

ARBORIST REPORT



Andrew Lyon,
ISA Certified Arborist, PN-6446A
ISA Tree Risk Assessment Qualified

10016 Edmonds Way Ste C 227,
Edmonds WA 98020
206-734-0705

3/11//2020

Arborist Inventory Report for:
2210 Eastlake Ave E
Seattle WA

Scope- This report includes all trees 6" Diameter at Breast Height (DBH) or larger on or overhanging the lot. According to the Directors Rule 2008 there are no exceptional trees on this lot. There is one exceptional tree slightly overhanging this lot. There are no groves on or overhanging this lot. The trees are numbered and located according to the attached Tree Location Map and further described in the itemized section below. Any trees that are retained and protected with the prescribed tree protection measures are expected to survive the proposed development project and continue growing normally.

Methods- Diameter at Breast Height, or DBH, for trees was determined by measuring the circumference of the tree at the narrowest point below 4.5' above grade and dividing by 3.14 and rounding off to the nearest inch. Multi stemmed tree's total DBH was calculated by squaring the DBHs of the individual trunks, adding them together and taking the square root of the sum and rounding to the nearest inch.

All Tree Protection Measures are in accordance with current Best Management Practices and shall be in place prior to breaking ground on the project.

1. Bigleaf Maple *Acer macrophyllum* 28" DBH (4, 14" trunks), 45' tall with a 15" drip line and a 7' 6" inner root zone. This tree is in good health and condition and is to be retained and protected. A protection area shall be created by fencing an area on the lot. The area shall be a 2' wide area rectangle that starts at the along the south west corner of the lot and runs along the south property line to the point that is 15' from the tree. Fencing shall be minimum of 4' tall orange construction fencing and shall be posted with SDOT tree protection signage. There shall be no site disturbance, traffic, storage of materials or washing of materials within this fenced area throughout the development project. Any excavation done within 2' of the fenced area shall be done by hand with shovels with care taken to prune or cleanly cut any encountered roots and not to rip or tear them.
2. Italian Plumb *Prunus cocomilia* 6" DBH, 12' tall with an 8' drip line. This tree is in good condition and is to be retained and protected. It will be protected in the protection area described for tree #1.
3. English Holly *Ilex aquifolium* DBH 8", 15' tall with a 6' drip line. This tree is to be retained and protected. A protection area shall be created by fencing the area on the lot that is within 4' of this tree. Fencing shall be minimum of 4' tall orange

Trees teach us that it's important to have roots, grow where you're planted, and be flexible. If you really believe in something, don't be afraid to go out on a limb ☺



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4. Common Hawthorn *Crataegus laevigata* 20" DBH (2, 14" trunks), 15' tall with a 12' drip line and a 6' inner root zone. This exceptional tree is in good health and fair condition. It leans to the south and 80% of its canopy is south of the trunks. It is to be retained and protected. All of its inner root zone and at least 2/3ds of its outer root zone will be protected. Fencing shall be run from the south east property corner to the west along the south property line for 20' and posted with SDCI tree protection signage. There shall be no site disturbance, traffic, storage of materials or washing of materials south of this fence throughout the development project. Any excavation done within 2' of the fence shall be done by hand with shovels with care taken to prune or cleanly cut any encountered roots and not to rip or tear them.
5. English Laurel *Prunus Laurocerasus* 8" DBH, 9' tall with a 6' drip line. There are 7 of these shrubs along the east half of the south property line. Any of them that are on the lot will be removed. Any that are on the lot to the south will be retained.
6. Emerald Green Arborvitae *Prunus Laurocerasus* 7" DBH, 15' tall with a 3' drip line. This tree is in good health and condition. It is to be retained and protected. A tree protection area shall be created by fencing the area on the lot that is within 4' of this tree and posted with SDCI tree protection signage. There shall be no site disturbance, traffic, storage of materials or washing of materials south of this fence throughout the development project. Any excavation done within 2' of the fence shall be done by hand with shovels with care taken to prune or cleanly cut any encountered roots and not to rip or tear them.

If you have any questions about these trees, please feel free to contact me. This report was prepared by:

Andrew Lyon

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ISA Certified Arborist PN-6446A
Tree Risk Assessment Qualified CTRA #512

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Tree Chart for 2210 Eastlake Ave E, Seattle WA

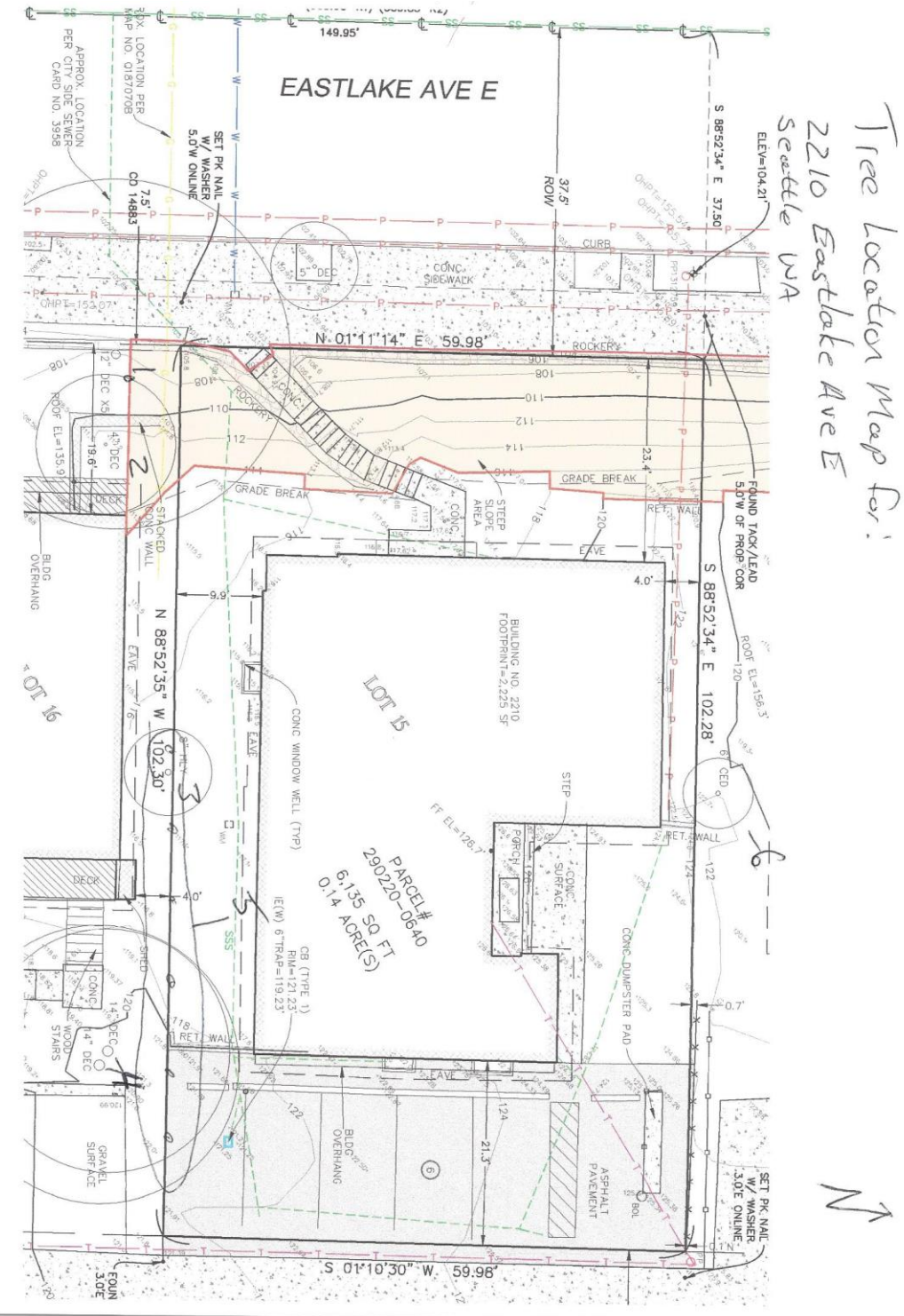
| Tree # | Tree Name | DBH in inches | Drip Line in Ft | On Site? | Exceptional? | Retain or Remove |
|--------|--------------------------|---------------|-----------------|----------|--------------|-------------------------------------|
| 1 | Big-leaf Maple | 28 | 15 | No | No | Retain and Protect |
| 2 | Italian Plumb | 6 | 8 | No | No | Retain and Protect |
| 3 | English Holly | 8 | 6 | No | No | Retain and Protect |
| 4 | Common Hawthorn | 20 | 12 | No | Yes | Retain and Protect |
| 5 | English Laurel | 8 | 6 | Some | No | Onsite - Remove Offsite - Retain |
| 6 | Emerald Green Arborvitae | 7 | 3 | No | No | Retain and Protect |

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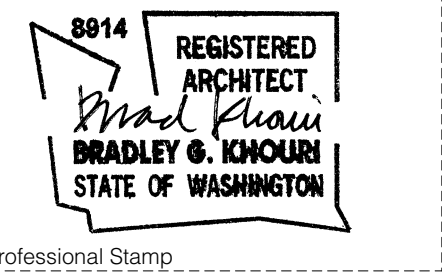
Architect of Record

b9 architects
610 2nd Avenue
Seattle, WA 98104
206.297.1284
www.b9architects.com

Project:
2210 Eastlake Avenue E

Location:
2210 Eastlake Ave E
Seattle, WA 98102

SDCI Number: 3036179-LU
6772985-CN

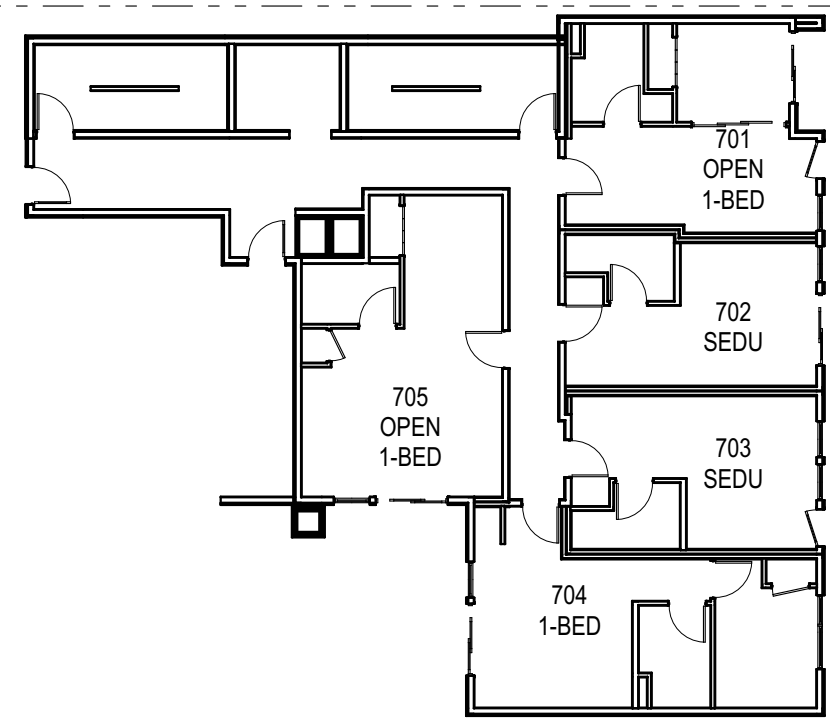


| Issue ID | Issue Name | Issue Date |
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| 2 | MUP CORRECTIONS 2 | 7/16/21 |
| 3 | BP CORRECTIONS 1 | 9/7/21 |
| 4 | MUP CORRECTIONS 3 | 9/27/21 |
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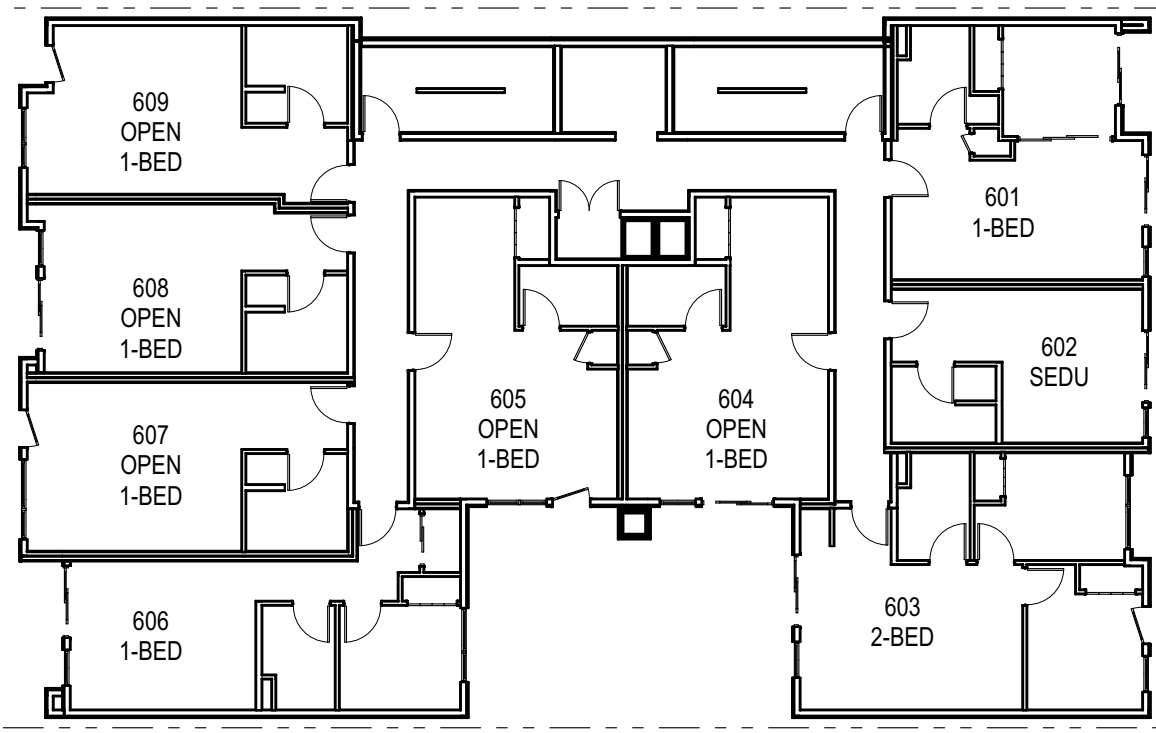


Land Use Code -
Arborist Report

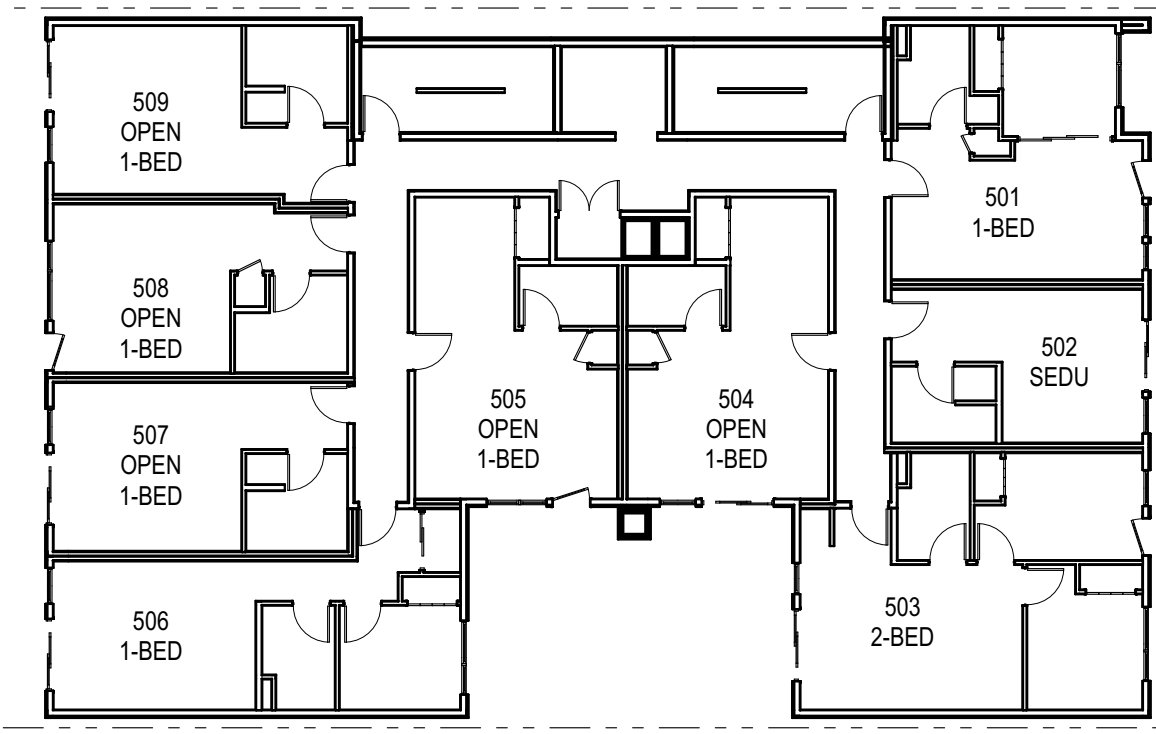
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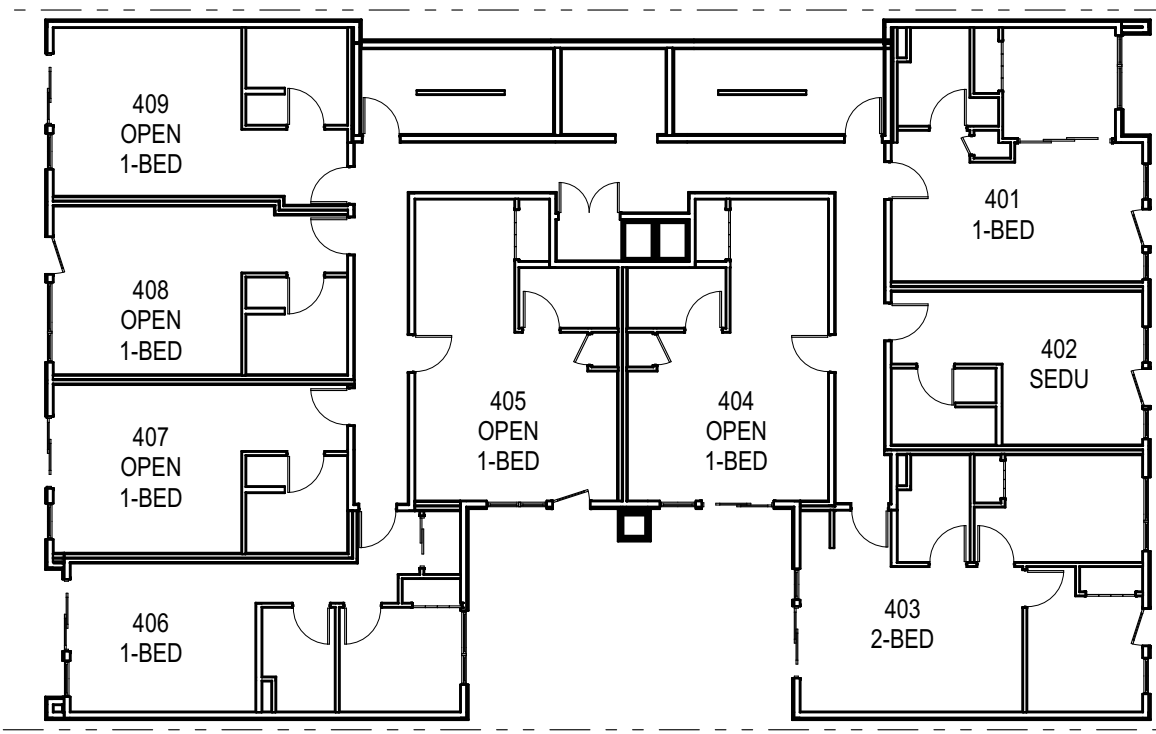
8 SEVENTH FLOOR PLAN
SCALE: 1/16" = 1'-0"



