
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- PROVIDE BIO-RETENTION PLANTER, REFER TO CIVIL PLANS
- CANOPY OVERHANG
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2 FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



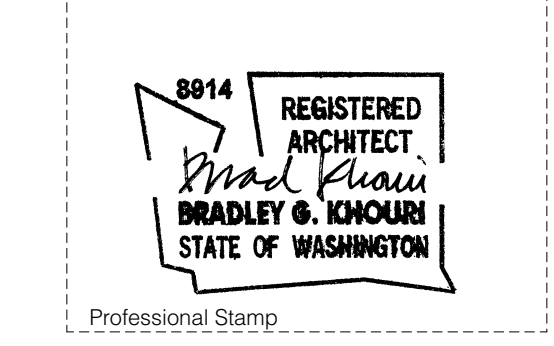
1 FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

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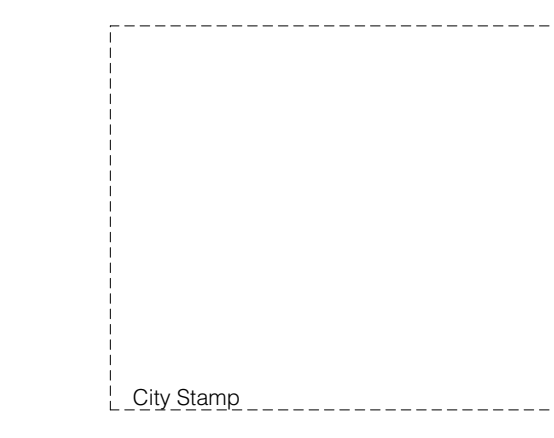
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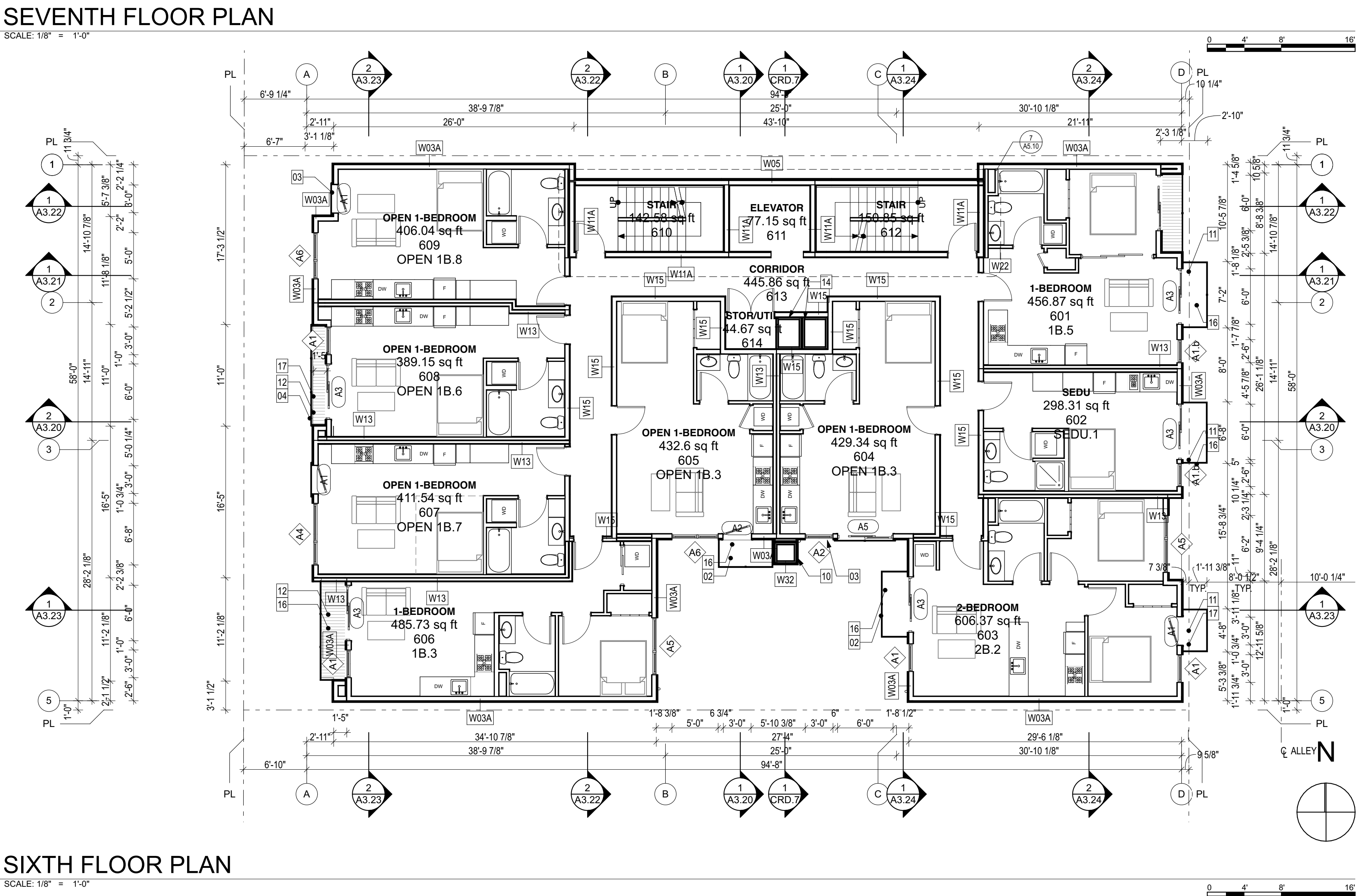
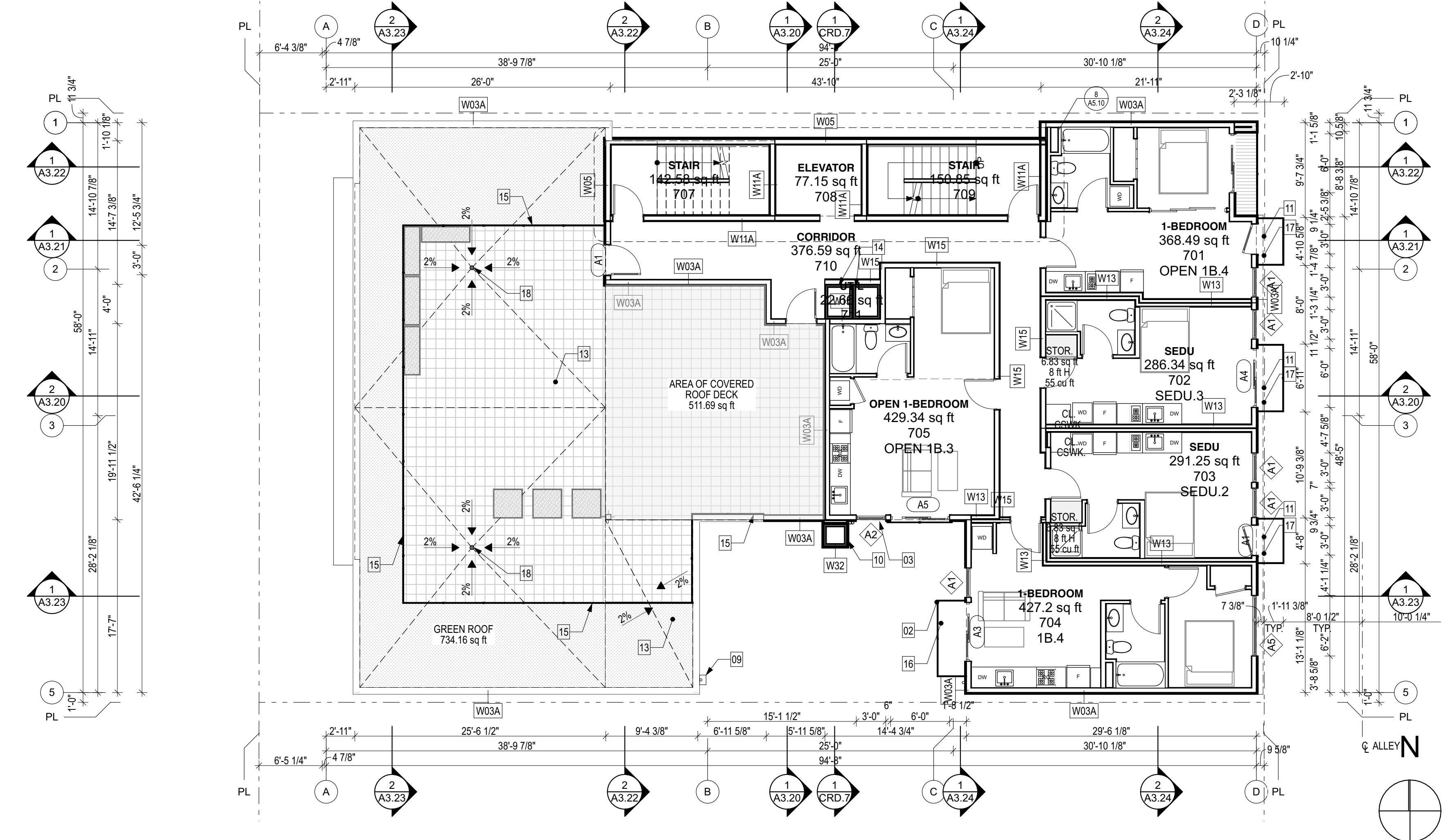