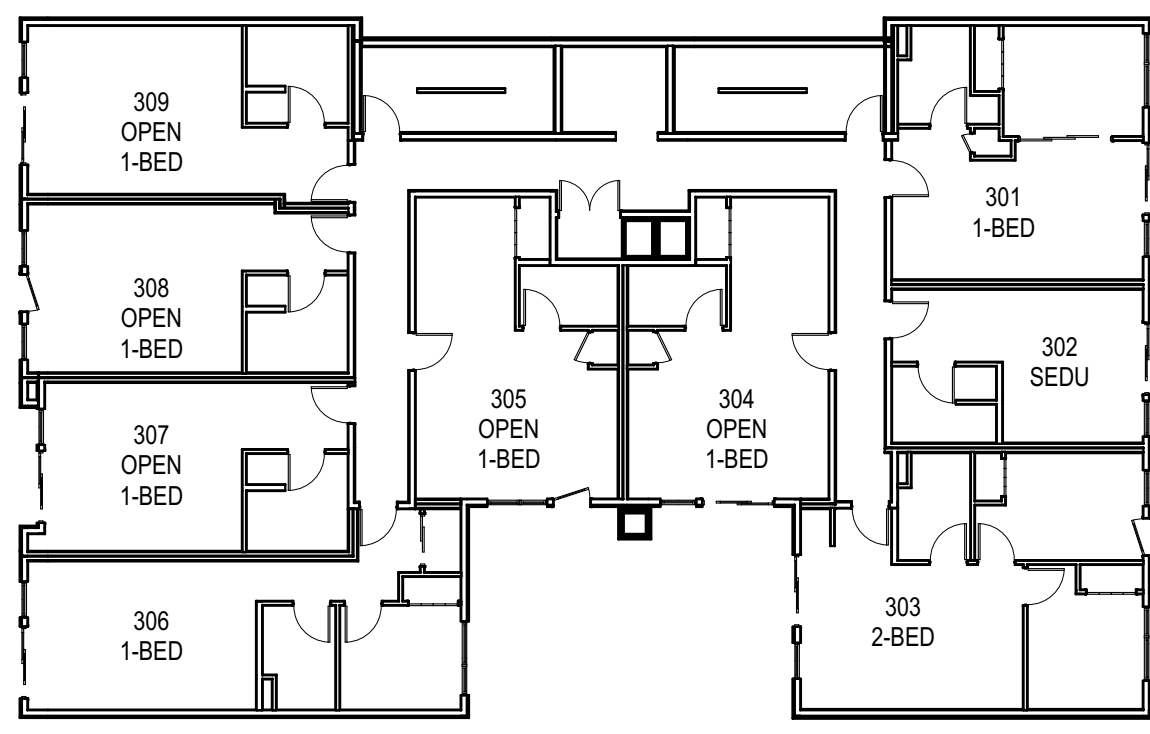
7 SIXTH FLOOR PLAN
SCALE: 1/16" = 1'-0"



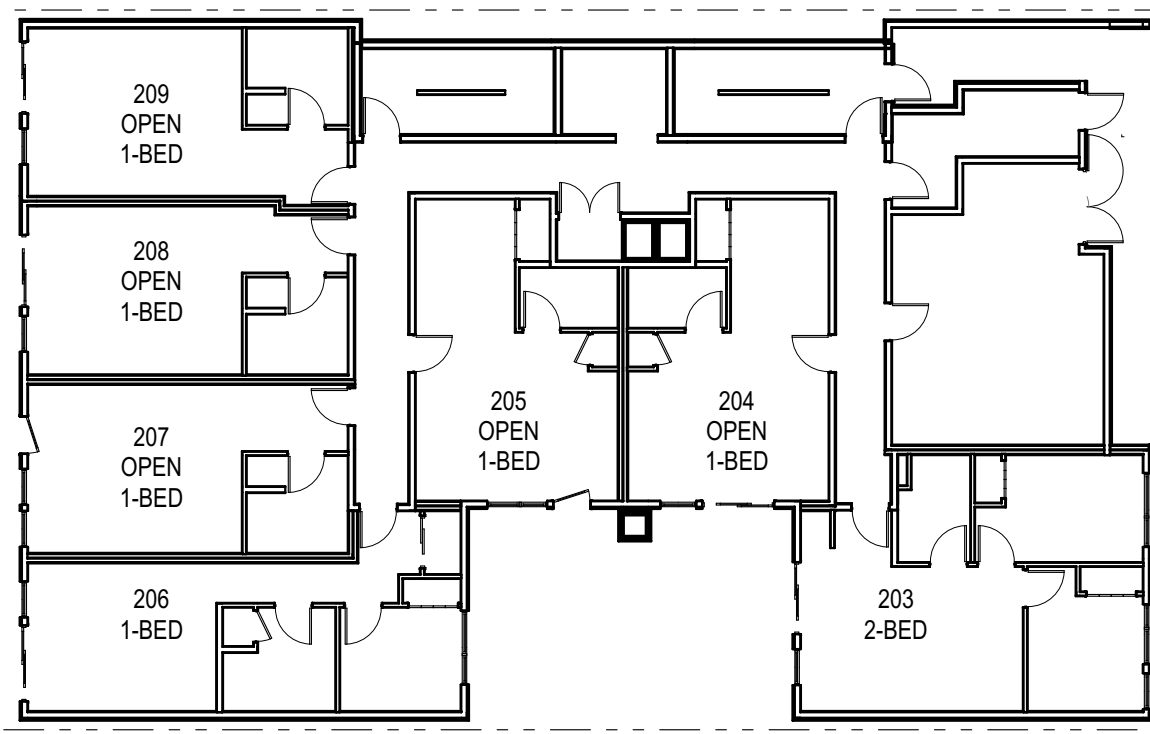
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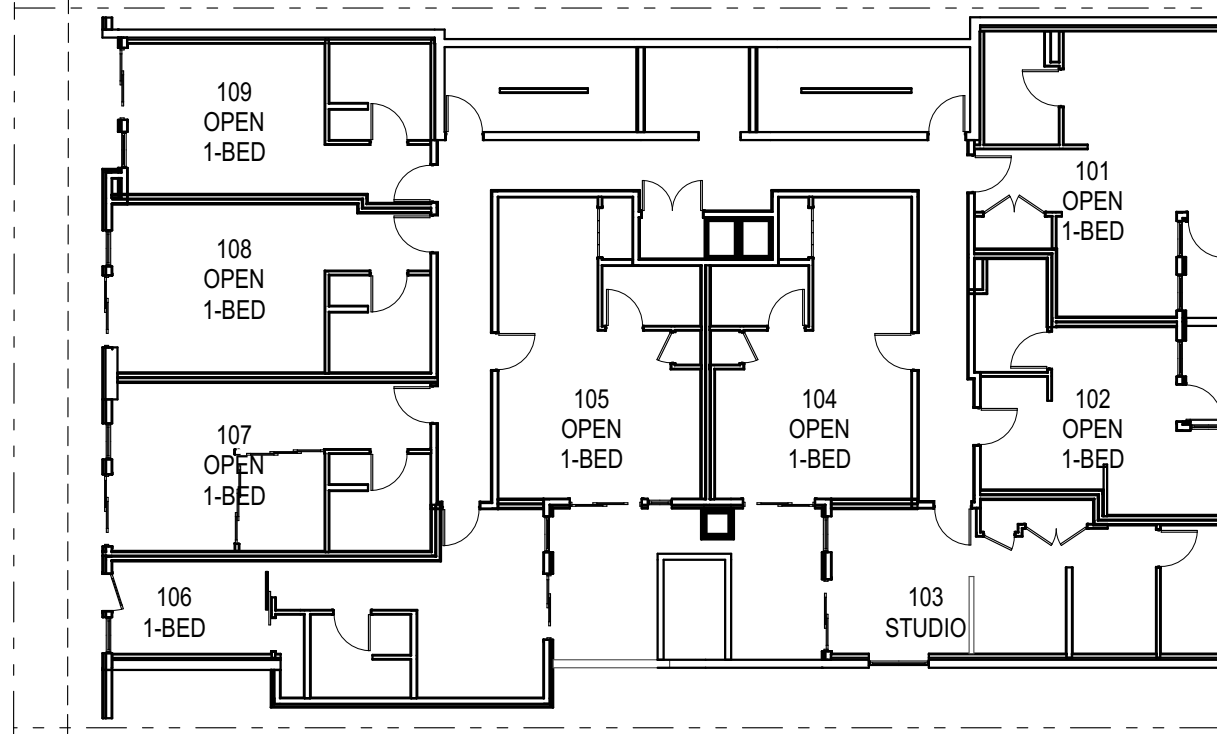
5 FOURTH FLOOR PLAN
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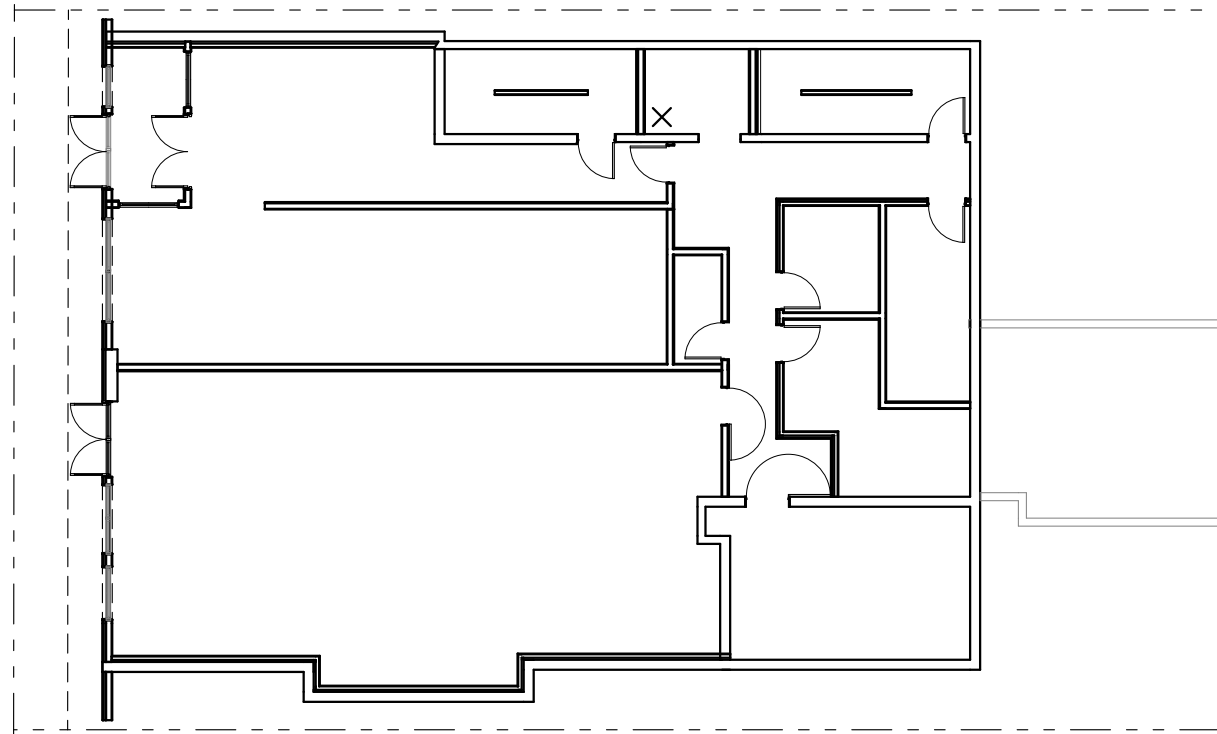
4 THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

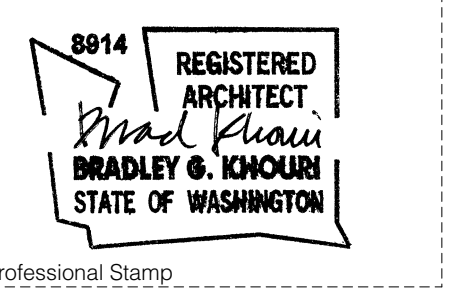
| SEDU COMPLIANCE | | UNIT SCHEDULE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---------------|--|-----------------|----------------------|--|--|--|-------------|-----------|---------------|-----------------|-----|---------------|--------|--------|-----|---------------|--------|--------|-----|---------------|--------|--------|-----|---------------|--------|--------|-----|---------------|--------|--------|-----|---------------|--------|--------|--|--|----------------|--|
| <p>DIRECTOR'S RULE 9-2017</p> <p>BACKGROUND: THIS RULE SETS FORTH MINIMUM ROOM SIZE AND OTHER TECHNICAL REQUIREMENTS FOR SMALL EFFICIENCY DWELLING UNITS.</p> <p>SEATTLE BUILDING CODE (SBC) SECTION 1208 OUTLINES MINIMUM INTERIOR SPACE DIMENSIONS FOR ROOM WIDTHS (1208.1), CEILING HEIGHTS (1208.2), AND ROOM AREA, (1208.3) FOR DWELLING UNITS, AND (1208.4) FOR EFFICIENCY DWELLING UNITS. SECTION 1208.4 ALSO REQUIRES UNITS TO BE PROVIDED A SEPARATE CLOSET AND BATHROOM, KITCHEN AREA WITH A KITCHEN SINK, COOKING APPLIANCE, AND REFRIGERATION FACILITIES.</p> <p>THIS RULE ALLOWS FOR EFFICIENCY UNITS SMALLER THAN REQUIRED BY SECTION 1208.4, WHEN OTHER SPECIFIED AMENITIES ARE PROVIDED.</p> <p>RULE: DWELLING UNITS SHALL COMPLY WITH THE SBC SECTION 1208 FOR INTERIOR DIMENSIONS, EXCEPT WHEN MODIFIED BY THIS RULE. SMALL EFFICIENCY DWELLING UNITS (SEDU) ARE SINGLE, INDEPENDENT, RESIDENTIAL UNITS CONSISTING OF ONE HABITABLE ROOM (EXCLUDING KITCHEN, BATH, CLOSETS, STORAGE AREAS, AND BUILT-INS), DWELLING UNITS HAVING A LIVING ROOM FLOOR AREA 220 SQUARE FEET OR GREATER, OR A TOTAL GROSS UNIT SIZE EXCEEDING 320 SQUARE FEET MEASURED TO THE INTERIOR FACE OF UNIT BOUNDING WALLS, ARE NOT CONSIDERED SMALL EFFICIENCY DWELLING UNITS AND AT A MINIMUM, SHALL MEET THE EFFICIENCY DWELLING UNIT REQUIREMENTS FOUND IN SBC SECTION 1208.4.</p> <p>FLOOR AREA: HABITABLE SPACE: A SEDU SHALL HAVE A LIVING ROOM OF AT LEAST 120 SQUARE FEET OF NET FLOOR AREA OF HABITABLE SPACE MEETING DIMENSIONS OUTLINED IN SBC 1208.1 AND 1208.2.</p> | | <p>NOTES:</p> <ol style="list-style-type: none"> DWELLING UNITS MEET THE STANDARDS OF THE 2015 SEATTLE BUILDING CODE, SECTION 1208 AND SMC 23.42.048 SEE UNIT PLANS 1/A0.13, 2/A0.13, 3/A0.13 FOR ALLOCATION OF MINIMUM 30 SF OF OCCUPIABLE AREA AND STORAGE SPACE FOR EACH SEDU UNIT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>OCCUPIABLE SPACE: A SEDU SHALL HAVE AN ADDITIONAL 30 SQUARE FEET OF NET FLOOR AREA OF OCCUPIABLE SPACE, WHICH IS NOT REQUIRED TO MEET THE HABITABLE SPACE DIMENSIONS OF SBC 1208.1, CONTIGUOUS TO THE 120-NET SQUARE FOOT LIVING ROOM FLOOR AREA. THE REQUIRED 150 SQUARE FEET OF NET FLOOR AREA OF CONTIGUOUS HABITABLE/OCCUPIABLE SPACE SHALL BE ON ONE FLOOR LEVEL. SPACE OCCUPIED BY STRUCTURAL FEATURES, BATHROOMS, CLOSETS, CABINETS, APPLIANCES, BUILT-INS, OR ANY ENCROACHMENTS NOT SPECIFIED IN SBC 1208.1 AND 1208.2, SHALL NOT BE INCLUDED WHEN CALCULATING THE REQUIRED NET FLOOR AREA.</p> <p>FOOD PREPARATION AREA: A FOOD PREPARATION AREA SHALL BE PROVIDED WITH THE FOLLOWING COMPONENTS WITH EACH HAVING A CLEAR WORKING SPACE OF NOT LESS THAN 30 INCHES:</p> <ul style="list-style-type: none"> • COOKING APPLIANCE; • REFRIGERATOR; • SINK WITH HOT AND COLD WATER; • FOOD AND UTENSIL STORAGE SPACE; AND • CONTIGUOUS COUNTERTOP WORK AREA OF NOT LESS THAN 4 SQUARE FEET <p>FOR THE PURPOSES OF THIS RULE ONLY, A MICROWAVE OVEN IS PERMITTED TO SERVE AS THE COOKING APPLIANCE AND SHALL NOT ENCROACH ON THE REQUIRED COUNTERTOP WORK AREA. THE FOOD PREPARATION AREA SHALL BE PROVIDED WITH TWO 20 AMPERES SMALL APPLIANCE BRANCH CIRCUITS. EACH CIRCUIT SHALL SERVE AT LEAST ONE DUPLEX RECEPTACLE BUILT-IN COOKING APPLIANCES SHALL BE ON AN ADDITIONAL CIRCUIT.</p> <p>CLOSETS AND STORAGE: A BUILT-IN CLOSET SHALL BE PROVIDED WITHIN EACH UNIT. THE PORTION OF A CLOSET USED TO STORE BUILT-IN BEDS OR OTHER EQUIPMENT SHALL NOT BE COUNTED IN THE SEDU'S REQUIRED SQUARE FOOTAGE, AND IT ALSO SHALL NOT BE COUNTED AS A REQUIRED CLOSET. ADDITIONALLY, THERE SHALL BE 55 CUBIC FEET OF STORAGE SPACE PROVIDED FOR EACH UNIT, LOCATED ANYWHERE WITHIN THE BUILDING, AND SEVERAL MAY BE GROUPED TOGETHER IN A COMMON STORAGE AREA.</p> <p>NATURAL LIGHT: HABITABLE/OCCUPIABLE SPACE SHALL BE PROVIDED WITH NATURAL LIGHT PER SBC SECTION 1205.2.</p> | | <table border="1"> <thead> <tr> <th colspan="4">SCHEDULE SEDU UNIT</th> </tr> <tr> <th>Zone Number</th> <th>Unit Type</th> <th>Measured Area</th> <th>Calculated Area</th> </tr> </thead> <tbody> <tr> <td>302</td> <td>SEDU - TYPE 1</td> <td>267.23</td> <td>125.28</td> </tr> <tr> <td>402</td> <td>SEDU - TYPE 1</td> <td>267.23</td> <td>124.95</td> </tr> <tr> <td>502</td> <td>SEDU - TYPE 1</td> <td>286.13</td> <td>124.87</td> </tr> <tr> <td>602</td> <td>SEDU - TYPE 1</td> <td>286.13</td> <td>124.87</td> </tr> <tr> <td>702</td> <td>SEDU - TYPE 2</td> <td>255.01</td> <td>126.13</td> </tr> <tr> <td>703</td> <td>SEDU - TYPE 3</td> <td>259.53</td> <td>130.01</td> </tr> <tr> <td colspan="2"></td> <td>1,581.26 sq ft</td> <td></td> </tr> </tbody> </table> | | SCHEDULE SEDU UNIT | | | | Zone Number | Unit Type | Measured Area | Calculated Area | 302 | SEDU - TYPE 1 | 267.23 | 125.28 | 402 | SEDU - TYPE 1 | 267.23 | 124.95 | 502 | SEDU - TYPE 1 | 286.13 | 124.87 | 602 | SEDU - TYPE 1 | 286.13 | 124.87 | 702 | SEDU - TYPE 2 | 255.01 | 126.13 | 703 | SEDU - TYPE 3 | 259.53 | 130.01 | | | 1,581.26 sq ft | |
| SCHEDULE SEDU UNIT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 702 | SEDU - TYPE 2 | 255.01 | 126.13 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 703 | SEDU - TYPE 3 | 259.53 | 130.01 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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Architect of Record
b9 architects
610 2nd Avenue
Seattle, WA 98104
206.297.1284
www.b9architects.com

Project:
2210 Eastlake Avenue E

Location:
2210 Eastlake Ave E
Seattle, WA 98102

SDCI Number: 3036179-LU
6772985-CN

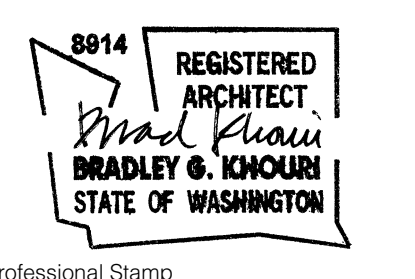



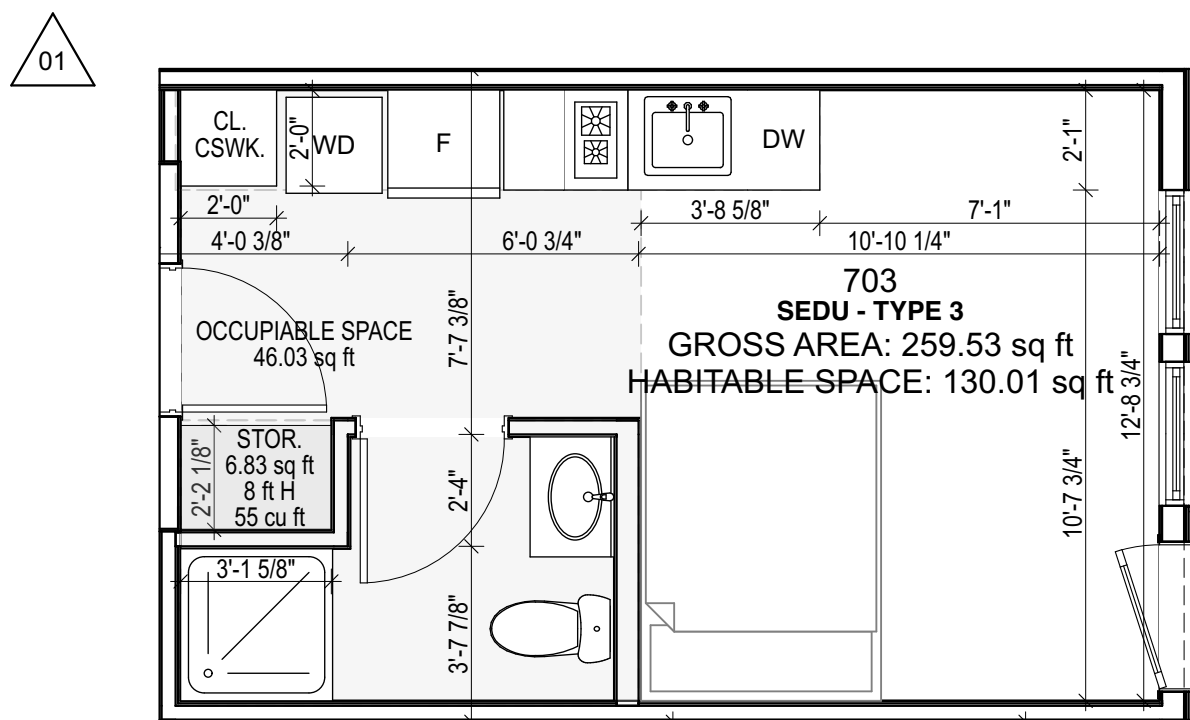
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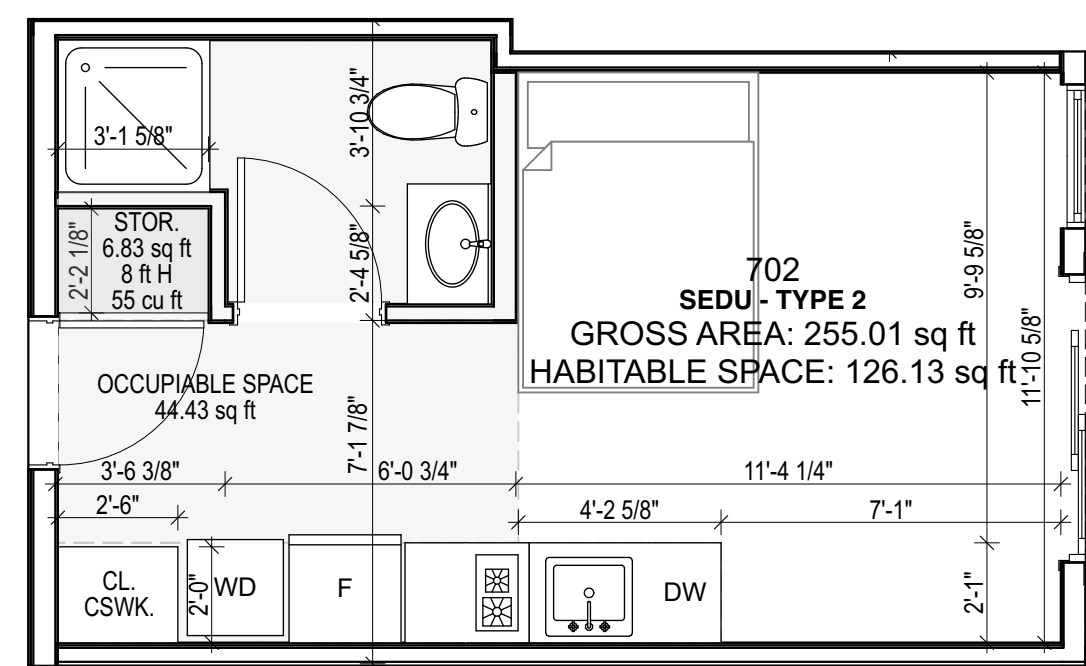
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SEDU Compliance

A0.17

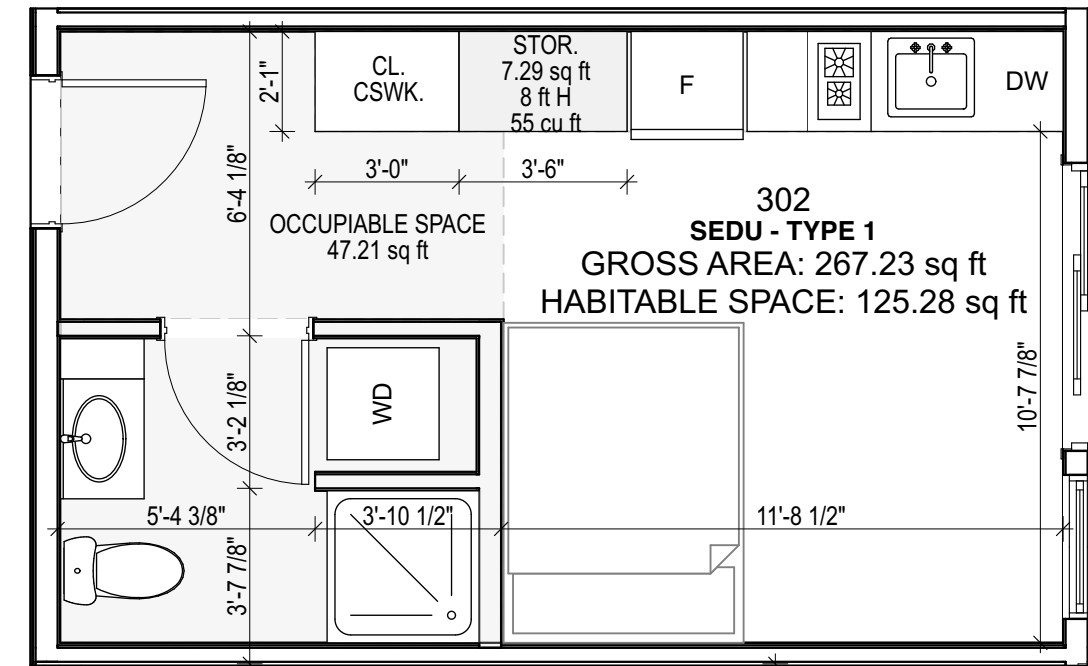
| SEDU COMPLIANCE | UNIT SCHEDULE | Architect of Record | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|--|----------|------------|------------|--|-------------------|----------|--|---------------------|---------|---|-------------------|---------|---|-------------------|---------|---|------------------|--------|---|-------------------|---------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
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| <p>Project: 2210 Eastlake Avenue E</p> <p>Location: 2210 Eastlake Ave E Seattle, WA 98102</p> <p>SDCI Number: 3036179-LU 6772985-CN</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <table border="1"> <thead> <tr> <th>Issue ID</th> <th>Issue Name</th> <th>Issue Date</th> </tr> </thead> <tbody> <tr> <td></td> <td>Master Use Permit</td> <td>11/17/20</td> </tr> <tr> <td></td> <td>Building Permit Set</td> <td>1/15/21</td> </tr> <tr> <td>1</td> <td>MUP CORRECTIONS 1</td> <td>4/20/21</td> </tr> <tr> <td>2</td> <td>MUP CORRECTIONS 2</td> <td>7/16/21</td> </tr> <tr> <td>3</td> <td>BP CORRECTIONS 1</td> <td>9/7/21</td> </tr> <tr> <td>4</td> <td>MUP CORRECTIONS 3</td> <td>9/27/21</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> | | | Issue ID | Issue Name | Issue Date | | Master Use Permit | 11/17/20 | | Building Permit Set | 1/15/21 | 1 | MUP CORRECTIONS 1 | 4/20/21 | 2 | MUP CORRECTIONS 2 | 7/16/21 | 3 | BP CORRECTIONS 1 | 9/7/21 | 4 | MUP CORRECTIONS 3 | 9/27/21 | | | | | | | | | | | | | | | | | | | | | |
| Issue ID | Issue Name | Issue Date | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Master Use Permit | 11/17/20 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Building Permit Set | 1/15/21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | MUP CORRECTIONS 1 | 4/20/21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | MUP CORRECTIONS 2 | 7/16/21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | BP CORRECTIONS 1 | 9/7/21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | MUP CORRECTIONS 3 | 9/27/21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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3 SEDU TYPE 3
SCALE: 1/4" = 1'-0"