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Sixth / Seventh Floor Plan

A2.40



PLAN NOTES

- SCUPPER AND DOWNSPOUT ROUTE TO BIO-PLANTER, REFER TO A3.10 - A3.12 FOR ELEVATIONS AND CIVIL FOR ROUTING TO BIOPANTERS
- PROVIDE CRICKET ON ROOF TO RUN WATER TO INTERNAL DRAIN AND PLUMBING PIPE TO ROUTE TO BIO-PLANTER, REFER TO CIVIL DRAWINGS AND PLUMBING DRAWINGS
- PROVIDE MECHANICAL EXHAUST TERMINATION
- PROVIDE BALLASTED SOLAR PANEL ARRAY, REFER TO ENERGY COMPLIANCE DOCUMENTS FOR SIZING
- PROVIDE SCL VAULT EXHAUST TERMINATION

ON-SITE RENEWABLE ENERGY

PER SDCI TIP 422

(C410.1) SIZE YOU SOLAR PHOTOVOLTAIC (PV) SYSTEM AT 70 WATTS FOR EVERY 1000 SQUARE FEET OF CONDITIONED SPACE FOR EXAMPLE: A BUILDING WITH 31,000 SQUARE FEET OF CONDITIONED AREA WOULD REQUIRE 2,170 WATTS, OR 2.17 KW (70 X 31/1000). THIS WOULD LIKELY OCCUPY 180-200 SQUARE FEET OF THE ROOF.

36,065 SF (CONDITIONED AREA) X 70 WATTS = 2,524 WATTS OR 2.52 KW
 1,000 SQUARE FEET

PER SEC C406.5

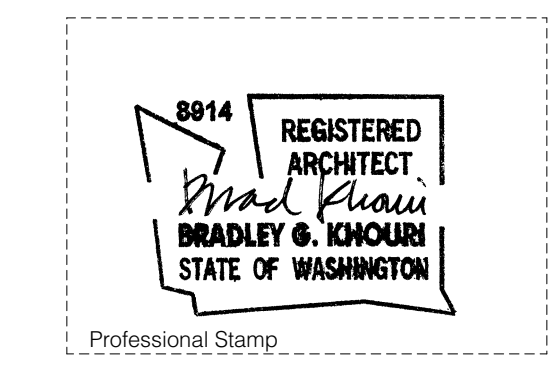
IN ADDITION TO THE RENEWABLE ENERGY REQUIRED BY SECTION C411, BUILDINGS SHALL BE PROVIDED WITH ON-SITE RENEWABLE ENERGY SYSTEMS WITH A TOTAL PEAK SYSTEM RATING PER SQUARE FOOT OF CONDITIONED FLOOR AREA OF THE BUILDING OF NOT LESS THAN 0.25 WATTS PER SQUARE FOOT OF CONDITIONED SPACE

36,065 SF (CONDITIONED AREA) X 0.25 WATTS = 9,016 WATTS OR 9.01 KW
 2.25 KW + 9.01 KW = **11.26 KW, 670 SQ FT OF SOLAR READY AREA PROVIDED**

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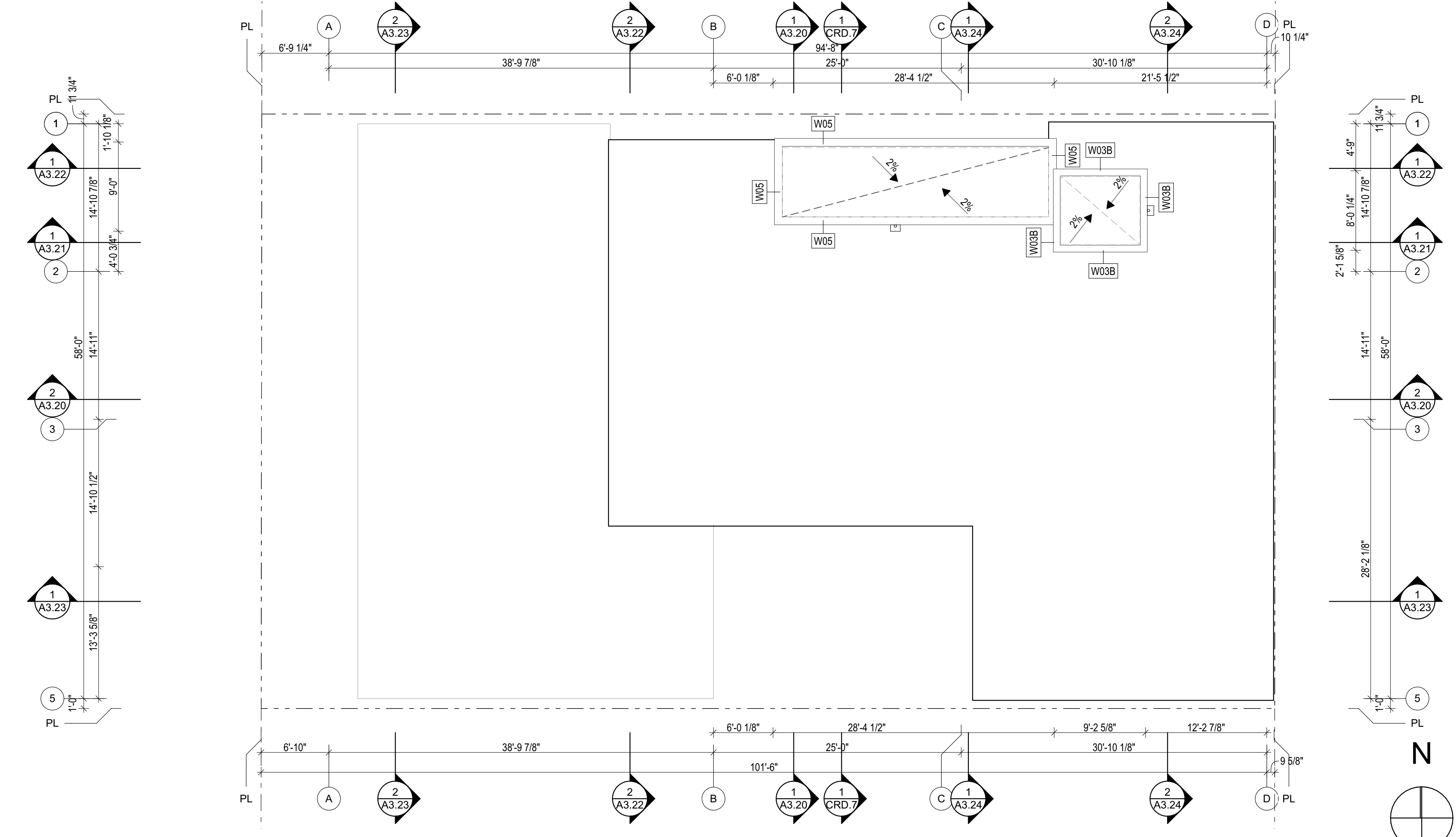