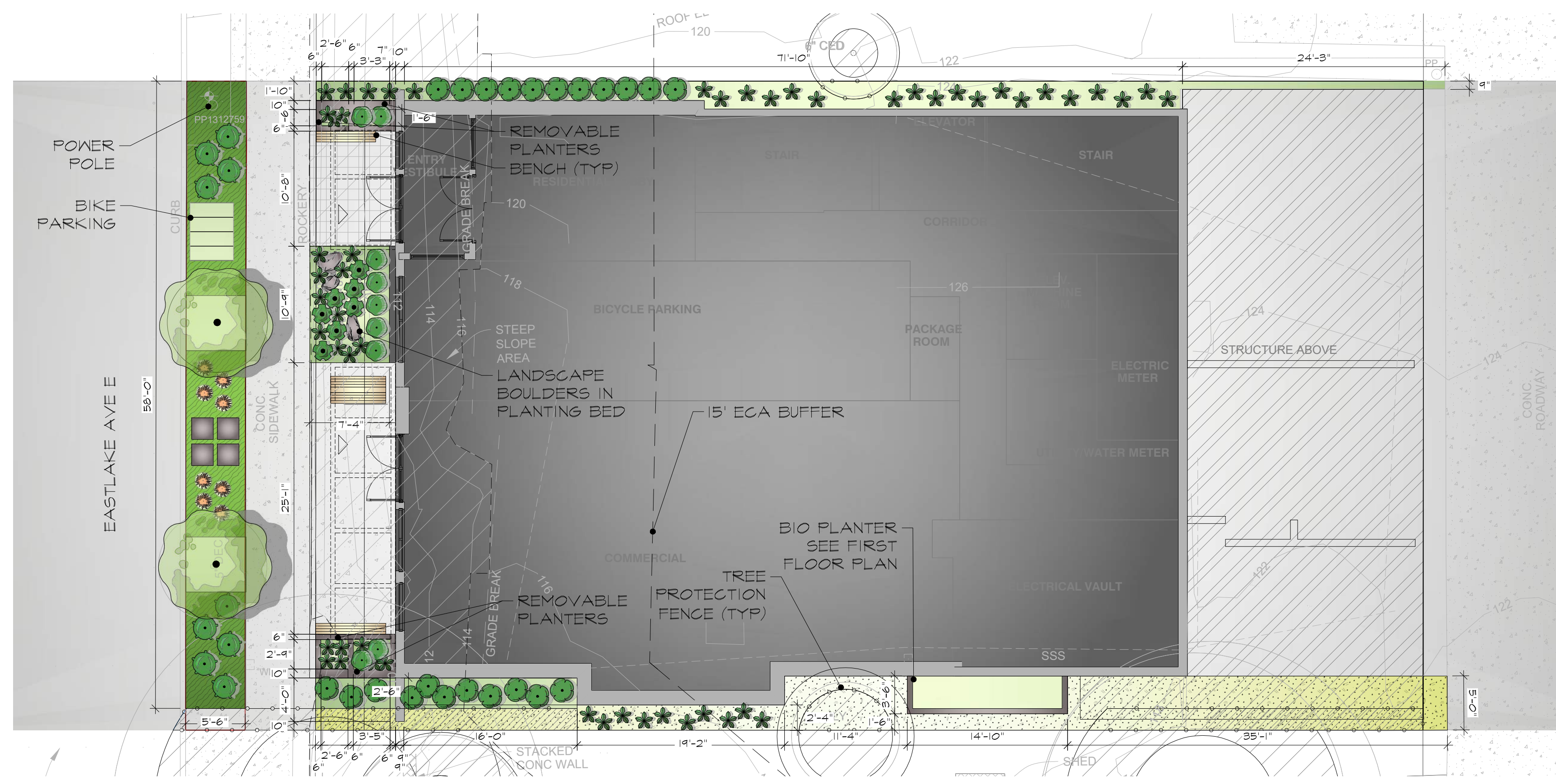
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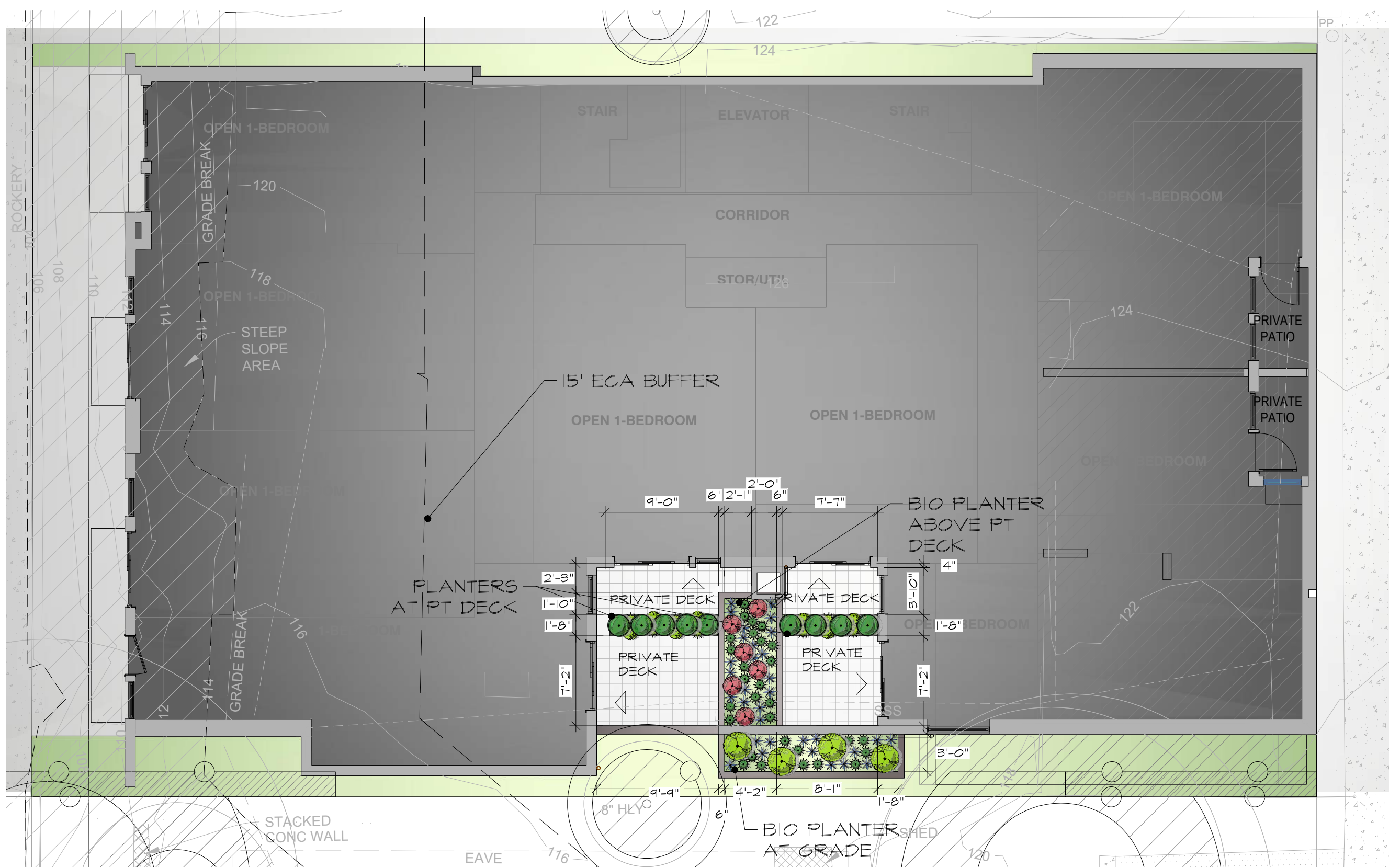
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SCALE: 1/4" = 1'-0"

**Land Use Code -
SEDU Compliance**

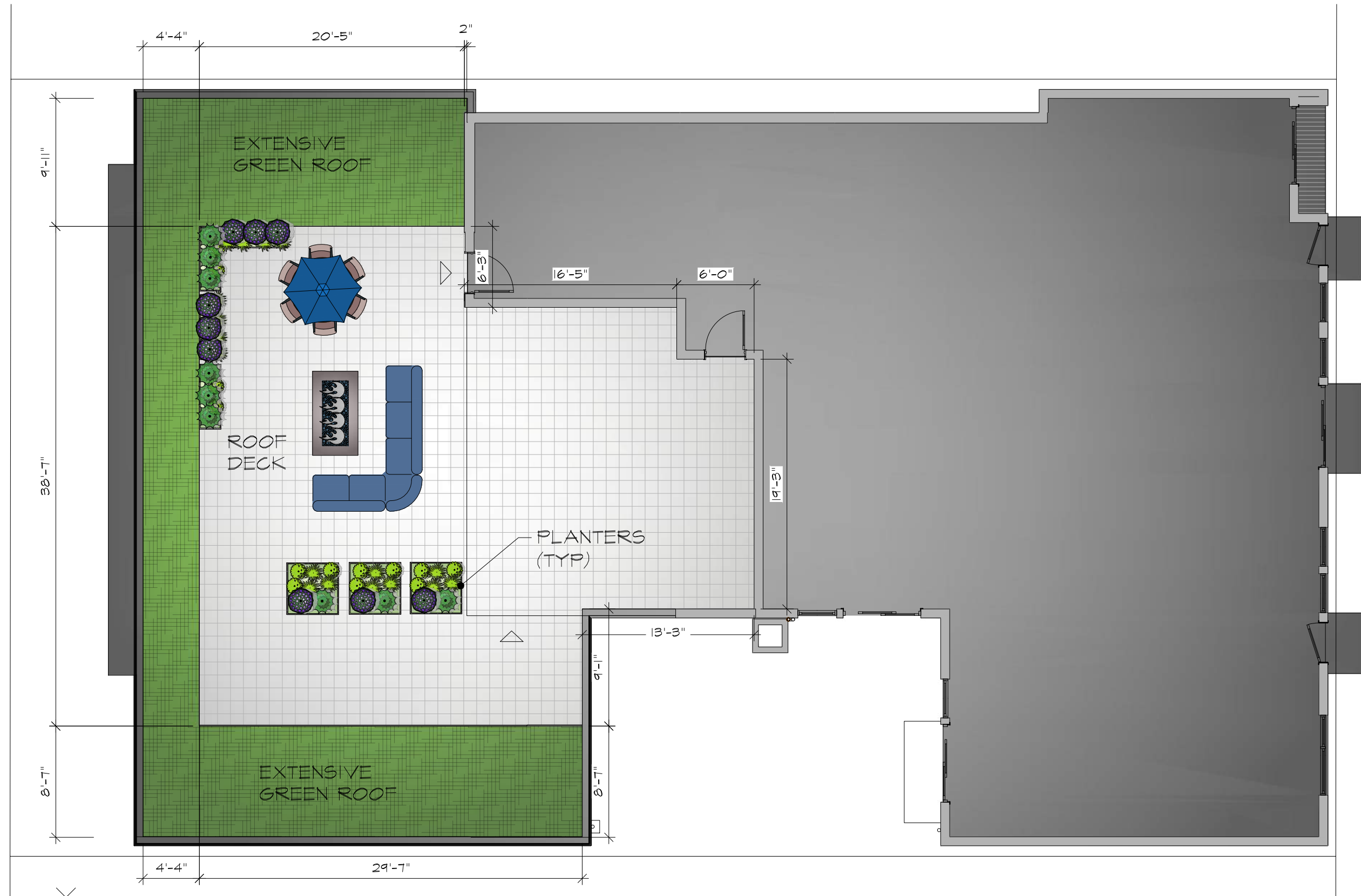
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RENDERED FIRST FLOOR LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"

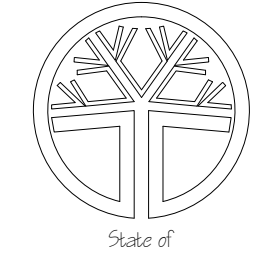


RENDERED FIRST FLOOR LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"



RENDERED ROOF DECK LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"

Root of Design
 206.491.9545
 PO BOX #232
 Stanwood, WA 98292



Devin Peterson
 Licensed Landscape Architect
 certificate no. 1222

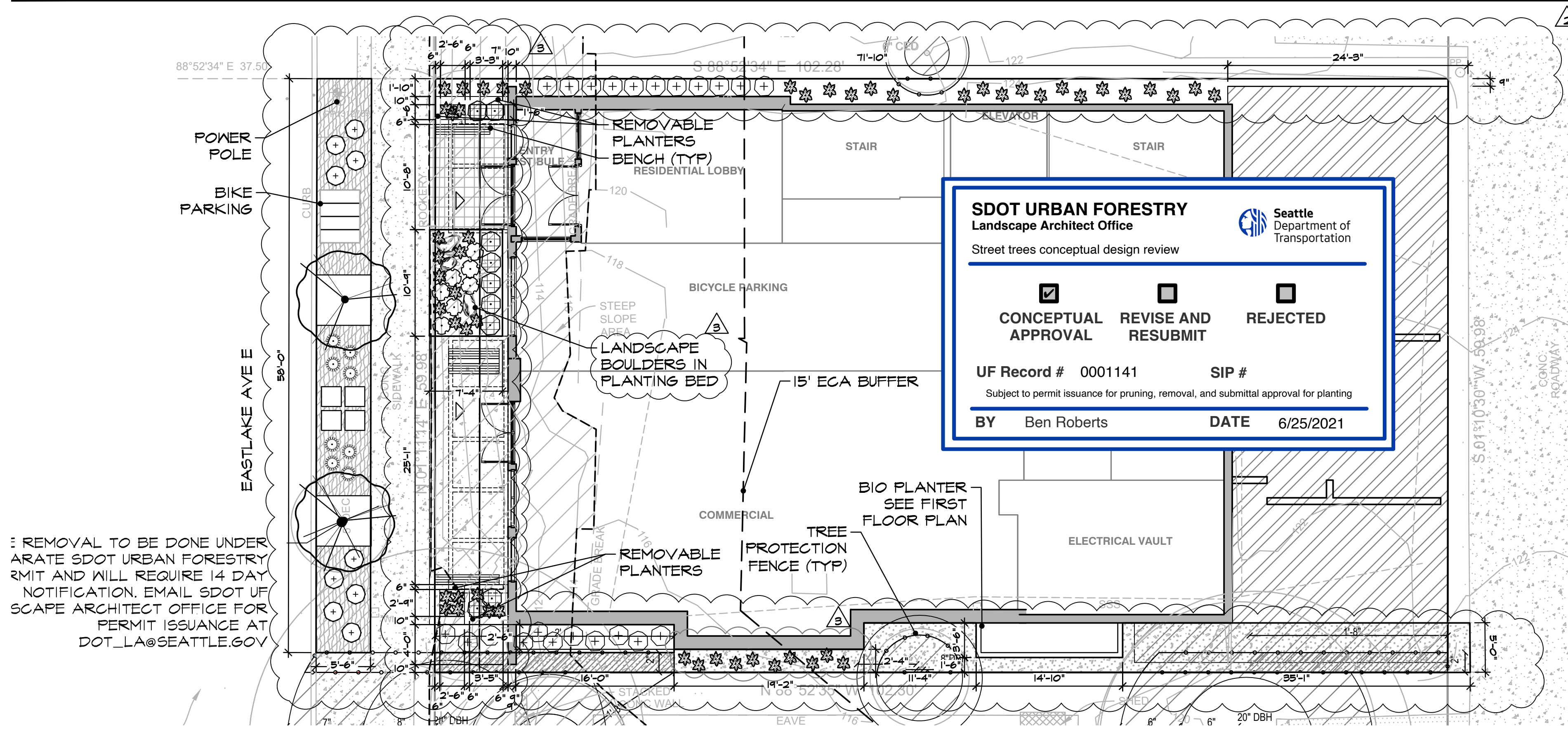
PROJECT TITLE

RENDERED LANDSCAPE PLAN
 2210 EASTLAKE AVE E SEATTLE, WA

| DRAWN | DATE |
|---------|----------|
| | 10.29.20 |
| REVISED | DATE |
| | 11.05.20 |
| | 01.14.21 |
| | 02.04.21 |
| | 03.09.21 |
| | 06.22.21 |

1/8" = 1'-0"

LO



SDOT PERMIT REQUIREMENTS INCLUDE NOTIFICATION OF THE LANDSCAPE ARCHITECT OF RECORD (SEE REGISTRATION # 1222 AND CONTACT INFORMATION ON THE TITLE BLOCK OF PERMIT PLANS) AS THE PROJECT REPRESENTATIVE RESPONSIBLE FOR:

- PRECONSTRUCTION PROVISIONS FOR TREE PROTECTION INSPECTION PRIOR TO FIRST GROUND DISTURBANCE ON SITE TO:
1. CONFIRM TREE PROTECTION MEASURES INSPECT TREE PROTECTION FOR COMPLIANCE WITH STANDARD PLANS 132A / 133 & STANDARD SPECIFICATIONS 8-01.3(2)B (TVSPP). STANDARD PLAN 132B IS DISALLOWED IN PLANTING STRIPS. CHAIN LINK ENCLOSURES SHALL INCLUDE ALL UNPAVED AREA WITHIN THE CRITICAL ROOT ZONE (CRZ) PER PLAN 133.
 2. CONFIRM PRUNING NECESSARY FOR STANDARD CLEARANCES (8' OVER SIDEWALK & 14' OVER STREETS & SUBMIT APPLICATION FOR AN SDOT URBAN FORESTRY PRUNING PERMIT (THROUGH THE ACCELA PORTAL).
 3. CONFIRM AND PHOTODOCUMENT SITE CONDITIONS AND/OR CONSTRUCTABILITY CONFLICTS WITH CRZ PROTECTION.
 4. CONFIRM LIMITS FOR SOIL QUALITY AND DEPTH REQUIREMENTS TO EXCLUDE THE CRZ OF TREES TO BE RETAINED.
- LANDSCAPE CONSTRUCTION FROM START UP TO COMPLETION
5. CONFIRM IRRIGATION SYSTEM LAYOUT TO AVOID IMPACT WITHIN THE CRZ OF TREES TO BE RETAINED.
 6. INSPECT TREES TO CONFIRM SPECIES PER THE (SDOT/SDCI) APPROVED LANDSCAPE PLAN & ENSURE COMPLIANCE WITH INDUSTRY STANDARDS ASNS (ANSI Z60.1) PRIOR TO ACCEPTANCE AND APPROVAL FOR INSTALLATION.
 7. INSPECT SOIL PREPARATION EXCLUDING CRZ OF RETAINED TREES & MEET APPLICABLE STANDARD PLANS & SPECIFICATIONS.
 8. INSPECT UNDERSTORY PLANTS TO CONFIRM SPECIES PER THE (SDOT/SDCI) APPROVED LANDSCAPE PLAN AND ENSURE COMPLIANCE WITH INDUSTRY STANDARDS (ANSI Z60.1) PRIOR TO ACCEPTANCE AND APPROVAL FOR INSTALLATION.
 9. INSPECT AND PHOTODOCUMENT CONDITIONS WITHIN THE CRZ OF RETAINED TREES PRIOR TO INSTALLATION OF WOOD CHIP MULCH (OR, WHERE APPLICABLE, FLEXIBLE POROUS SURFACE TREATMENT).

MONITORING & MAINTENANCE

THE FOLLOWING MONITORING AND MAINTENANCE IS REQUIRED FOR A FIVE YEAR PERIOD STARTING AT THE TIME OF PLANT INSTALLATION. SELF MONITORING IS SUFFICIENT. NO DOCUMENTATION IS REQUIRED TO BE SUBMITTED TO SDCI UNLESS REQUESTED.

- MAINTENANCE THAT ENSURES 80 PERCENT SURVIVAL OF NEW TREES AND VEGETATION PLANTED AT THE END OF FIVE YEARS.
- ANNUAL INSPECTIONS OF THE PLANTS.
- REPLACEMENT OF FAILED PLANTS.
- REMOVAL OF EXOTIC INVASIVE SPECIES THAT HAVE BECOME ESTABLISHED.
- PHOTOGRAPHIC DOCUMENTATION OF PLANTING SUCCESS RETAINED FOR THE FIVE YEAR PERIOD.
- NO PERMANENT IRRIGATION IS ALLOWED ON STEEP SLOPE EROSION HAZARD AREAS OR THEIR BUFFERS.



PLANT SCHEDULE *

| TREES | BOTANICAL / COMMON NAME | SIZE | DROUGHT TOLERANT | NATIVE | QTY |
|--------------|---|--------------|------------------|--------|-----|
| | <i>Corpinus caroliniana</i> 'JFS-KW6' TM / Native Flame American Hornbeam Street Tree | 2"- 2.5" Cal | No | No | 2 |
| SHRUBS | BOTANICAL / COMMON NAME | SIZE | DROUGHT TOLERANT | NATIVE | QTY |
| | <i>Acorus gramineus</i> 'Ogon' / Golden Variegated Sweetflag | 1 gal | Yes | No | 17 |
| | <i>Carex oshimensis</i> 'Everillo' / Everillo Japanese Sedge | 1 gal | Yes | No | 7 |
| | <i>Carex testacea</i> / Orange Sedge | 1 gal | Yes | No | 8 |
| | <i>Ceanothus thyrsiflorus</i> 'Diamond Heights' / Diamond Heights Ceanothus | 1 gal | Yes | No | 20 |
| | <i>Gaultheria shallon</i> / Salal | 1 gal | Yes | Yes | 22 |
| | <i>Ilex crenata</i> 'Sky Pencil' / Sky Pencil Japanese Holly | 20" Ht min | Yes | No | 9 |
| | <i>Lavandula angustifolia</i> 'Hidcote Blue' / Hidcote Blue Lavender | 1 gal | Yes | No | 9 |
| | <i>Mahonia repens</i> / Creeping Oregon Grape | 1 gal | Yes | Yes | 7 |
| | <i>Nandina domestica</i> 'Gulf Stream' TM / Heavenly Bamboo | 2 gal | Yes | No | 9 |
| | <i>Polystichum munitum</i> / Western Sword Fern | 1 gal | Yes | Yes | 55 |
| | <i>Prunus laurocerasus</i> 'Mount Vernon' / Mount Vernon Laurel | 2 gal | Yes | No | 9 |
| | <i>Vaccinium ovatum</i> / Evergreen Huckleberry | 1 gal | Yes | Yes | 9 |
| BIORETENTION | BOTANICAL / COMMON NAME | SIZE | DROUGHT TOLERANT | NATIVE | QTY |
| | <i>Carex obnupta</i> / Slough Sedge | 1 gal | Yes | Yes | 29 |
| | <i>Cornus alba</i> 'Gouchaultii' / Goldenleaf Dogwood | 5 gal | Yes | No | 4 |
| | <i>Cornus sericea</i> 'Kelsey' / Kelsey Dogwood | 3 gal | Yes | No | 6 |
| | <i>Juncus inflexus</i> 'Blue Arrow' / Blue Arrow Juncus | 1 gal | Yes | No | 32 |

PLANT SCHEDULE *

| GROUND COVERS | BOTANICAL / COMMON NAME | SIZE | DROUGHT TOLERANT | NATIVE | SPACING | QTY |
|---------------|---|--------|------------------|--------|----------|--------|
| | <i>Rubus calycinoides</i> 'Emerald Carpet' / Creeping Raspberry | 4' pot | Yes | No | 24" o.c. | 48 |
| GREEN ROOF | BOTANICAL / COMMON NAME | SIZE | DROUGHT TOLERANT | NATIVE | SPACING | QTY |
| | Etera Tile / Sun & Shade Mix Available at www.etera.com | Tiles | Yes | No | | 102 sf |
| SITE | BOTANICAL / COMMON NAME | SIZE | DROUGHT TOLERANT | NATIVE | SPACING | QTY |
| | Arborist Chips 3" Depth | N/A | | | | 347 sf |

NOTES:
 -See soil amendment detail for soil specifications COS plan 142.
 -See bioretention planter detail for bioretention specifications.
 -All planting beds to receive minimum 3-4" of mulch.
 -Contractor shall be responsible for providing the quantities of plants that are represented by symbols on the drawings.
 -Street Tree required. Plant Street Tree per COS Plan 100a. Water Tree for 3 growing seasons after planting.
 -All plantings and landscape elements required as part of this building permit must be maintained for the minimum required planting area or Green Factor score, new features must be added to compensate. This requirement also applies to landscape improvements in the right-of-way if used to meet Green Factor requirements (DR 30-2015).
 -Planting of trees, shrubs and groundcovers within the City of Seattle's right of way must be performed during the period between October 1st and April 30th. Unless automatic irrigation is installed or an agreed upon contractual watering plan is made.
 - Green roof to be 4' liveroof or approved equal. www.liveroof.com

ROOF TOP PLANTERS

IRRIGATION: ALL ROOF TOP PLANTINGS TO BE WATERED BY A 'BIDDER DESIGN' AUTOMATIC IRRIGATION SYSTEM. COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT IRRIGATION SYSTEM PRESSURE LINE HAS A MINIMUM OF 35 PSI AVAILABLE AT ROOF LEVEL.

LIGHT WEIGHT SOIL: ROOF TOP PLANTERS TO RECEIVE CEDAR GROVE COMPOST LIGHT WEIGHT SOIL OR APPROVED EQUAL.

Root of Design
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Stamwood, WA 98292

State of Washington
Registered Landscape Architect
Devon Peterson
Certificate no. 1222