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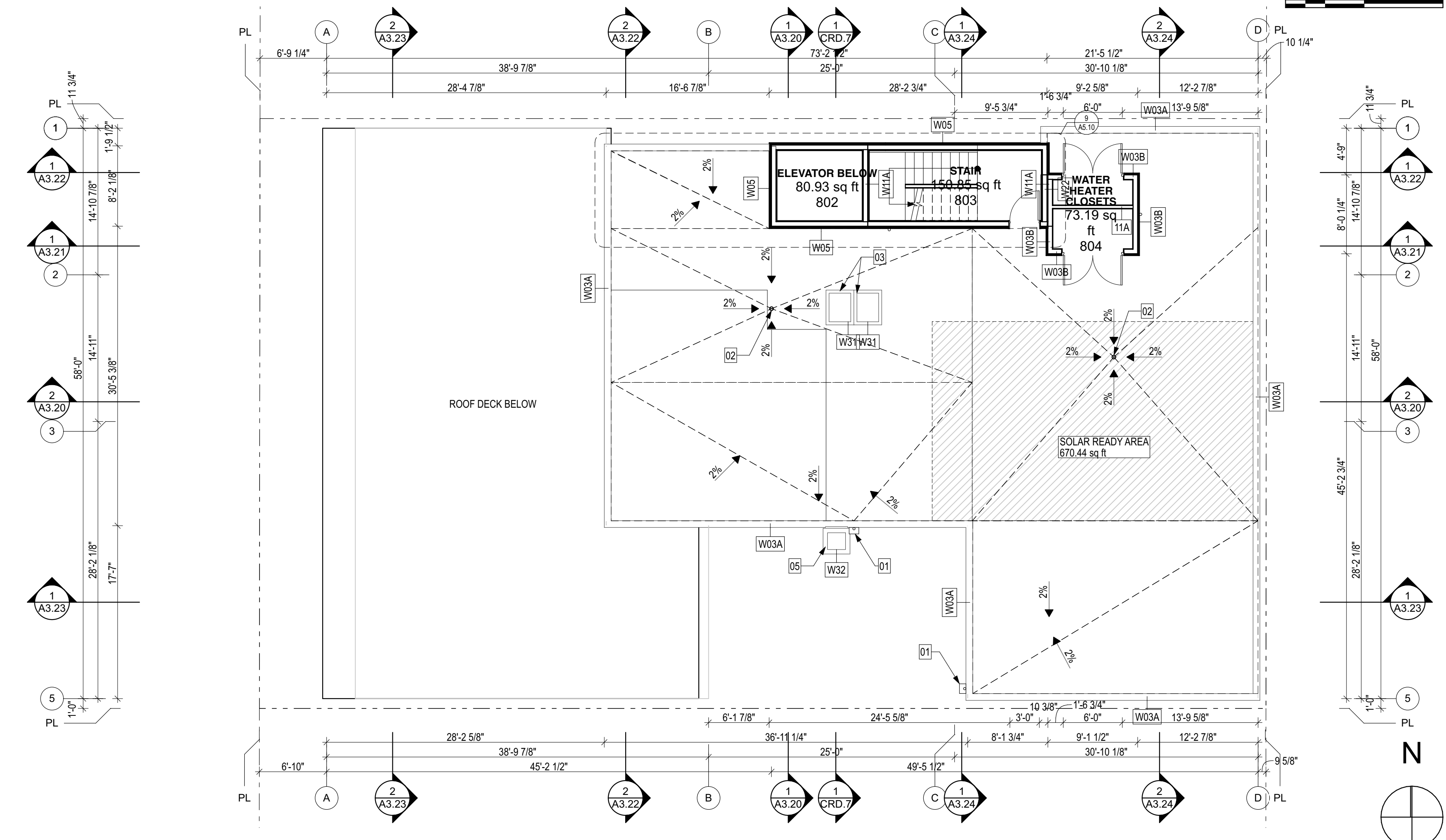