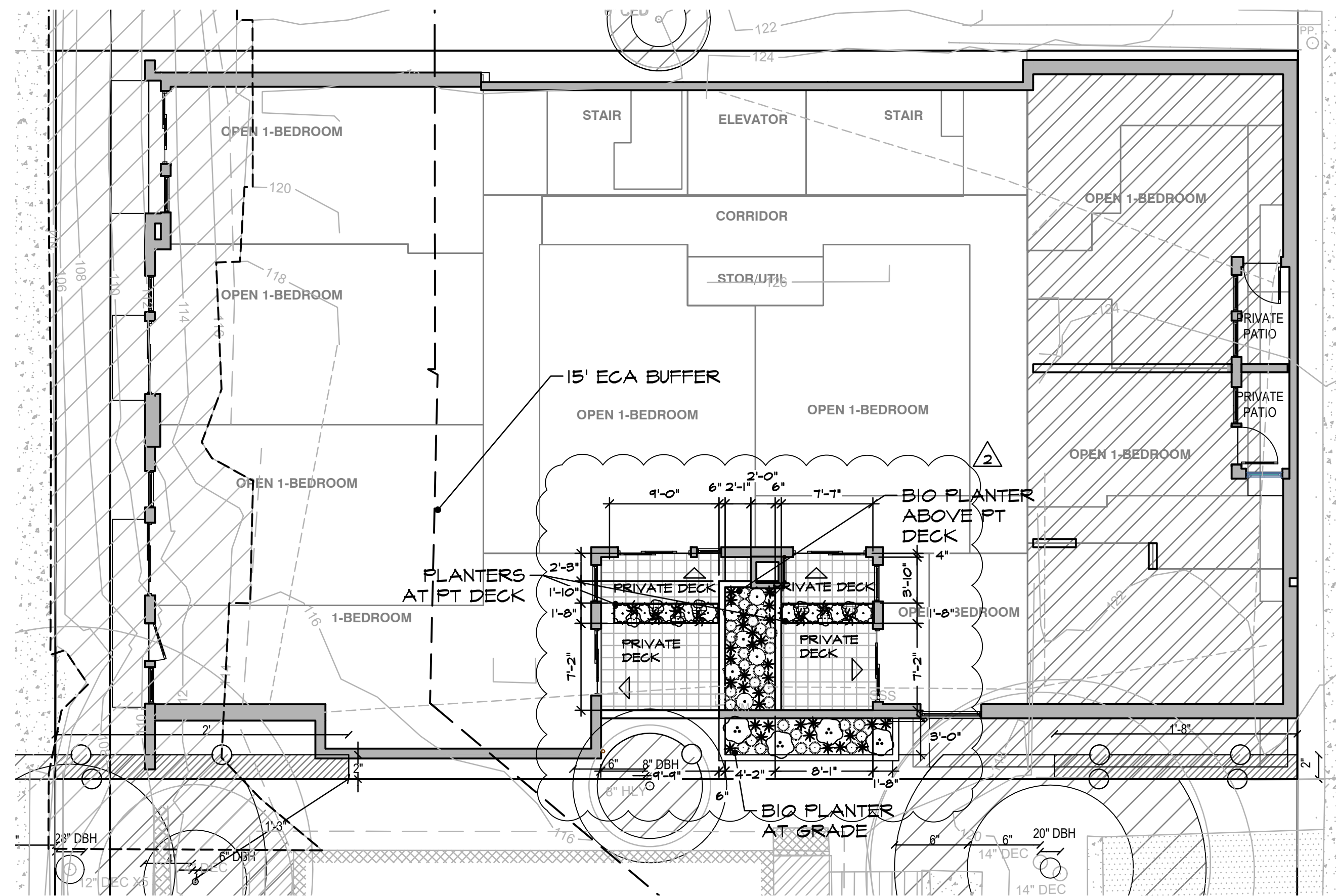
PROJECT TITLE

LANDSCAPE PLAN
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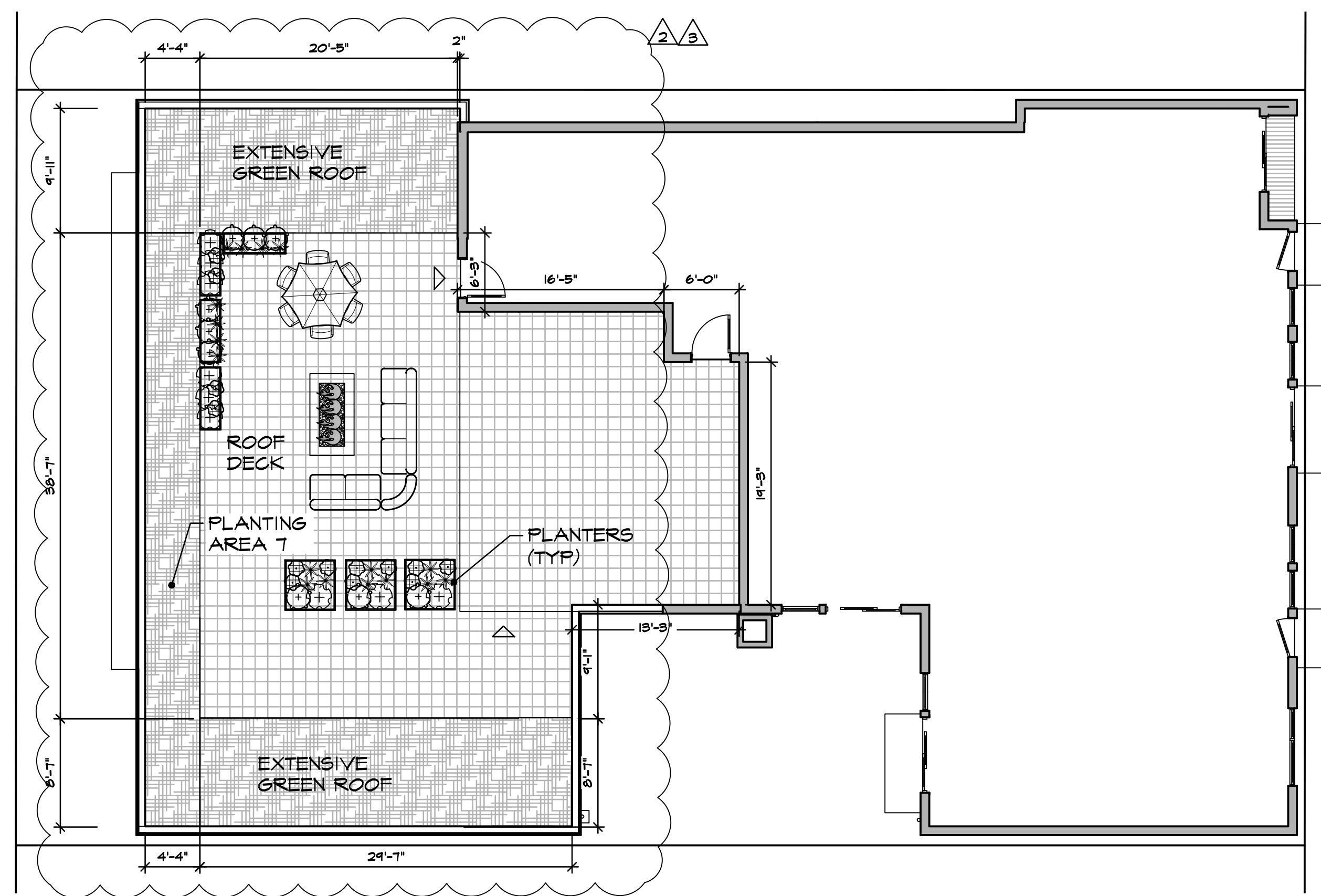
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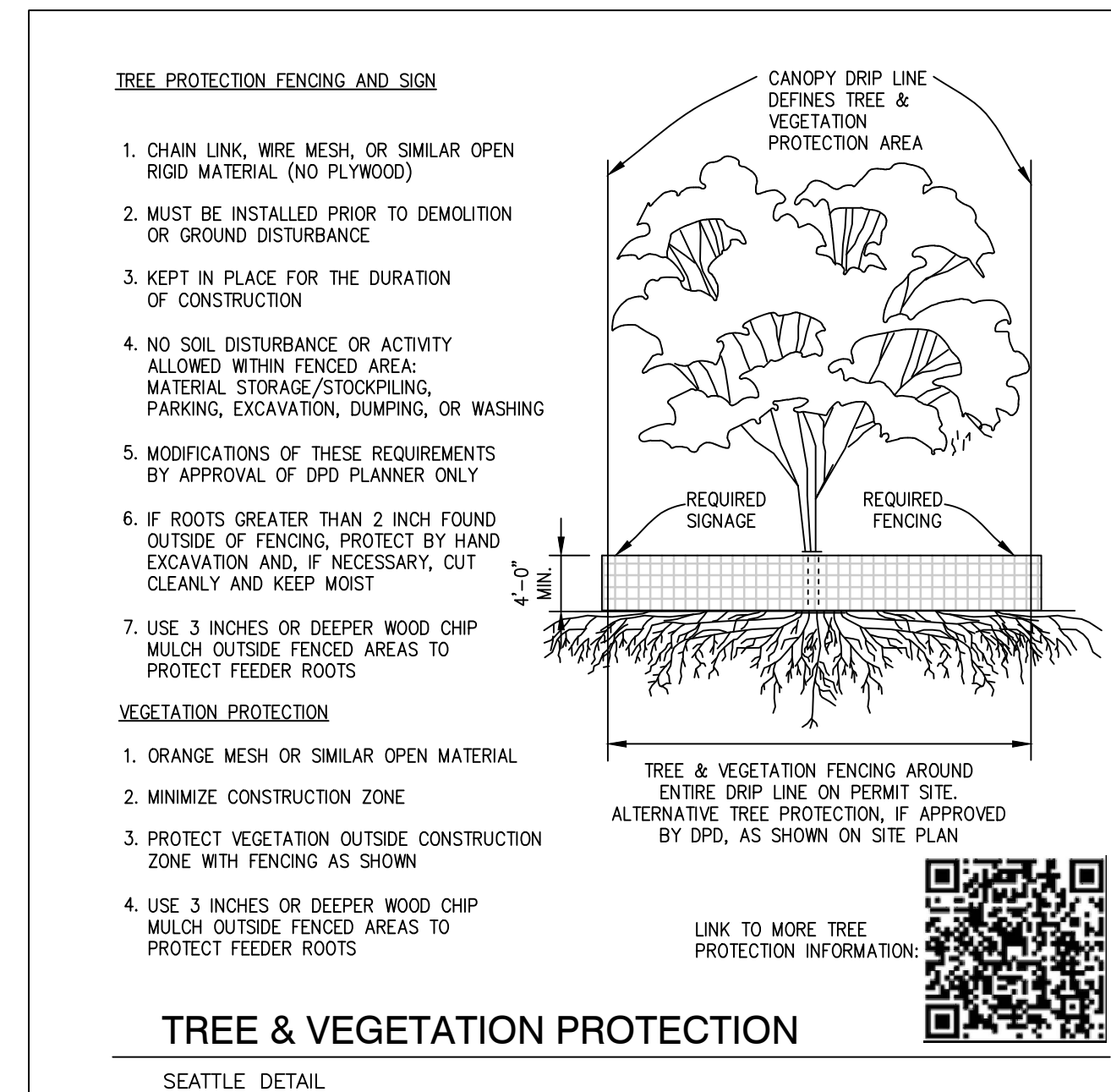
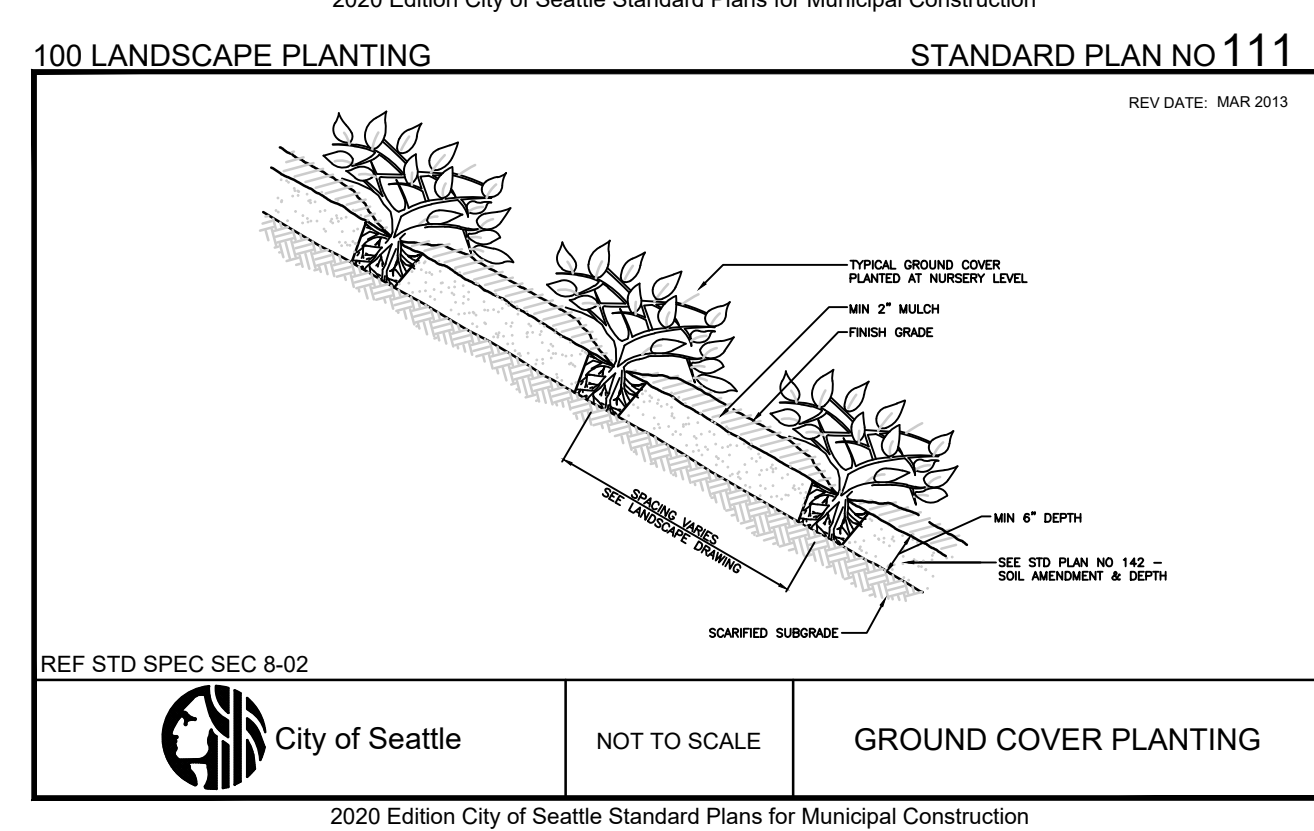
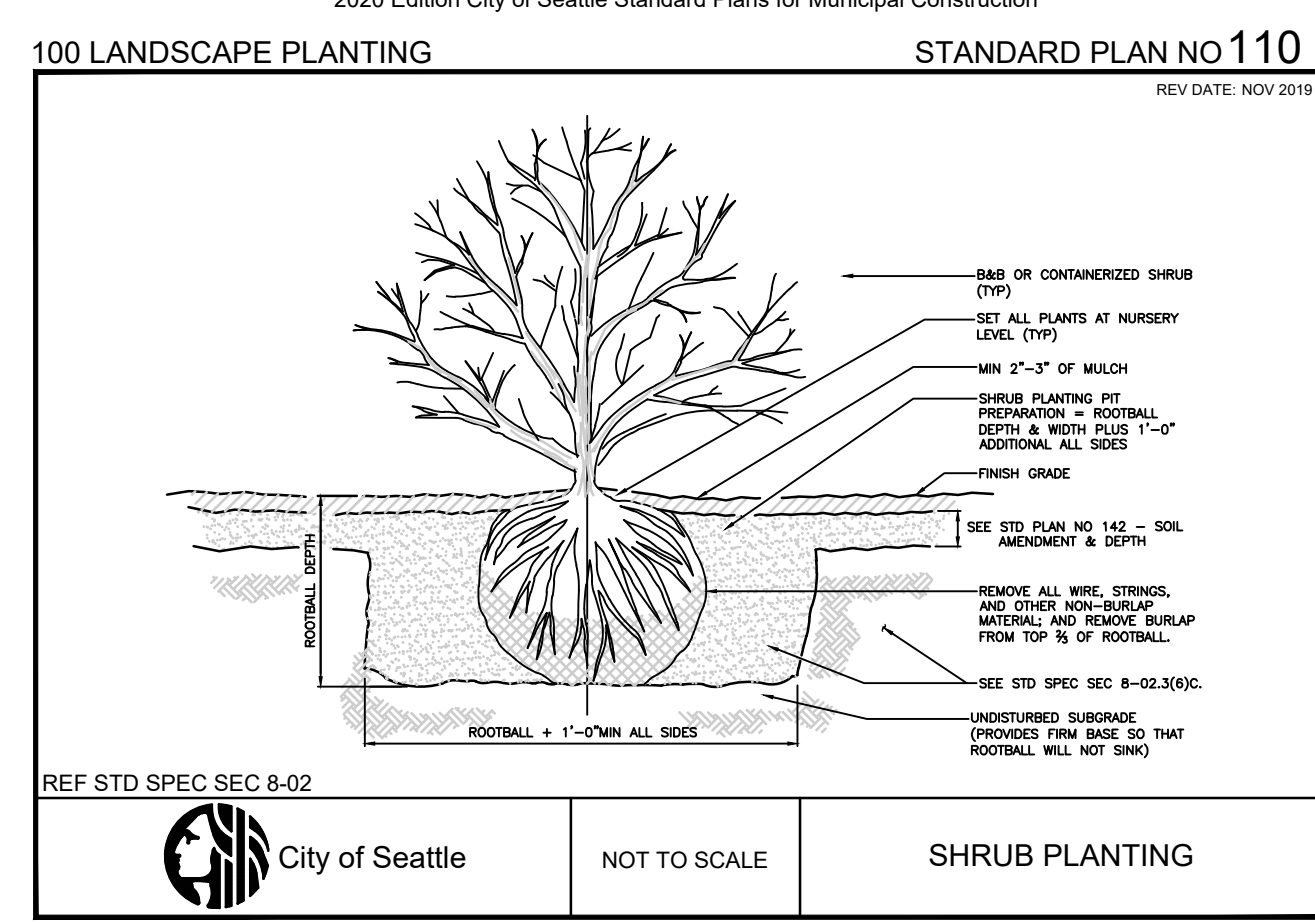
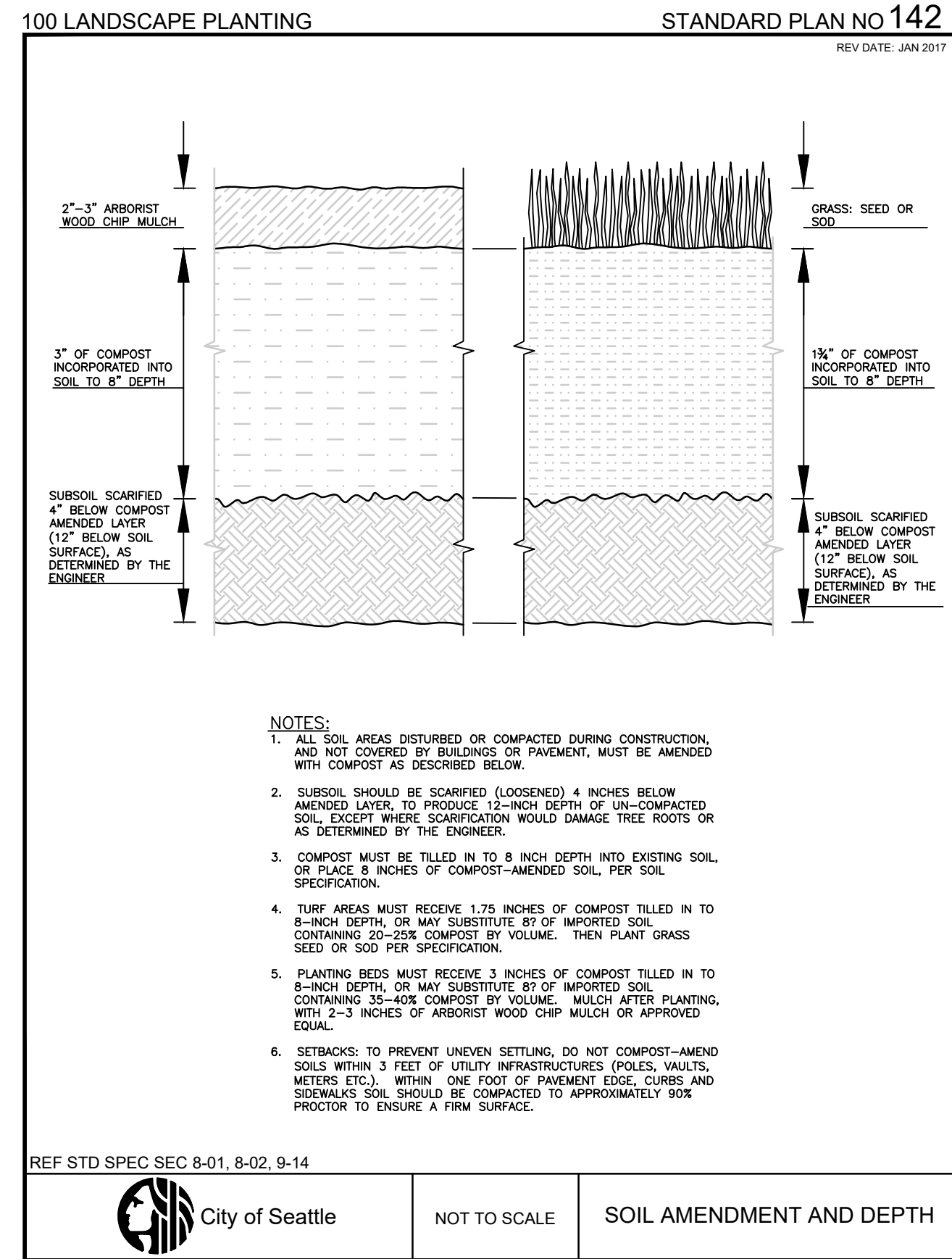
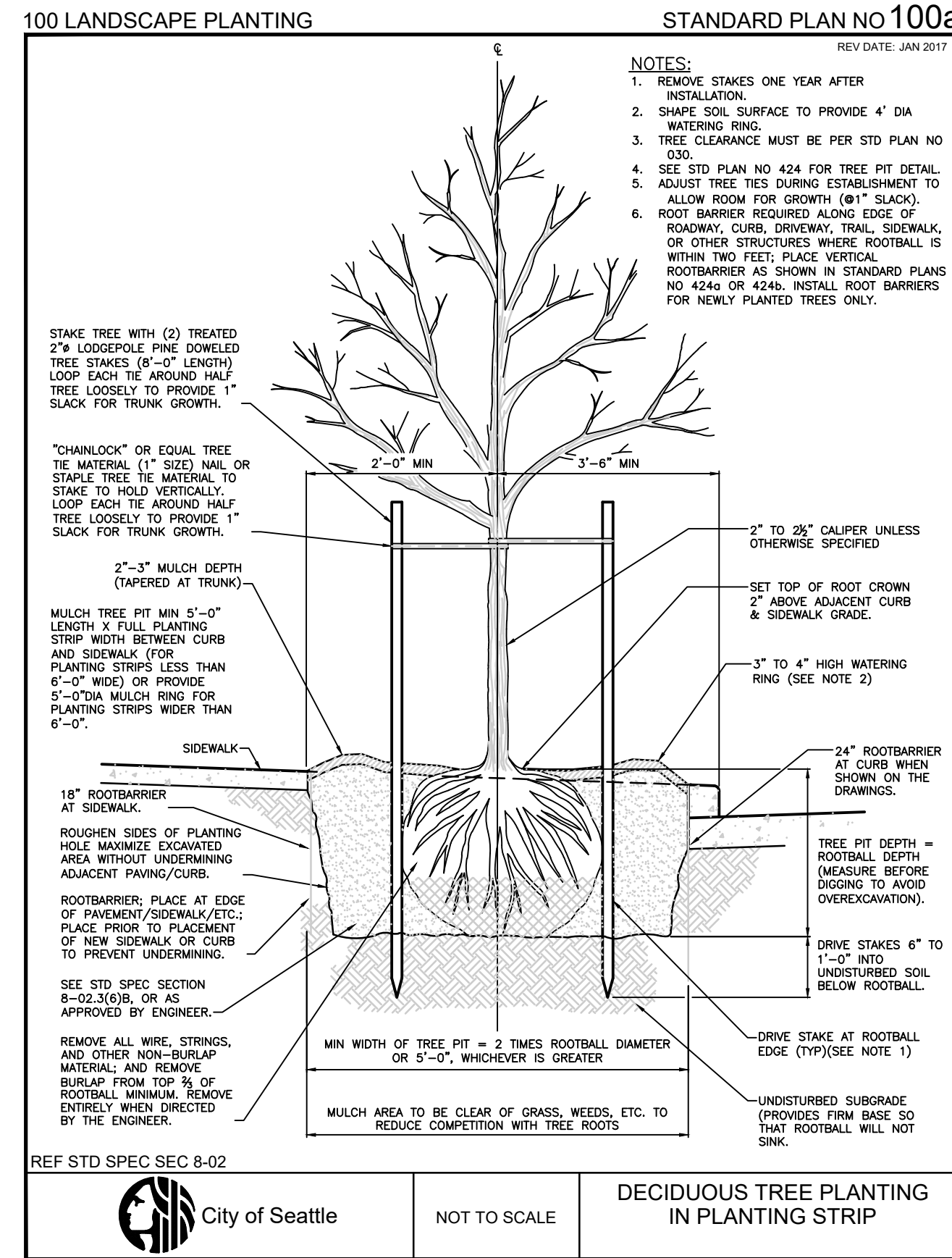
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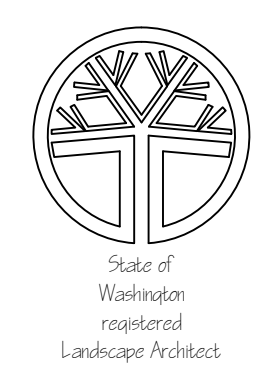
FIRST FLOOR LANDSCAPE PLAN
 NORTH
 SCALE: 1/8" = 1'-0"
 0 8 16 24 feet



ROOF DECK LANDSCAPE PLAN
 NORTH
 SCALE: 1/8" = 1'-0"
 0 8 16 24 feet



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 certificate no. 1222

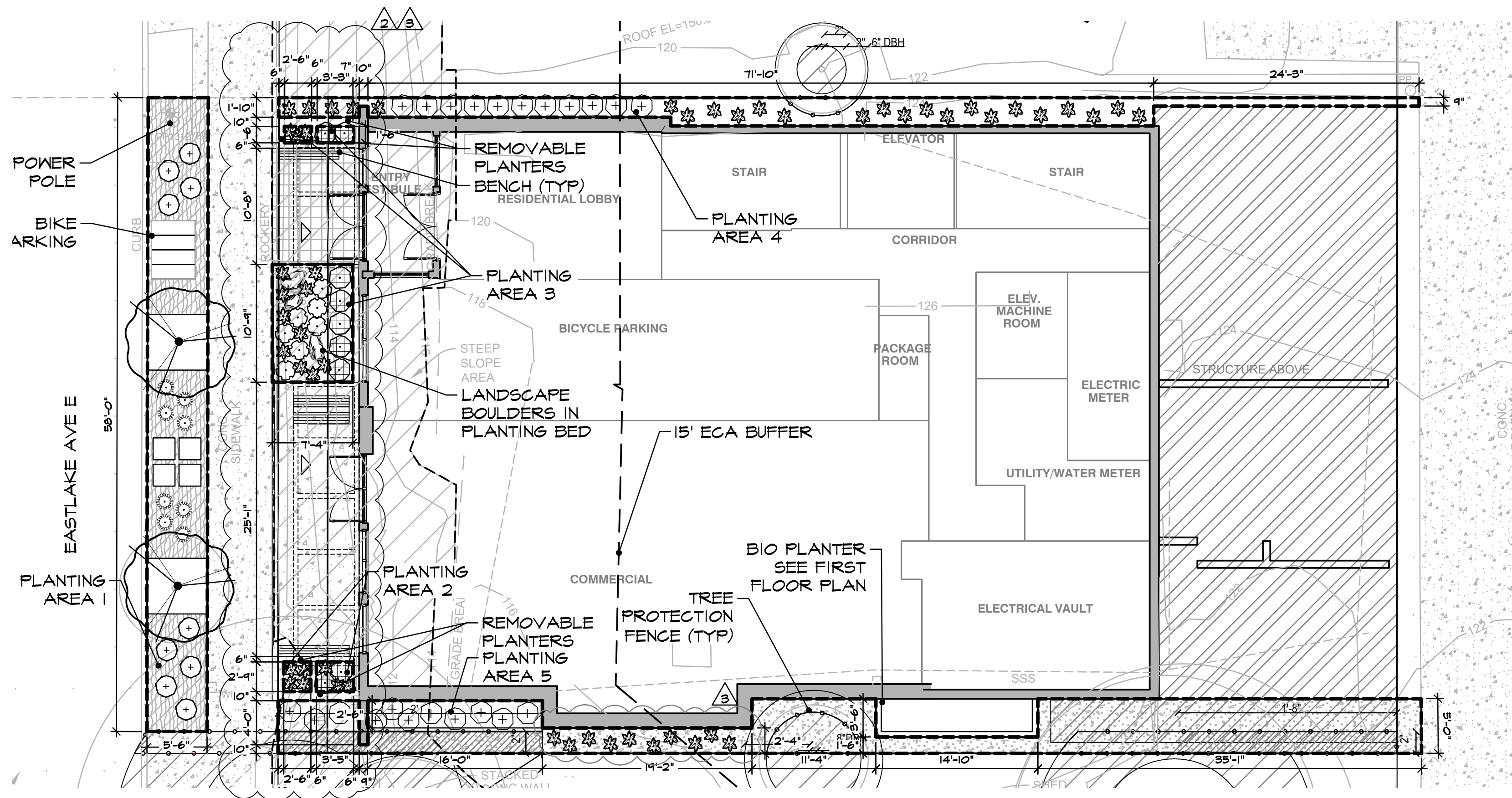
PROJECT TITLE

LANDSCAPE PLAN
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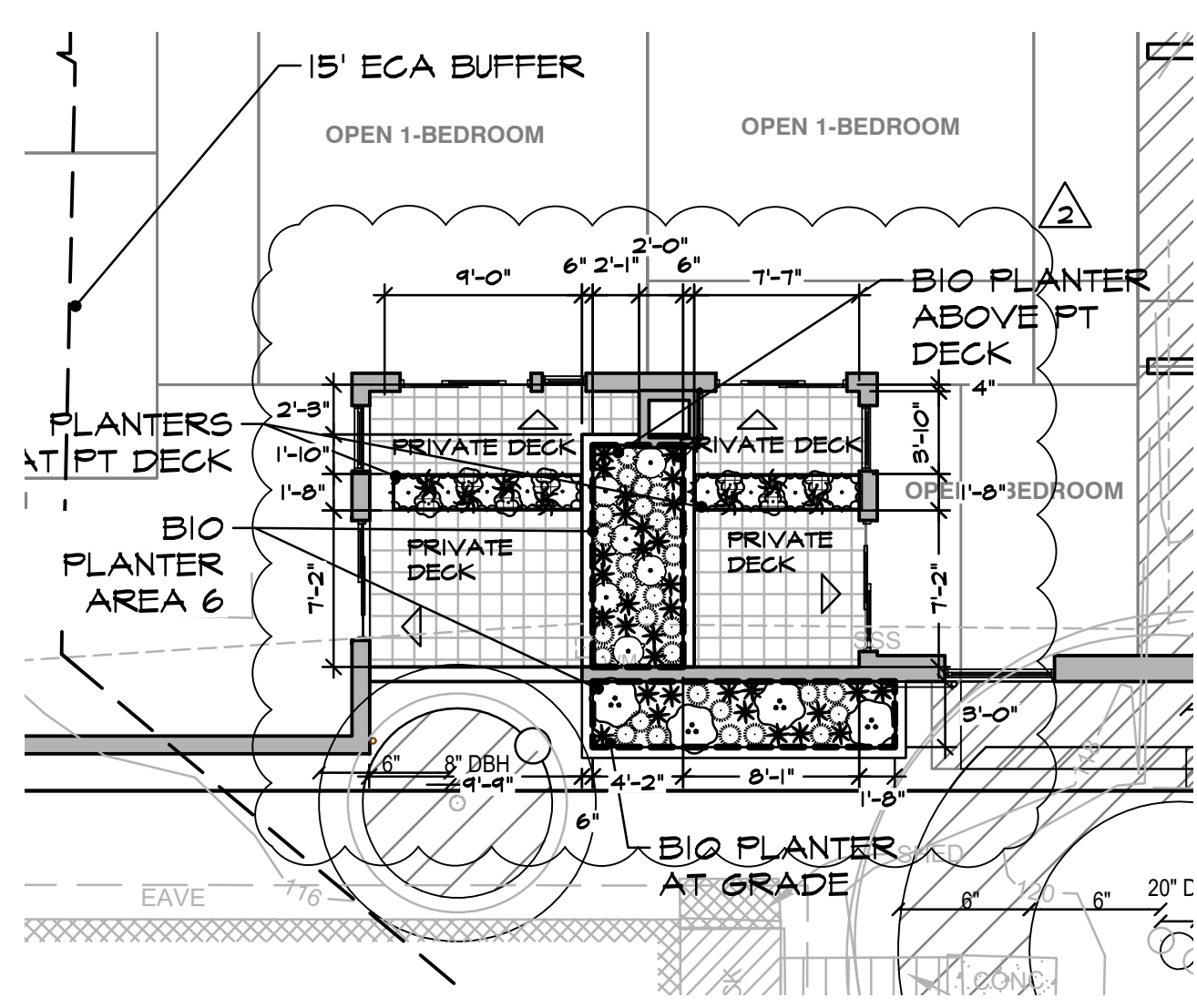
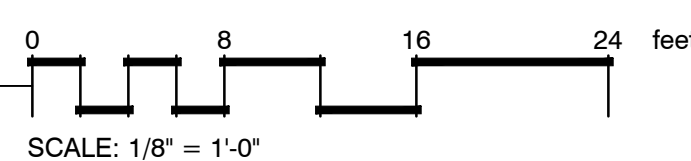
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| REVISED | DATE |
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1/8" = 1'-0"

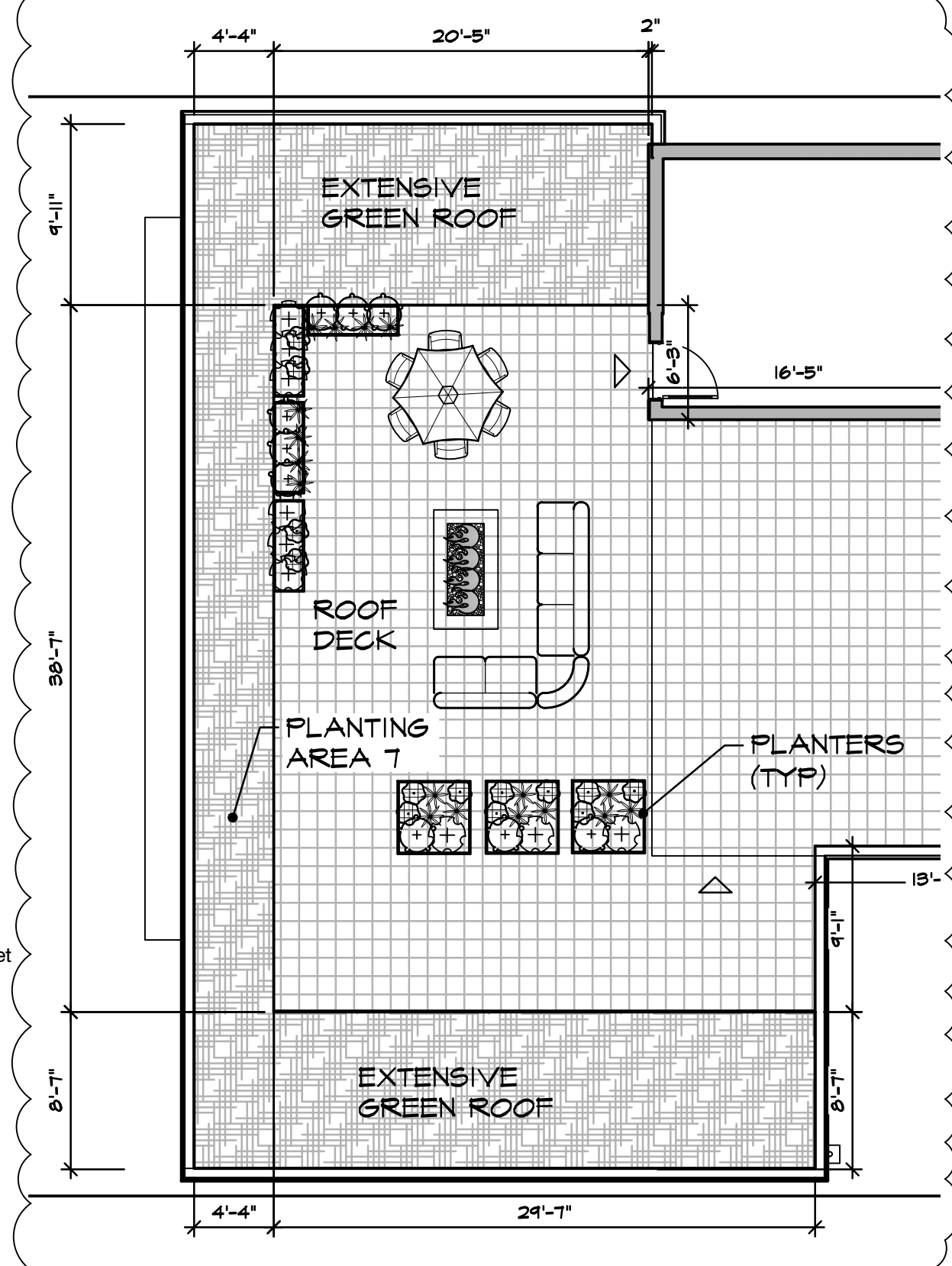
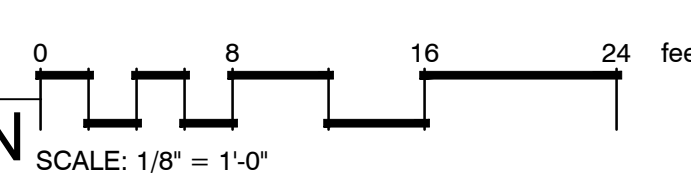
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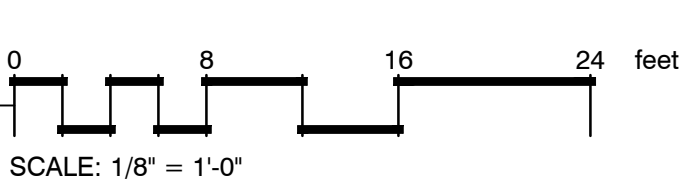
GROUND FLOOR PLAN
GREEN FACTOR PLAN



FIRST FLOOR
GREEN FACTOR PLAN



ROOF DECK
GREEN FACTOR PLAN



| Green Factor Worksheet | | Planting Area | | | | | | | Total |
|------------------------|-------------|---------------|-----|-----|-----|-----|-----|---|-------|
| Landscape Elements | | 1 | 2 | 3 | 4 | 5 | 6 | 7 | |
| A1 | square feet | 304 | 16 | 88 | 197 | 412 | | | 1017 |
| A2 | square feet | | | | | | 83 | | 83 |
| B1 | square feet | 304 | 16 | 88 | 197 | 412 | 83 | | 1100 |
| B2 | # of plants | 17 | 7 | 20 | 35 | 21 | 67 | | 167 |
| B3 | # of plants | | 2 | 7 | | | 4 | | 13 |
| B4 | # of trees | | | | | | | | 0 |
| B5 | # of trees | 2 | | | | | | | 2 |
| B6 | # of trees | | | | | | | | 0 |
| B7 | # of trees | | | | | | | | 0 |
| B8 | Inches DBH | | | | | | | | 0 |
| C1 | square feet | | | | | | | | 0 |
| C2 | square feet | | | | | | 702 | | 702 |
| C3 | square feet | | | | | | | | 0 |
| D | square feet | | | | | | | | 0 |
| E1 | square feet | | | | | | | | 0 |
| E2 | square feet | | | | | | | | 0 |
| F | square feet | | | | | | | | 0 |
| G1 | square feet | 153 | 135 | 432 | 315 | 189 | 747 | | 1971 |
| G2 | square feet | | | | | | | | 0 |
| G3 | square feet | 453 | 135 | 432 | 36 | 27 | | | 1083 |
| G4 | square feet | | | | | | | | 0 |

REVISED 07-07-2020

| Green Factor Scoresheet PAGE 1 | | SEATTLE×green factor | |
|--|-----------------------|--|----------------|
| Project title: | Enter sq ft of parcel | Parcel size | SCORE 0.387777 |
| | | 6,136 | |
| Landscape Elements** | | Totals calculate automatically from Green Factor Worksheet | Factor Total |
| A Planted areas | | 1017 square feet | 0.6 610 |
| 1 Planted areas with a soil depth of 24" or greater | | | |
| B Bioretention facilities | | 83 square feet | 1 83 |
| 1 Mulch, ground covers, or other plants less than 2' tall at maturity | | 1100 square feet | 0.1 110 |
| 2 Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center) | | 167 plants | 1503 0.3 451 |
| 3 Large shrubs or perennials 4'+ at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center) | | 13 plants | 468 0.3 140 |
| 4 Small Trees Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree | | 0 trees | 0 0.3 0 |
| 5 Small/Medium Trees Tree canopy for "Small/Medium Trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree | | 2 trees | 300 0.5 150 |
| 6 Medium/Large Trees Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree | | 0 trees | 0 0.7 0 |
| 7 Large Trees Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree | | 0 trees | 0 0.9 0 |
| 8 Preserved Trees Tree canopy for preservation of existing trees with trunks 6"+ DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter | | 0 inches | 0 1 0 |

* Do not count public rights-of-way in parcel size calculation.
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).
REVISED 07-07-2020

| Green Factor Scoresheet PAGE 2 | | SEATTLE×green factor | |
|--|--|--------------------------------|---------|
| C Green roofs | | 0 square feet | 0.4 0 |
| 1 Green roofs over at least 2" and less than 4" of growth medium | | | |
| 2 Green roofs 4" - 8" of growth medium | | 702 square feet | 0.6 421 |
| 3 Green roofs 8"+ of growth medium | | 0 square feet | 0.8 0 |
| D Vegetated walls NC, C, SM, and South Downtown zones only | | 0 square feet | 0.4 0 |
| E Permeable paving | | 0 square feet | 0.2 0 |
| 1 Permeable paving over at least 6" and less than 24" of soil or gravel | | | |
| 2 Permeable paving over at least 24" of soil or gravel | | 0 square feet | 0.5 0 |
| F Structural soil systems | | 0 square feet | 0.5 0 |
| G Bonuses | | sub-total of sq ft = 5,173 | |
| 1 Landscaping that consists of drought-tolerant and/or native plant species | | 1971 square feet | 0.1 197 |
| 2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater | | 0 square feet | 0.2 0 |
| 3 Vegetation visible to passersby from adjacent public right of way or public open spaces | | 1083 square feet | 0.2 217 |
| 4 Landscaping in food cultivation | | 0 square feet | 0.1 0 |
| | | Green Factor numerator = 2,379 | |

* Do not count public rights-of-way in parcel size calculation.
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REVISED 07-07-2020

*ROOF DECK & FIRST FLOOR PLANTERS NOT INCLUDED IN GREEN FACTOR SCORE

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PROJECT TITLE

LANDSCAPE REQUIREMENTS
SUMMARY PLAN
2210 EASTLAKE AVE E SEATTLE, WA

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1/8" = 1'-0"

L3

| MATERIAL SCHEDULE | | | | | | | |
|---------------------|----------------|--|--------------------------|--------------------------|--------------------------------------|---|---|
| ID | MATERIAL IMAGE | TYPE AND/OR LOCATION | MANUFACTURER | MODEL NAME | PRODUCT DIMENSIONS | FINISH | NOTES/ DESCRIPTIONS |
| CEMENT PANEL | | | | | | | |
| 1. | | FIBERCEMENT PANEL 01 | James Hardie | | PANEL SIZE VARIES, USE 10-FOOT SHEET | TEXTURE SMOOTH AND TO BE PAINTED WITH SW 6326 FIREWEED RED OR SIM | ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE. |
| 2. | | FIBER CEMENT PANEL 02 | James Hardie | | 4'-0" x 10'-0" PANEL | TEXTURE SMOOTH AND TO BE PAINTED WITH SW 7064 PASSIVE OR SIM | ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE. |
| 3. | | FIBER CEMENT PANEL 03 | James Hardie | | 4'-0" x 10'-0" PANEL | TEXTURE SMOOTH AND TO BE PAINTED WITH SW 7069 IRON ORE OR SIM | ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE. |
| METAL | | | | | | | |
| 5. | | CORRUGATED METAL | AEP SPAN | NU-WAVE CORRUGATED METAL | 34 2/3" COVERAGE | PREFINISHED, GUN METAL OR SIM | |
| 6. | | METAL FLASHING | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED METAL FLASHING BLACK OR SIM | |
| 7. | | METAL FLASHING | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED METAL FLASHING SW 7065 ARGOS OR SIM | |
| 8. | | METAL FEATURES: HANDRAILS, BALCONIES, AND CANOPIES | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED POWDER COATED METAL FEATURES BLACK OR SIM | |
| 9. | | METAL FEATURES: HANDRAILS AND BALCONIES | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED POWDER COATED METAL FEATURES SW 7637 OYSTER OR SIM | |
| VINYL | | | | | | | |
| 10. | | WINDOWS | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | BLACK VINYL | REFER TO WINDOW SCHEDULE FOR SPECIFIC LOACTIONS. |
| 11. | | WINDOWS | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | WHITE VINYL | REFER TO WINDOW SCHEDULE FOR SPECIFIC LOACTIONS. |
| WOOD | | | | | | | |
| 4. | | VERTICAL LARCH WOOD SIDING | BY CONTRACTOR | BY CONTRACTOR | 1" X 5" | SHOU SUGI BAN OR SIMILAR BLACKENED WOOD | MIX OF DEEP CHAR AND SHALLOW CHAR SHOU SUGI BAN |
| 12. | | CEDAR TONGUE AND GROOVE SOFFIT | BY CONTRACTOR | BY CONTRACTOR | 1" X 6" | CLEAR CEDAR | PROVIDED AT UNDERSIDE OF ROOF DECK AND CANOPY |