Upper Roof / Penthouse Plan

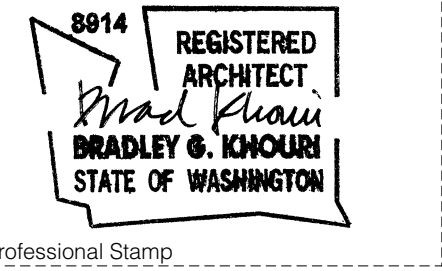
A2.50



2 PENTHOUSE ROOF PLAN
 SCALE: 1/8" = 1'-0"



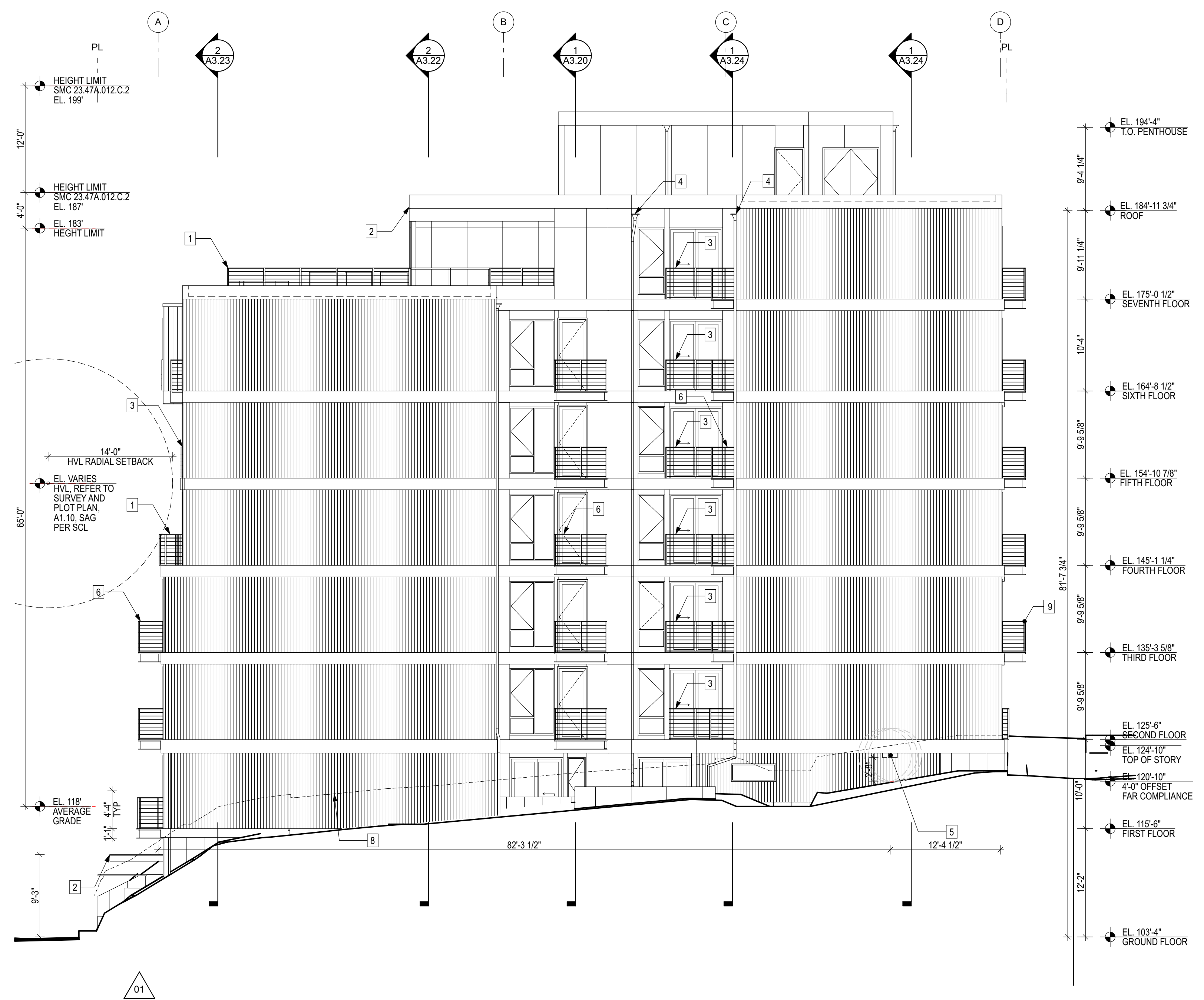
1 UPPER ROOF PLAN
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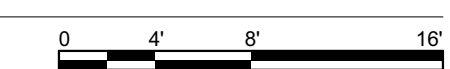
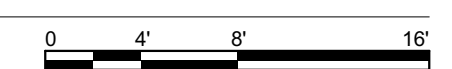
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 02. PROVIDE CANOPY FOR WEATHER PROTECTION, POWDER COATED STEEL BY OTHERS, COORDINATE WITH STRUCTURAL AND PROVIDE SUBMITTAL FOR ARCHITECT AND STRUCTURAL TO REVIEW.
 03. PREFABRICATED BOLT-ON ALUMINUM JULIET BALCONY, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 04. PROVIDE SCUPPER AND DOWNSPOUT TO CONNECT TO BIOPLANTER. REFER TO CIVIL PLANS ON SHEET C3.
 05. PROVIDE EXHAUST VENT AT SIDING, SHROUD PAINTED TO MATCH SIDING COLOR, REFER TO DR SHEETS FOR COLOR, TYP.
 06. PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F., TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 07. ROOF PROFILE BEHIND PARAPET.
 08. PROJECTED GRADE 4 FEET ABOVE EXISTING/FINISHED GRADE AT FACE OF BUILDING FOR FAR EXEMPTION PER SMC 23.47A.013.B.2
 09. PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY, WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F. AS STRUCTURAL BUILDING OVERHANG PER SMC 23.53.035.B. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.