PRINT IN COLOR

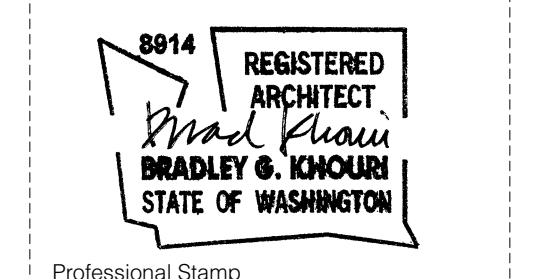
- RENDERED ELEVATION NOTES**
- PROVIDE ALUMINUM GUARDRAIL, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - PROVIDE CANOPY FOR WEATHER PROTECTION. POWDER COATED STEEL BY OTHERS, COORDINATE WITH STRUCTURAL AND PROVIDE SUBMITTAL FOR ARCHITECT AND STRUCTURAL TO REVIEW.
 - PREFABRICATED BOLT-ON ALUMINUM JULIET BALCONY, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - PROVIDE SCUPPER AND DOWNSPOUT TO CONNECT TO BIOPLANTER. REFER TO CIVIL PLANS ON SHEET C3.
 - PROVIDE EXHAUST VENT AT SIDING, SHROUD PAINTED TO MATCH SIDING COLOR, REFER TO DR SHEETS FOR COLOR, TYP.
 - PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F., TYP. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
 - ROOF PROFILE BEHIND PARAPET.
 - PROJECTED GRADE 4 FEET ABOVE EXISTING/FINISHED GRADE AT FACE OF BUILDING FOR FAR EXEMPTION PER SMC 23.47A.013.B.2
 - PROVIDE PREFABRICATED ALUMINUM BOLT ON BALCONY, WITH HORIZONTAL GUARD AND INTERMEDIATE RAILS, 42" A.F.F. AS STRUCTURAL BUILDING OVERHANG PER SMC 23.53.035.B. SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.

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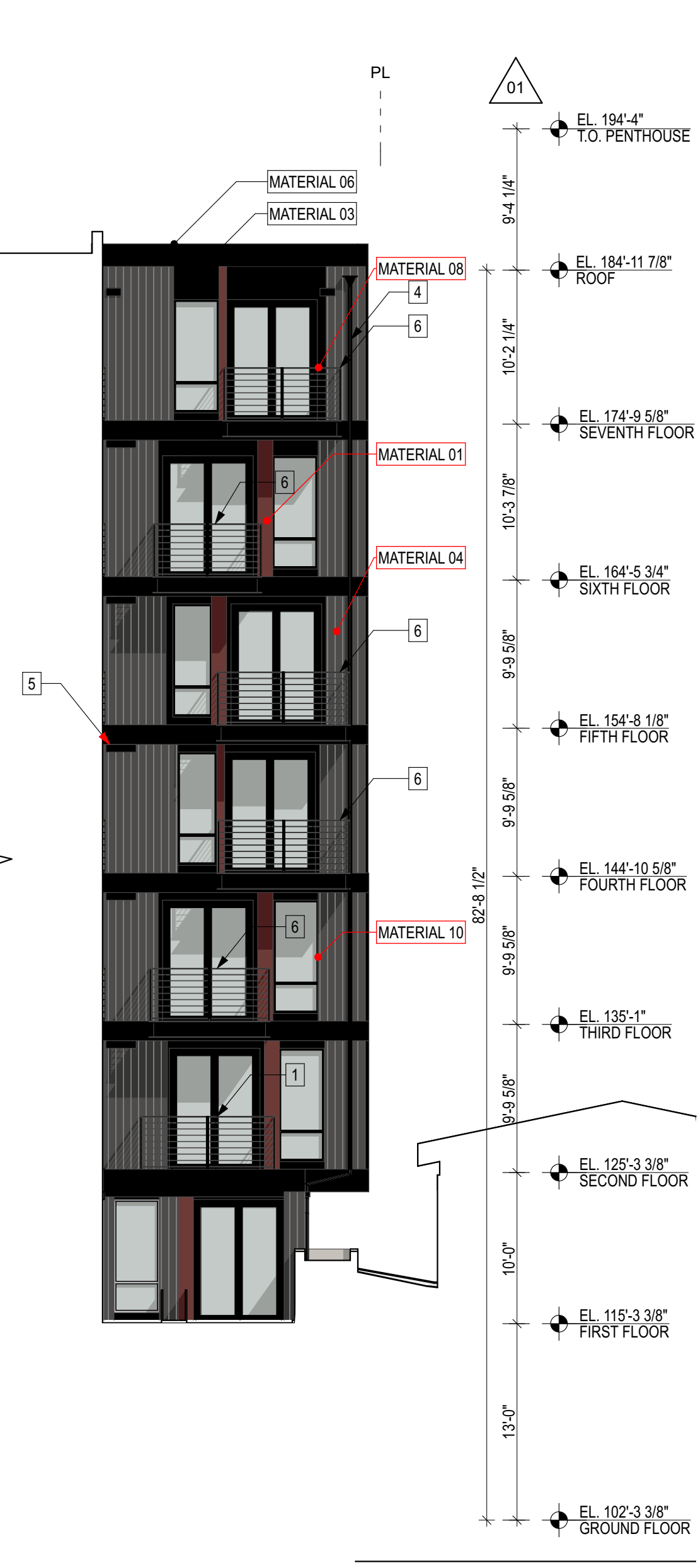
Project:
2210 Eastlake Avenue E

Location:
 2210 Eastlake Ave E
 Seattle, WA 98102

SDCI Number: 3036179-LU
 6772985-CN



| Issue ID | Issue Name | Issue Date |
|----------|---------------------|------------|
| | Master Use Permit | 11/17/20 |
| | Building Permit Set | 1/15/21 |
| 1 | MUP CORRECTIONS 1 | 4/20/21 |
| 2 | MUP CORRECTIONS 2 | 7/16/21 |
| 3 | BP CORRECTIONS 1 | 9/7/21 |
| 4 | MUP CORRECTIONS 3 | 9/27/21 |



2 WEST COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

Rendered Elevations

DR.01

| MATERIAL SCHEDULE | | | | | | | |
|---------------------|----------------|--|--------------------------|--------------------------|--------------------------------------|---|---|
| ID | MATERIAL IMAGE | TYPE AND/OR LOCATION | MANUFACTURER | MODEL NAME | PRODUCT DIMENSIONS | FINISH | NOTES/ DESCRIPTIONS |
| CEMENT PANEL | | | | | | | |
| 1. | | FIBERCEMENT PANEL 01 | James Hardie | | PANEL SIZE VARIES, USE 10-FOOT SHEET | TEXTURE SMOOTH AND TO BE PAINTED WITH SW 6326 FIREWEED RED OR SIM | ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE. |
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| METAL | | | | | | | |
| 5. | | CORRUGATED METAL | AEP SPAN | NU-WAVE CORRUGATED METAL | 34 2/3" COVERAGE | PREFINISHED, GUN METAL OR SIM | |
| 6. | | METAL FLASHING | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED METAL FLASHING BLACK OR SIM | |
| 7. | | METAL FLASHING | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED METAL FLASHING SW 7065 ARGOS OR SIM | |
| 8. | | METAL FEATURES: HANDRAILS, BALCONIES, AND CANOPIES | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED POWDER COATED METAL FEATURES BLACK OR SIM | |
| 9. | | METAL FEATURES: HANDRAILS AND BALCONIES | BY CONTRACTOR | BY CONTRACTOR | NA | PREFINISHED POWDER COATED METAL FEATURES SW 7637 OYSTER OR SIM | |
| VINYL | | | | | | | |
| 10. | | WINDOWS | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | BLACK VINYL | REFER TO WINDOW SCHEDULE FOR SPECIFIC LOACTIONS. |
| 11. | | WINDOWS | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | REFER TO WINDOW SCHEDULE | WHITE VINYL | REFER TO WINDOW SCHEDULE FOR SPECIFIC LOACTIONS. |
| WOOD | | | | | | | |
| 4. | | VERTICAL LARCH WOOD SIDING | BY CONTRACTOR | BY CONTRACTOR | 1" X 5" | SHOU SUGI BAN OR SIMILAR BLACKENED WOOD | MIX OF DEEP CHAR AND SHALLOW CHAR SHOU SUGI BAN |
| 12. | | CEDAR TONGUE AND GROOVE SOFFIT | BY CONTRACTOR | BY CONTRACTOR | 1" X 6" | CLEAR CEDAR | PROVIDED AT UNDERSIDE OF ROOF DECK AND CANOPY |

PRINT IN COLOR

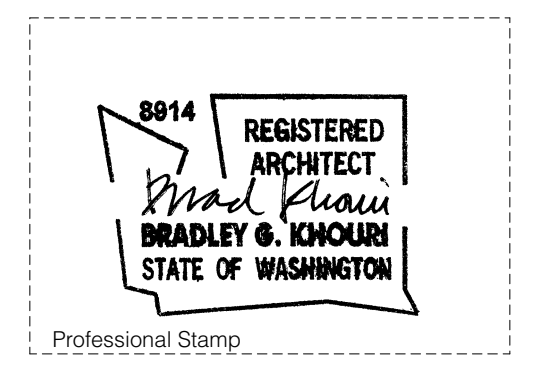
- RENDERED ELEVATION NOTES**
- PROVIDE ALUMINUM GUARDRAIL, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4.
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SDCI Number: 3036179-LU
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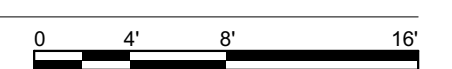


| Issue ID | Issue Name | Issue Date |
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| | Building Permit Set | 1/15/21 |
| 1 | MUP CORRECTIONS 1 | 4/20/21 |
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| 4 | MUP CORRECTIONS 3 | 9/27/21 |

01



1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



Rendered Elevations

DR.02

| MATERIAL SCHEDULE | | | | | | | |
|---------------------|----------------|--|--------------------------|--------------------------|--------------------------------------|---|---|
| ID | MATERIAL IMAGE | TYPE AND/OR LOCATION | MANUFACTURER | MODEL NAME | PRODUCT DIMENSIONS | FINISH | NOTES/ DESCRIPTIONS |
| CEMENT PANEL | | | | | | | |
| 1. | | FIBERCEMENT PANEL 01 | James Hardie | | PANEL SIZE VARIES, USE 10-FOOT SHEET | TEXTURE SMOOTH AND TO BE PAINTED WITH SW 6326 FIREWEED RED OR SIM | ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE. |
| 2. | | FIBER CEMENT PANEL 02 | James Hardie | | 4'-0" x 10'-0" PANEL | TEXTURE SMOOTH AND TO BE PAINTED WITH SW 7054 PASSIVE OR SIM | ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE. |
| 3. | | FIBER CEMENT PANEL 03 | James Hardie | | 4'-0" x 10'-0" PANEL | TEXTURE SMOOTH AND TO BE PAINTED WITH SW 7069 IRON ORE OR SIM | ALL FINISHES PAINTS TO BE SHERWIN WILLIAMS, UNLESS NOTED OTHERWISE. |
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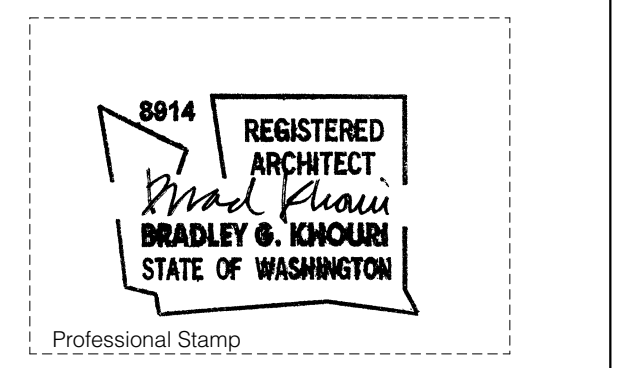
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| 02. | PROVIDE CANOPY FOR WEATHER PROTECTION, POWDER COATED STEEL BY OTHERS, COORDINATE WITH STRUCTURAL AND PROVIDE SUBMITTAL FOR ARCHITECT AND STRUCTURAL TO REVIEW. |
| 03. | PREFABRICATED BOLT-ON ALUMINUM JULIET BALCONY, TYP. MIN 42" HIGH, POWDER COATED BLACK AND SPACING FOR IMMEDIATE GUARD MEMBERS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. REFERENCE SBC. 1013.4. |
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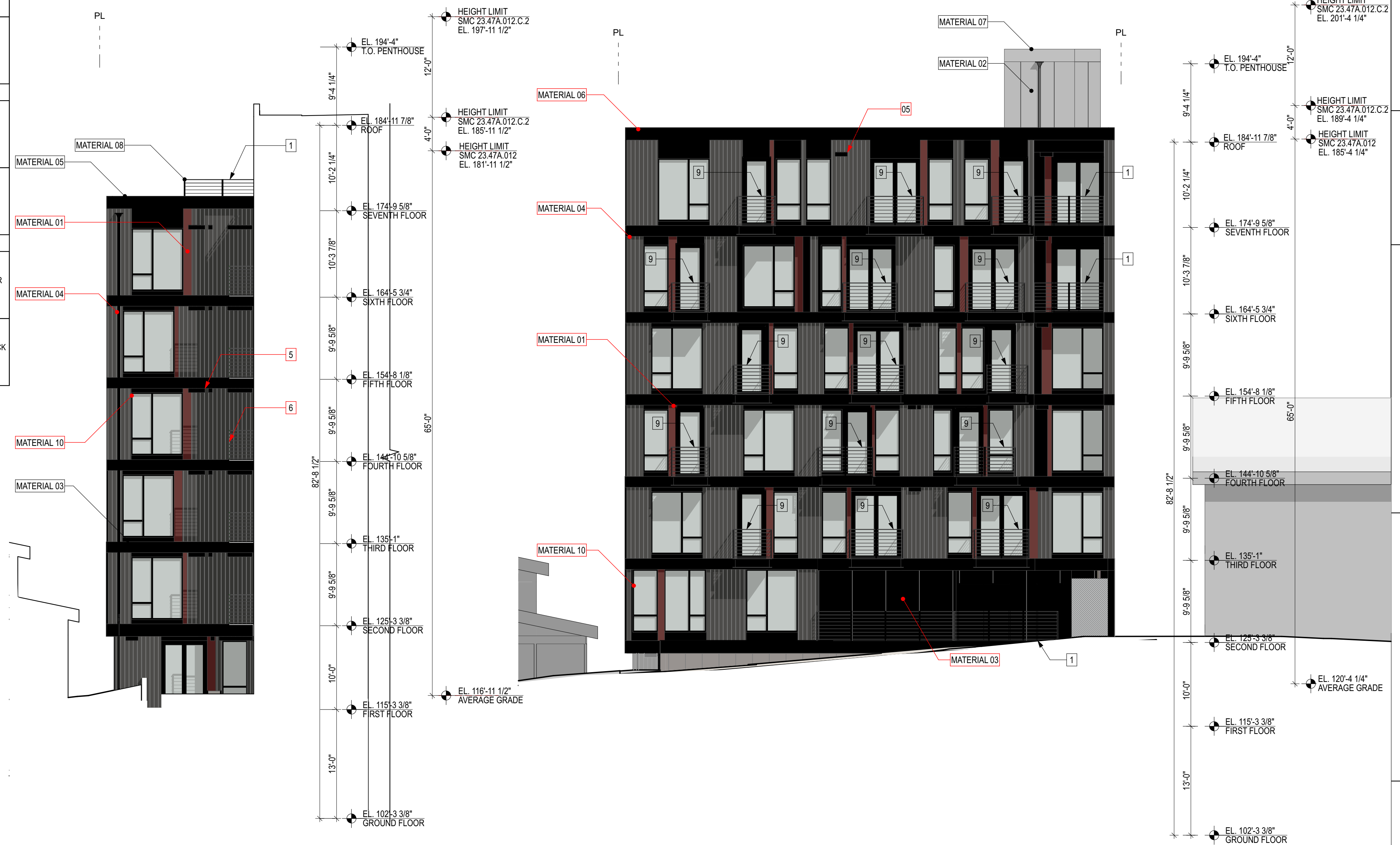
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1 EAST COURTYARD ELEVATION
 SCALE: 1/8" = 1'-0"

1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

City Stamp

Rendered Elevations

DR.03