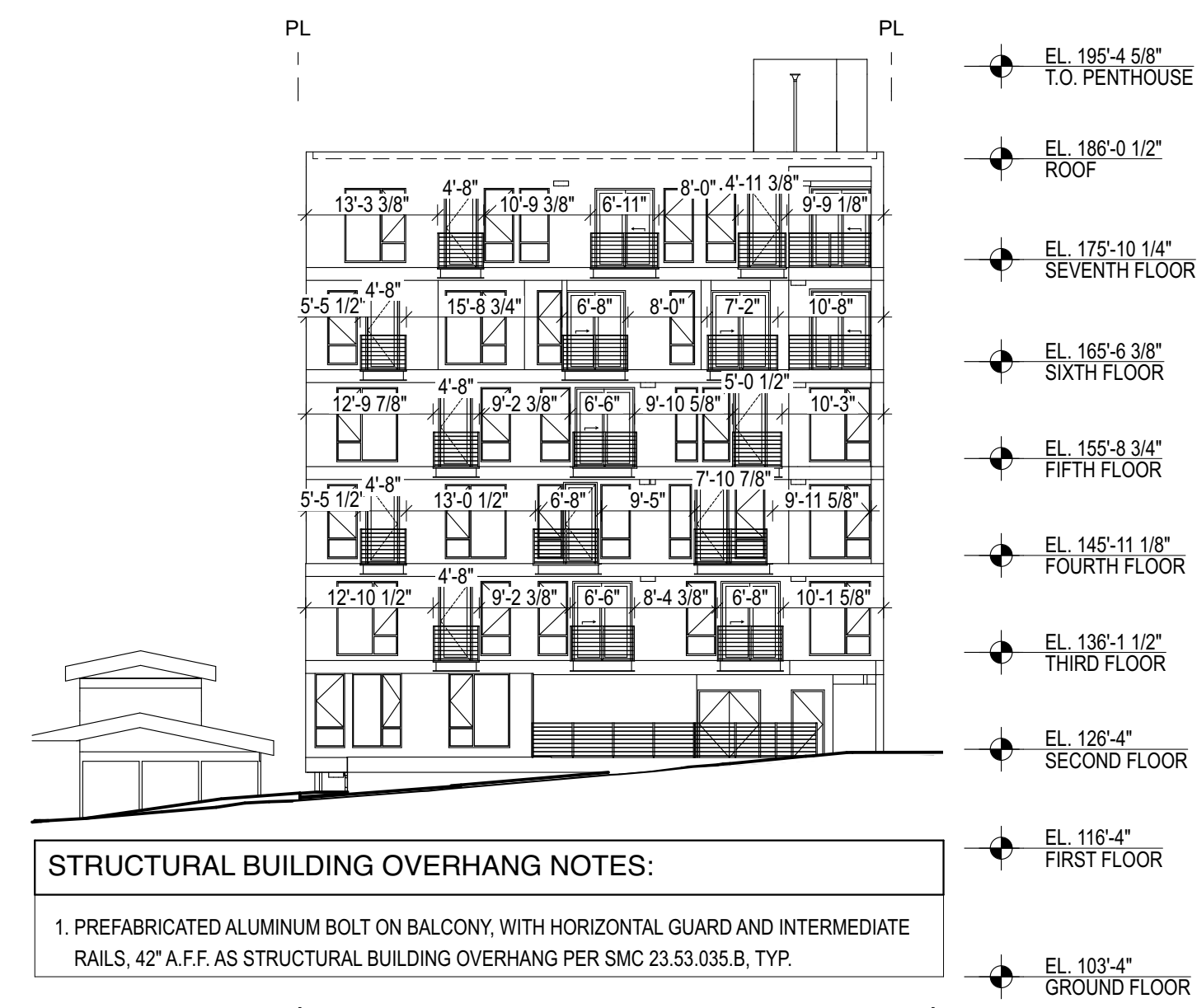


2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



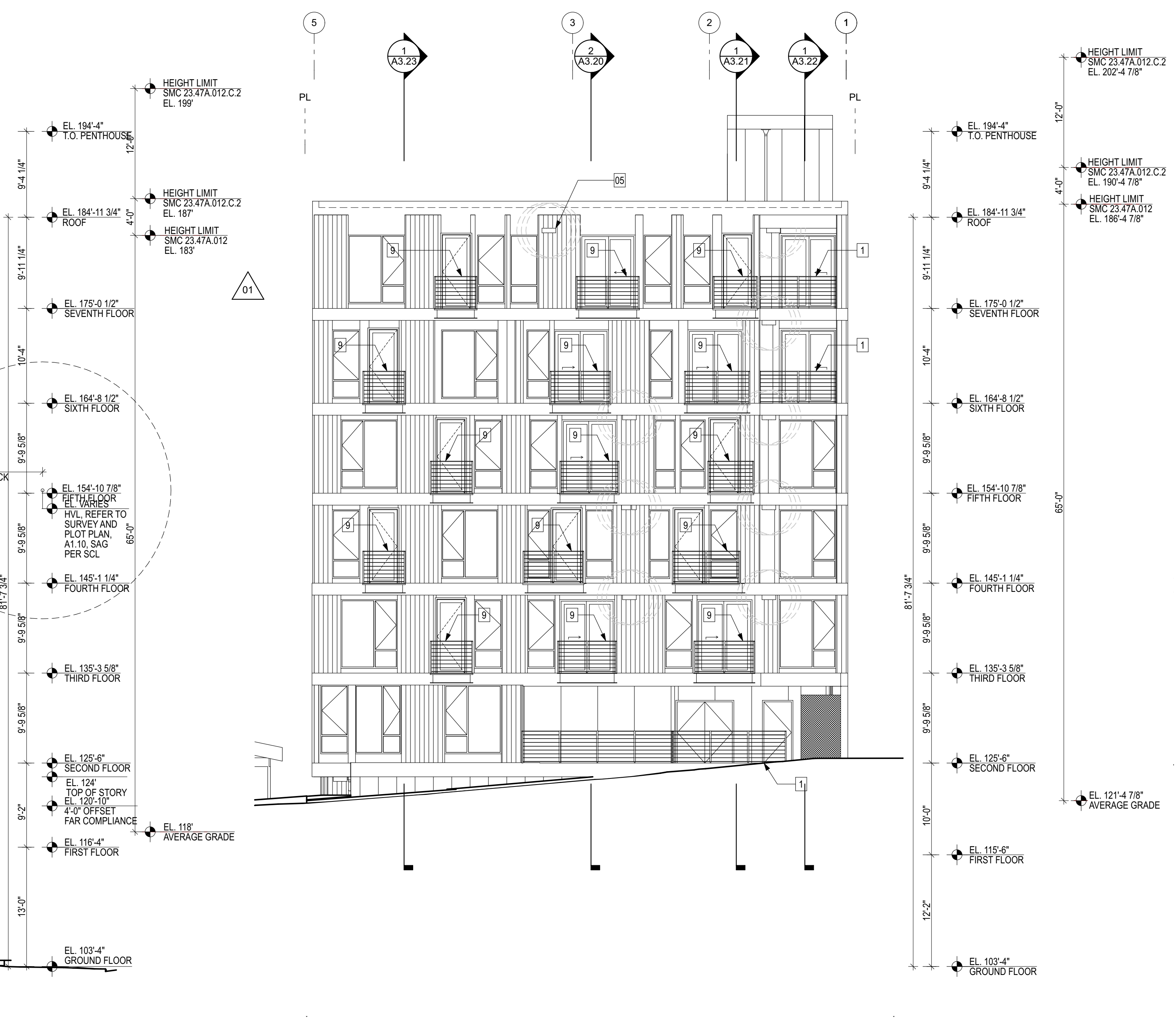
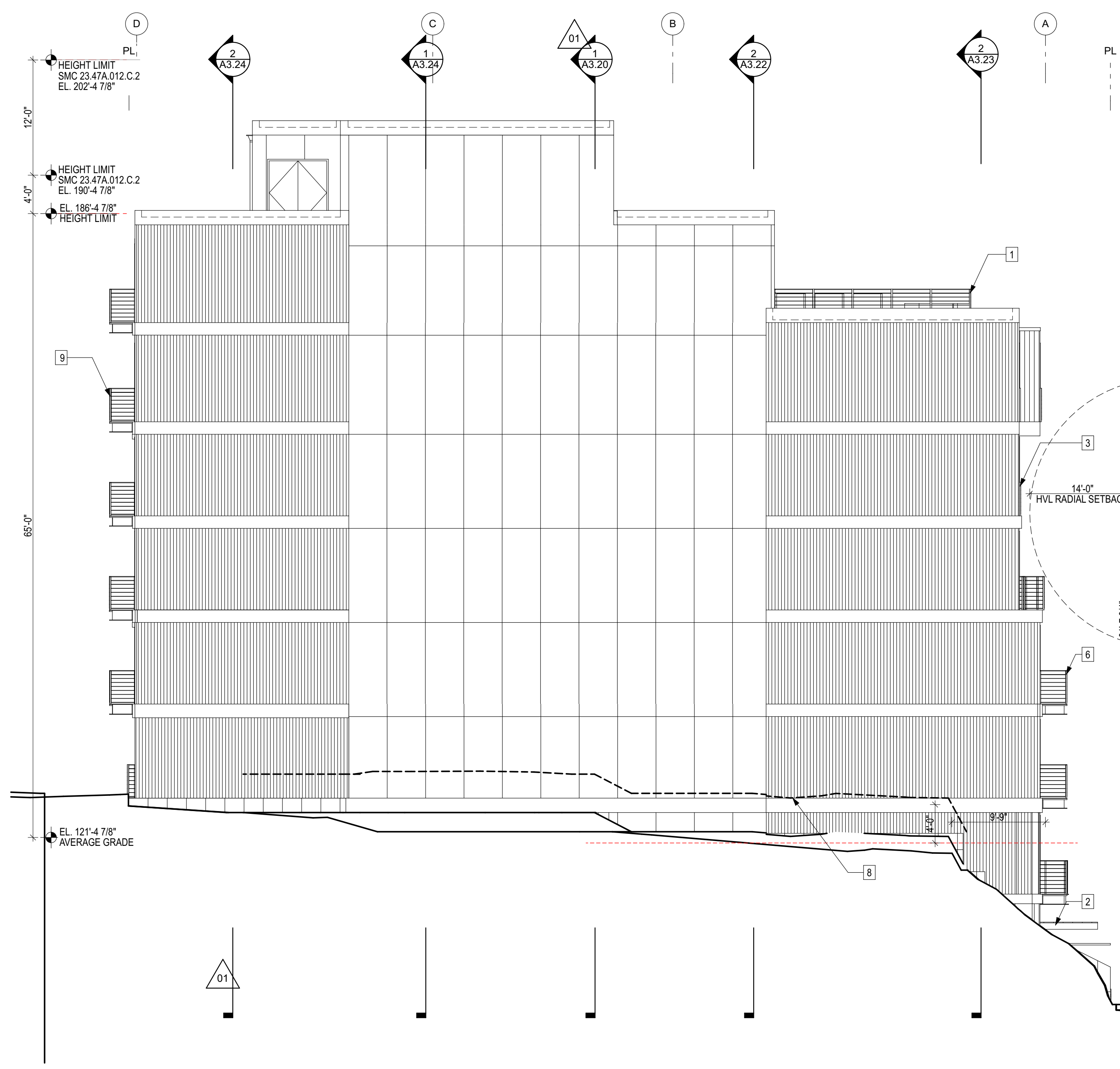
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 03. PREFABRICATED BOLT-ON ALUMINUM JULIET BALCONY, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 04. PROVIDE SCUPPER AND DOWNSPOUT TO CONNECT TO BIOPLANTER. REFER TO CIVIL PLANS ON SHEET C3.
 05. PROVIDE EXHAUST VENT AT SIDING, SHROUD PAINTED TO MATCH SIDING COLOR, REFER TO DR SHEETS FOR COLOR, TYP.
 06. PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F., TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 07. ROOF PROFILE BEHIND PARAPET.
 08. PROJECTED GRADE 4 FEET ABOVE EXISTING/FINISHED GRADE AT FACE OF BUILDING FOR FAR EXEMPTION PER SMC 23.47A.013.B.2
 09. PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY, WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F. AS STRUCTURAL BUILDING OVERHANG PER SMC 23.53.035 B, SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.

3 EAST ELEVATION STRUCTURAL BUILDING OVERHANGS
SCALE: 1/16" = 1'-0"

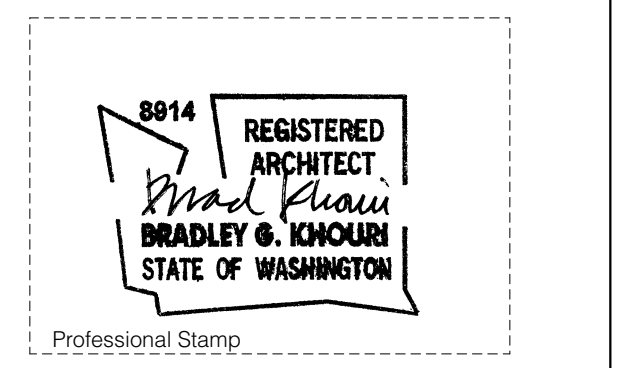


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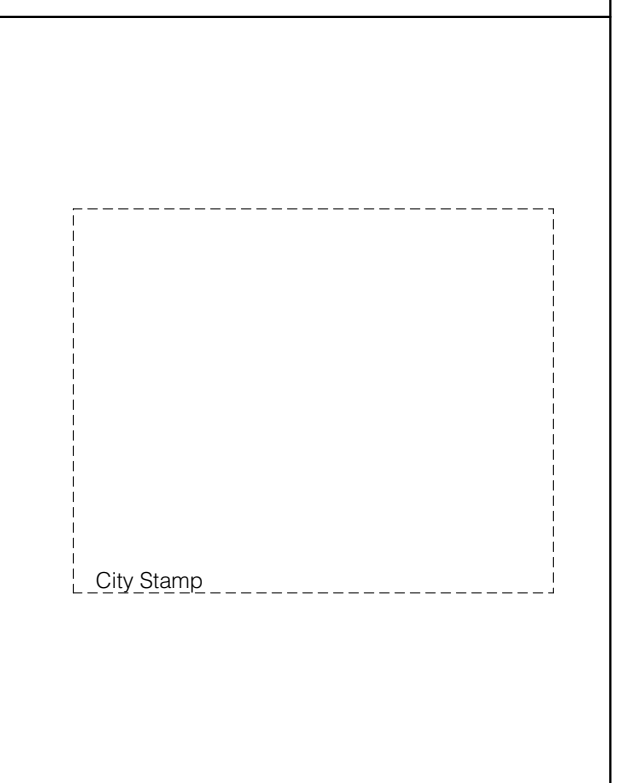
Project:
2210 Eastlake Avenue E

Location:
2210 Eastlake Ave E
Seattle, WA 98102

SDCI Number: 3036179-LU
6772985-CN



Issue ID	Issue Name	Issue Date
	Master Use Permit	11/17/20
	Building Permit Set	1/15/21
1	MUP CORRECTIONS 1	4/20/21
2	MUP CORRECTIONS 2	7/16/21
3	BP CORRECTIONS 1	9/7/21
4	MUP CORRECTIONS 3	9/27/21



Building Elevations

A3.11

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- ELEVATION NOTES**
01. PROVIDE ALUMINUM GUARDRAIL, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
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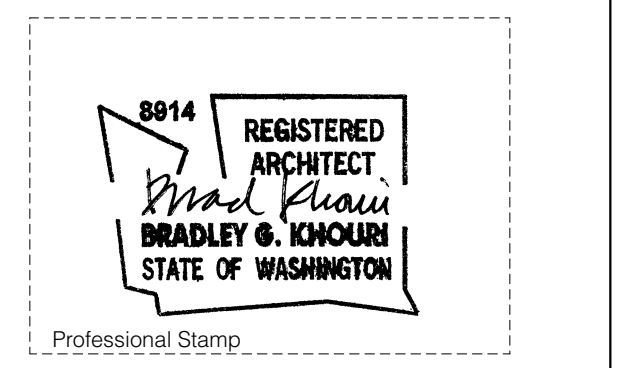
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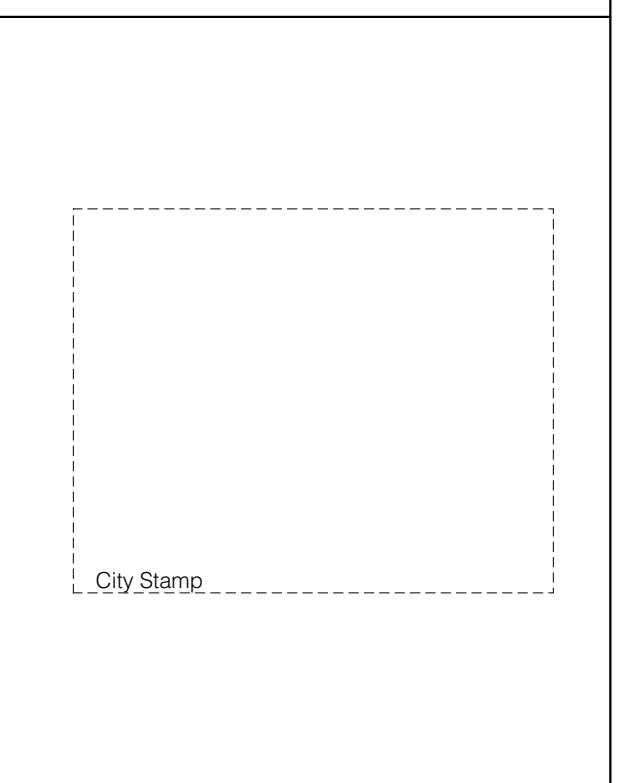
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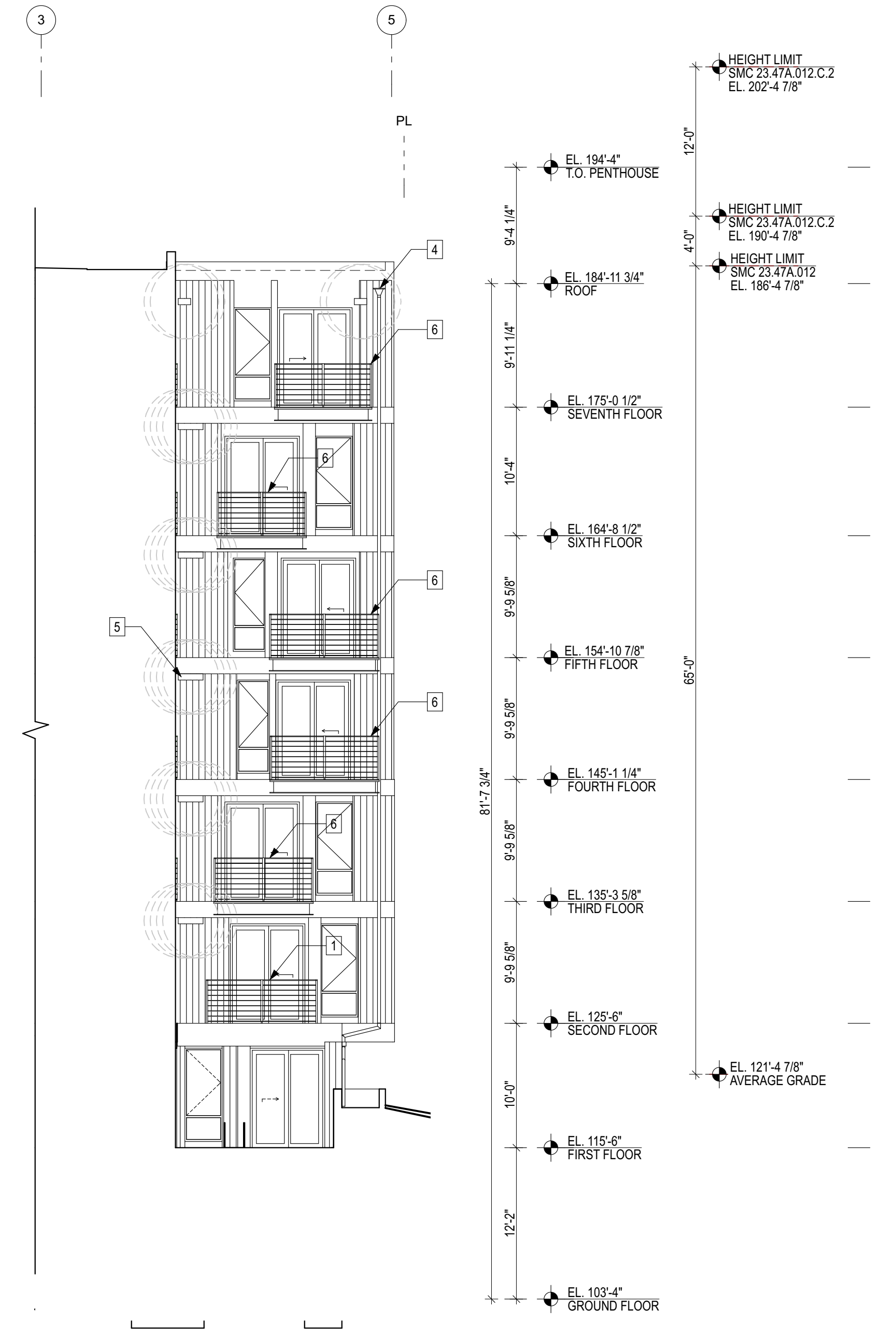


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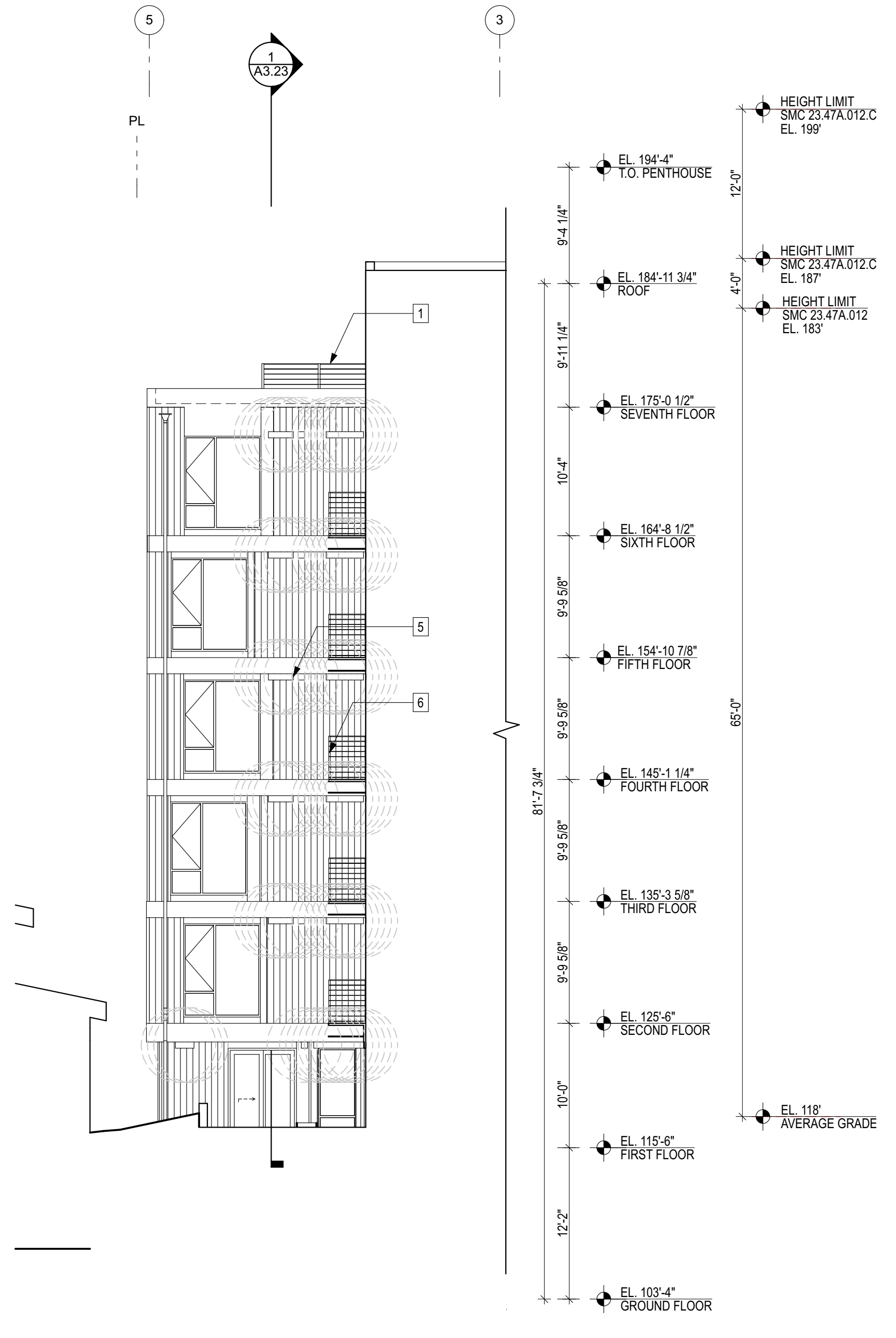
Building Elevations

A3.12



2 WEST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



1 EAST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

SECTION NOTES

01. EXISTING GRADE.
02. NOT USED.
03. PROVIDE SHORING.
04. PROVIDE POWDER COATED BLACK GUARDRAIL, MIN 42" A.F.F. TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
05. PROVIDE PARAPET, TYP.
06. PROVIDE CANOPY FOR WEATHER PROTECTION, POWDER COATED STEEL BY OTHERS, COORDINATE WITH STRUCTURAL AND PROVIDE SUBMITTAL FOR ARCHITECT AND STRUCTURAL TO REVIEW
07. PROVIDE BOLT-ON BALCONY, REFER TO STRUCTURAL

Architect of Record

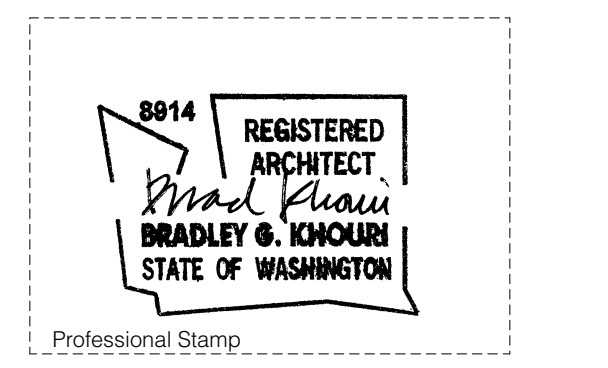
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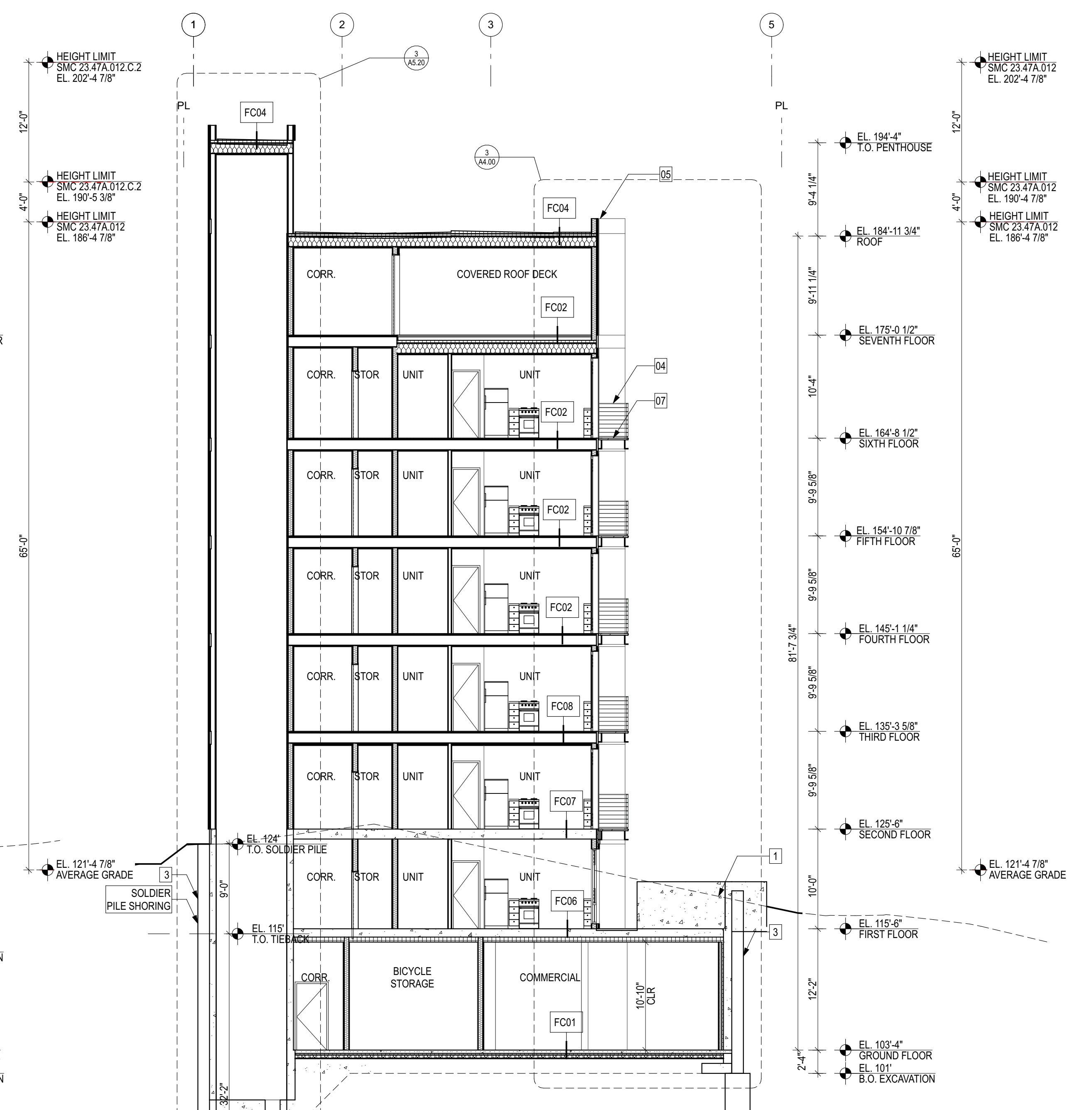
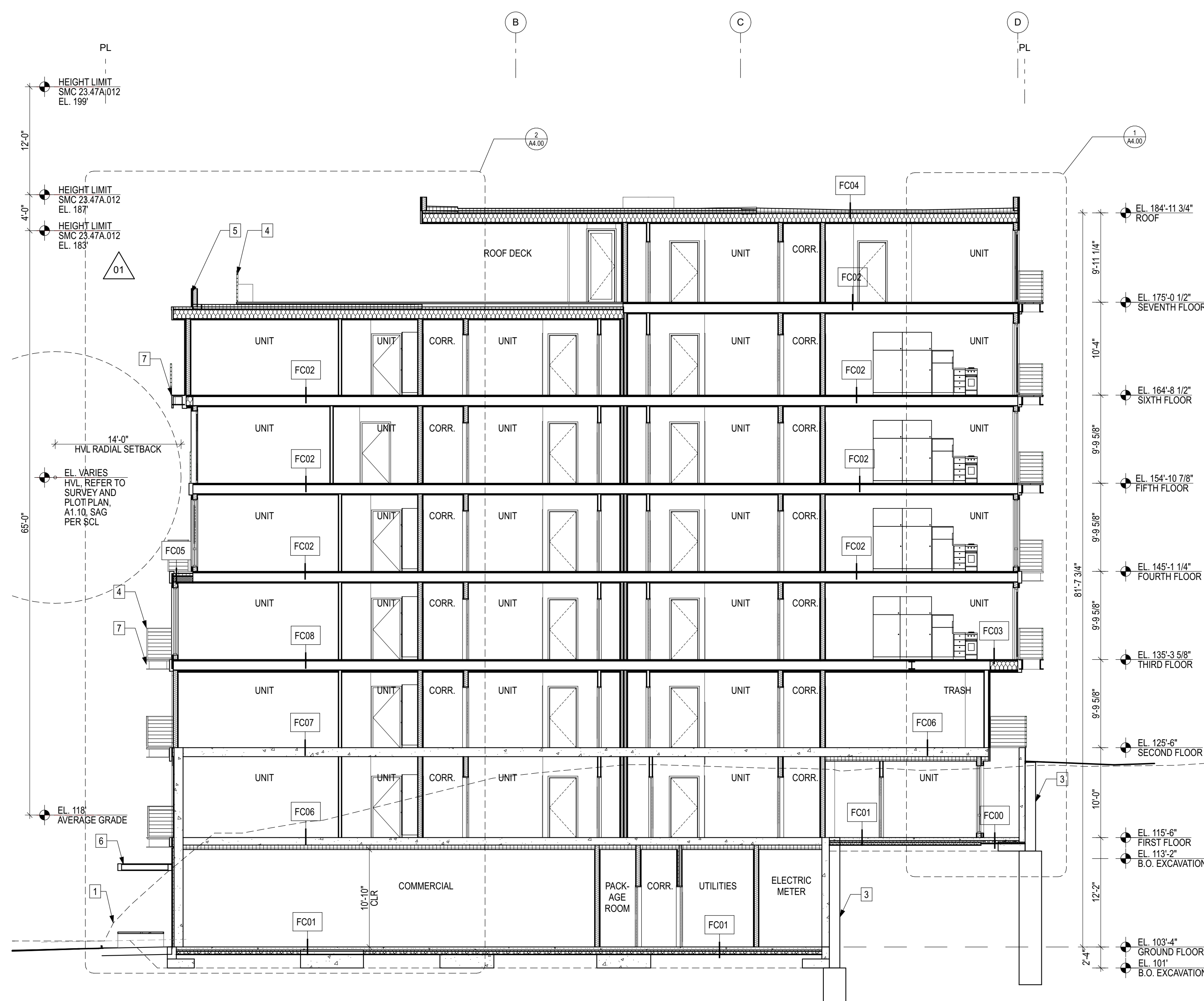


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Building Sections

A3.20



2 LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"

1 TRANSVERSE SECTION
SCALE: 1/8" = 1'-0"

